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UNITS AT 7310



COASTAL DEVELOPMENT PERMIT SUBMITTAL SET

08-08-2022

PTS-0673278

Prepared By:
Brian Britton
Golba Architecture
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office: (619) 231-9905

Project Address:
7310 & 7312 FAY AVENUE
LA JOLLA, CA 92037

Project
Name:
UNITS AT 7310
Sheet
Title:

Revision 10:
Revision 9:
Revision 8:
Revision 7:
Revision 6:
Revision 5:
Revision 4:
Revision 3:
Revision 2: 08-08-22
Revision 1: 04-01-21

Original Date: 08-28-20

Sheet 1 of 14

COVER SHEET

PTS-0673278

GOLBA ARCHITECTURE
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UNITS AT 7310
7310 & 7312 FAY AVE
SAN DIEGO, CA 92037



Golba
T 1.0

DEVELOPMENT SUMMARY

PROJECT SUMMARY:

PROPOSED COASTAL DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT AND SMALL LOT SUBDIVISION TENTATIVE MAP FOR CREATION OF 2 SINGLE-FAMILY RESIDENTIAL LOTS. PROJECT INCLUDES REMOVAL OF EXISTING IMPROVEMENTS WITH CONSTRUCTION OF TWO SINGLE-FAMILY RESIDENCES EACH WITH A DETACHED GARAGE TOGETHER WITH PUBLIC IMPROVEMENTS WITHIN THE RIGHTS OF WAY FRONTING THE SITE.

LEGAL DESCRIPTION:

LOT 16 IN BLOCK 1 OF J.G. BURNES ADDITION TO LA JOLLA PARK IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 1307, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 28, 1911.

OWNER:

PLAYA DEL NORTE INVESTMENT, LLC
A CALIFORNIA LIMITED LIABILITY COMPANY
1501 FRONT STREET, STE. 112
SAN DIEGO, CA 92101

ZONING:

RM-1-1
LA JOLLA COMMUNITY PLAN
LOCAL COASTAL LAND USE PLAN
MULTI-FAMILY RESIDENTIAL (MFR)
FOR SMALL LOT SUBDIVISION
PRE-SUBDIVIDED LOT DENSITY
MUNICIPAL CODE RM-1-1 10U/2002 SF
LA JOLLA COMMUNITY PLAN, 10J/1425 BF
7003 SF/3000 DU = 2.33 = 3 DU
MINIMUM LOT WIDTH: 60' (PRE-SUBDIVIDED)
(SUBDIVIDED=7)
MINIMUM LOT FRONTAGE: 50' (PRE-SUBDIVIDED)
(SUBDIVIDED)
MINIMUM LOT DEPTH: 80' (PRE-SUBDIVIDED)
(SUBDIVIDED)

SETBACK:

FRONT: 15' (PRE-SUBDIVIDED)
(SUBDIVIDED)
REAR: 10' (PRE-SUBDIVIDED) (10' OF ALLEY INCLUDED)
(SUBDIVIDED)
SIDE: 5' (PRE-SUBDIVIDED)
(SUBDIVIDED)

OVERLAY ZONES:

CITY COASTAL
COASTAL HEIGHT LIMIT
TRANSIT PRIORITY AREA
PARKING IMPACT OVERLAY ZONE (COASTAL IMPACT AREA)
S (RM)
LA JOLLA COMMUNITY PLAN
COUNCIL DISTRICT 1

AREA:

SITE AREA: 0.1608 ACRES (7,003 SQUARE FEET)

USES:

CURRENT USE:
RESIDENTIAL
PROPOSED USE:
RESIDENTIAL

RESIDENTIAL PARKING TABULATION

2 SINGLE-FAMILY RESIDENCES 2 X 2 = 4 SPACES

TOTAL OFF-STREET COVERED PARKING SPACE REQUIREMENTS:
RESIDENTIAL - MUNICIPAL CODE SECTION 142.0520 TABLE 142.05C

4 SPACES REQUIRED - 4 SPACES PROVIDED IN GARAGES

TITLE NOTES:

TITLE INFORMATION IS BASED ON PRELIMINARY TITLE REPORT, FILE NUMBER 320325560,
DATED JUNE 06, 2020, PREPARED BY LAYERS TITLE

AN EASEMENT FOR SEWER, IN FAVOR OF THE CITY OF SAN DIEGO, RECORD # 180708, 1895,
IN BLOCK 1146, PAGE 14 OF DEEDS. LOCATION OF SAID EASEMENT IS NOT DISCLOSED OF RECORD
AND IS NOT PLOTTED.

MONUMENTATION NOTES

- ① LEAD & DISK STAMPED "LS 6800" PER CR 13008
- ② LEAD & PUNCHMARK, DISK STAMPED "LS 4360" PER CR 3171 MISSING
- ③ LEAD & DISK STAMPED "LS 8750" PER CR 34288
- ④ LEAD & DISK STAMPED "SAN DIEGO CITY SURVEYOR" PER CR 38719
- ⑤ LEAD & DISK STAMPED "LS 4830" PER CR 3171, CR 12088, 805, 12788, CR 34288
- ⑥ LEAD & DISK STAMPED "SAN DIEGO CITY ENGINEER" PER CR 10190
- ⑦ RECORD DATA PER MAP NO. 1307
- ⑧ RECORD DATA PER CR 34288
- ⑨ RECORD DATA PER CR 3171
- ⑩ RECORD DATA PER CR 12088
- ⑪ RECORD DATA PER CR 12788
- ⑫ RECORD DATA PER CR 19198

LEGEND

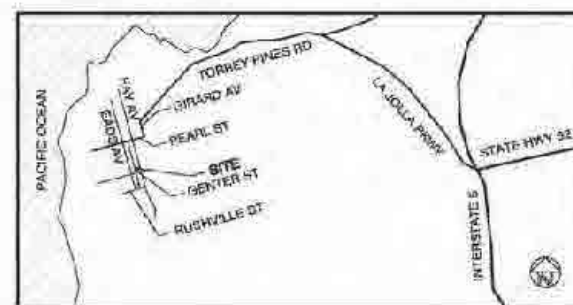
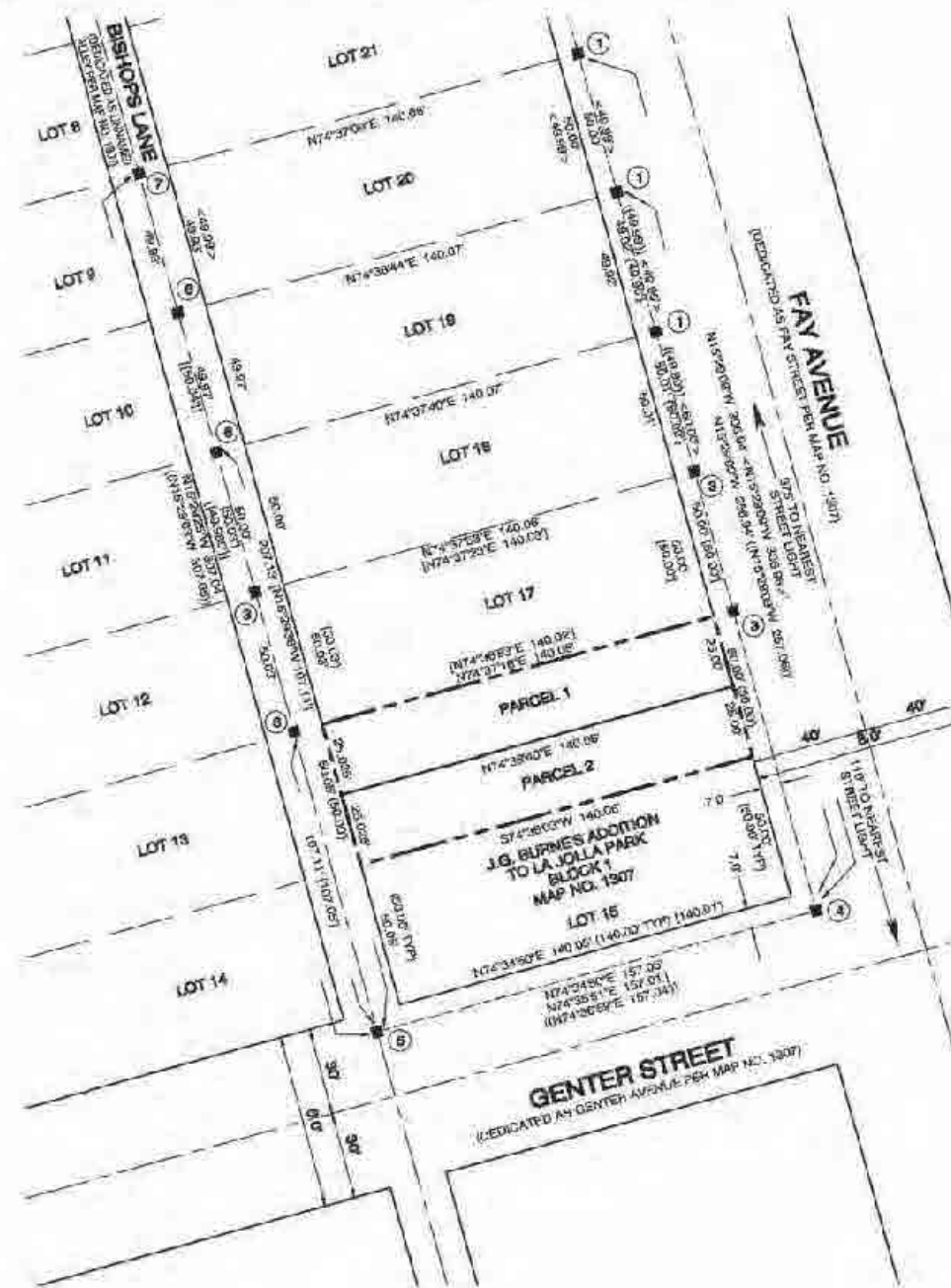
PROPERTY LINE/TM BOUNDARY	---
RIGHT OF WAY LINE	---
STREET CENTERLINE	---
EXISTING LOT LINE	---
OFFSET LINE	---
PROPOSED PARCEL LINE	---

UTILITY TABLE

TELE (AT&T): OVERHEAD
GAS (S.D.G&E): OVERHEAD
SEWER (S.D.G&E): OVERHEAD

LOT AREA TABULATION

PARCEL	AREA	LOT TYPE
1	3263.9 SF	9FR
2	3469.8 SF	9FR



VICINITY MAP
NOT TO SCALE



SCALE: 1" = 30'



TENTATIVE MAP NO. 2513092 COASTAL DEVELOPMENT PERMIT NO. 2513090 SITE DEVELOPMENT PERMIT NO. 2513091

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS TENTATIVE MAP IS THE NORTHEASTERLY LINE OF BLOCK 1,
OF MAP NO. 1307 AS SHOWN ON RECORD OF SURVEY NO. 12730, I.E. S 15°26'00" WEST.

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHEASTERLY CORNER OF FAY AVENUE
AND GENTER STREET, ELEVATION 131.029 MEAN SEA LEVEL (N.G.V.D. 1988)

NOTES

- THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS ON THE GROUND SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING, DATED AUGUST 16, 2020.
- THE EXISTING NUMBER OF LOTS ARE 1. THE PROPOSED NUMBER OF LOTS IN THIS SUBDIVISION ARE 2.
- THE ASSESSOR PARCEL NUMBER FOR THIS PROPERTY IS 1501403-174C.
- THE TOTAL AREA OF THE SUBJECT PROPERTY IS 0.1608 ACRES.
- THE PROPERTY HAS DIRECT ACCESS TO FAY AVENUE AND BISHOPS LANE, BOTH DEDICATED AS PUBLIC STREETS.
- LOT 16 PARCEL SHALL HAVE 15' ADDRESS NUMBERS, WITH 15' ADDRESS FROM THE STREET FRONTING THE PROPERTY PER THPS POLICY P-00-6 (UPC 901.4.4).
- NAD27 COORDINATES = 244-1885, CGS83 COORDINATES = 1854-8945
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 11, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS WILL BE MARKED WITH DURABLE SURVEY MONUMENTS.
- SUBJECT MONUMENTATION EXISTS TO RECREATE BOUNDARY OF PROJECT AND TO PERMIT A MAP PROCEDURE OF SURVEY.
- A WAIVER OF UNDERGROUNDING OVERHEAD UTILITIES FRONTING THE SITE IS REQUESTED.

OWNER'S CERTIFICATE

I HEREBY CERTIFY THAT I AM THE RECORD OWNER OF THE PROPERTY SHOWN ON THE TENTATIVE MAP AND THAT SAID MAP SHOWS ALL OF MY CONTIGUOUS OWNERSHIP IN WHICH I HAVE ANY DEED OR TRUST INTEREST. I UNDERSTAND THAT OUR PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS, OR RAILROAD RIGHTS OF WAY.

HUBERTO PEREZ, DATE _____
MANAGER
PLAYA DEL NORTE INVESTMENT, LLC



PRELIMINARY JULY 21, 2021
ANTHONY K. CHRISTENSEN, PCE 54021 LS 7500 Date

Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
7888 SILVERTON AVENUE, SUITE 101
SAN DIEGO, CA 92126
PHONE: (650) 271-9801

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LA JOLLA, CA 92037

Project Name:

UNITS AT 7310

Sheet Title:

TENTATIVE MAP NO.

P.T.S. NO.	I.D. NO.	L.C. COOR: 244-1885	CGS83 COOR: 1854-8945
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C-1

TENTATIVE MAP NO. 2513092
 COASTAL DEVELOPMENT PERMIT NO. 2513090
 SITE DEVELOPMENT PERMIT NO. 2513091

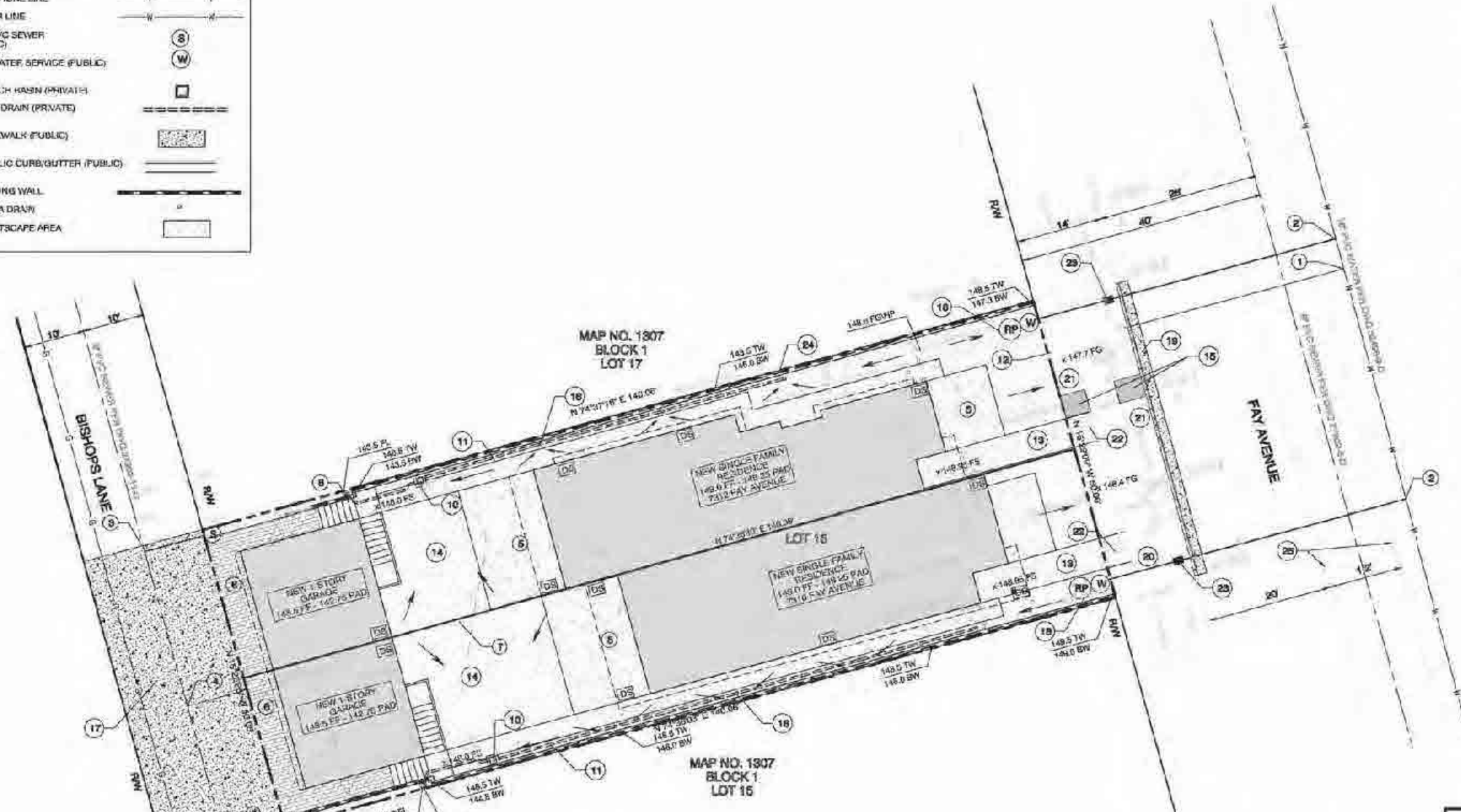
CONSTRUCTION NOTES

- 1 EX WATER SERVICE TO BE KILLED AT THE MAIN
- 2 PROPOSED 1" WATER SERVICE PER CURRENT CITY STD
- 3 PROPOSED 4" SEWER LATERAL PER CURRENT CITY STD
- 4 EX SEWER TO BE ABANDONED AT P/L
- 5 PROPOSED CONCRETE PATIO AREA
- 6 PROPOSED PERMEABLE PAVEMENT (TYPICAL)
- 7 PROPOSED LOT LINE
- 8 PROPOSED HEADWALL AT OUTLET 4" PVC DRAIN (WITH LIGHT CLASS RIP-RAP)
 0.100 = 0.13 CFS
 Y100 = 3.0 FPS (BEFORE RIP-RAP)
- 9 PROPOSED HEADWALL AT OUTLET 4" PVC DRAIN (WITH LIGHT CLASS RIP-RAP)
 0.100 = 0.14 CFS
 Y100 = 3.7 FPS (BEFORE RIP-RAP)
- 10 PROPOSED 12" CATCH BASIN (TYPICAL)
- 11 PROPOSED PVC DRAIN
- 12 EXISTING PRIVATE IMPROVEMENTS WITHIN RIGHT OF WAY TO BE REMOVED (TYPICAL)
- 13 PROPOSED CONCRETE WALKWAY (TYPICAL)
- 14 PROPOSED GOFTSCAPE AREA (SEE LANDSCAPE PLAN)
- 15 EXISTING CONCRETE PAVING WITHIN RIGHT OF WAY TO BE REMOVED AND RECONSTRUCTED PER CURRENT CITY STANDARD. AREA TO BE LANDSCAPED.
- 16 PROPOSED AREA DRAIN (TYPICAL)
- 17 REMOVE AND REPLACE EXISTING ALLEY PER CURRENT CITY STANDARD MATCH EXISTING
- 18 PROPOSED BACKFLOW PREVENTER PER CURRENT CITY STANDARD
- 19 REPLACE EXISTING CURB WITH STANDARD CURB AND SETTER FRONTING THE PROPERTY
- 20 DAMAGED SIDEWALK ALONG PROPERTY FRONTAGE TO BE REMOVED AND REPLACED PER CURRENT CITY STANDARD AT DIRECTION OF RESIDENT ENGINEER (TYPICAL)
- 21 EXISTING PARKWAY TO REMAIN
- 22 PROPOSED PRIVATE WALKWAY WITHIN BW REQUIRING EMRA
- 23 PROPOSED WATER METER AND BOX PER CURRENT CITY STANDARD (TYPICAL)
- 24 EXISTING FREESTANDING WALL TO BE REMOVED
- 25 12' TURNING LANE STRIPING

NOTES:
 ALL PROPOSED ONSITE UTILITIES SHALL BE UNDERGROUND.
 RESIDENCES SHOWN HEREON INCLUDE 2 CAR GARAGES.
 RUNOFF FROM IMPERVIOUS AREAS TO FLOW OVER LANDSCAPING DISCHARGING FROM SITE.
 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL) THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 3 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

LEGEND

PROPERTY LINE/TM BNDRY	---
EXISTING CONTROL	---
EXISTING ELECTRICAL LINE	—E—E—
EXISTING GAS LINE	—G—G—
EXISTING SEWER LINE	—S—S—
EXISTING TELEPHONE LINE	—T—T—
EXISTING WATER LINE	—W—W—
PROPOSED 4" PVC SEWER LATERAL (PUBLIC)	⑧
PROPOSED 1" WATER SERVICE (PUBLIC)	⑨
PROPOSED CATCH BASIN (PRIVATE)	⑩
PROPOSED PVC DRAIN (PRIVATE)	⑪
PROPOSED SIDEWALK (PUBLIC)	⑫
PROPOSED PUBLIC CURB/GUTTER (PUBLIC) PER SDG 161	⑬
PRIVATE RETAINING WALL	⑭
PROPOSED AREA DRAIN	⑮
PROPOSED GOFTSCAPE AREA	⑯



GRADING DATA

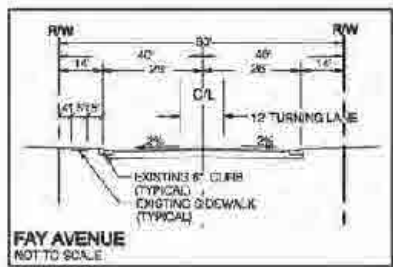
AREA OF SITE - 0.1808 AC (7066 SF)
 AREA OF SITE TO BE GRADED - 0.1808 AC
 PERCENT OF SITE TO BE GRADED 100%
 AREA OF SITE WITH SLOPES GREATER THAN 25% - 0.0
 PERCENT OF SITE WITH SLOPES GREATER THAN 25% - 0.0%

WATER ENVIRONMENTALLY SENSITIVE LANDS PRESENT ON SITE:

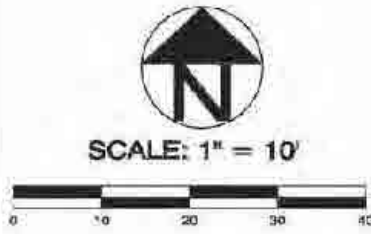
AMOUNT OF CUT - 30 C.Y.
 AMOUNT OF FILL - 300 C.Y.
 AMOUNT OF IMPORT - 240 C.Y.
 MAXIMUM HEIGHT OF FILL SLOPE - N/A
 MAXIMUM HEIGHT OF FILL - 4.5'
 MAXIMUM DEPTH OF CUT - N/A
 MAXIMUM DEPTH OF CUT - 2'

RETAINING WALL: 5 FEET MAX. HT. (4.5' RETAINING)
 260 FEET TOTAL LENGTH

EXISTING IMPERVIOUS AREA: 1,604 SF (22.1%)
 PROPOSED COMPLETELY REPLACED IMPERVIOUS AREA: 4,193 SF (59.5%)



FAY AVENUE
 NOT TO SCALE



PRELIMINARY JULY 21, 2021
 ANTONY K. CHRISTENSEN, P.E. 048 071
 L.S. 7533



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7668 38th AVENUE, SUITE 117
 SAN DIEGO, CA 92126
 PHONE: (619) 271-0001

Project Address:
 7310-12 FAY AVENUE
 CALICHA, CA 92027

Project Name:
 UNITS AT 7310

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 07-21-21 ADDRESS CITY COMMENTS

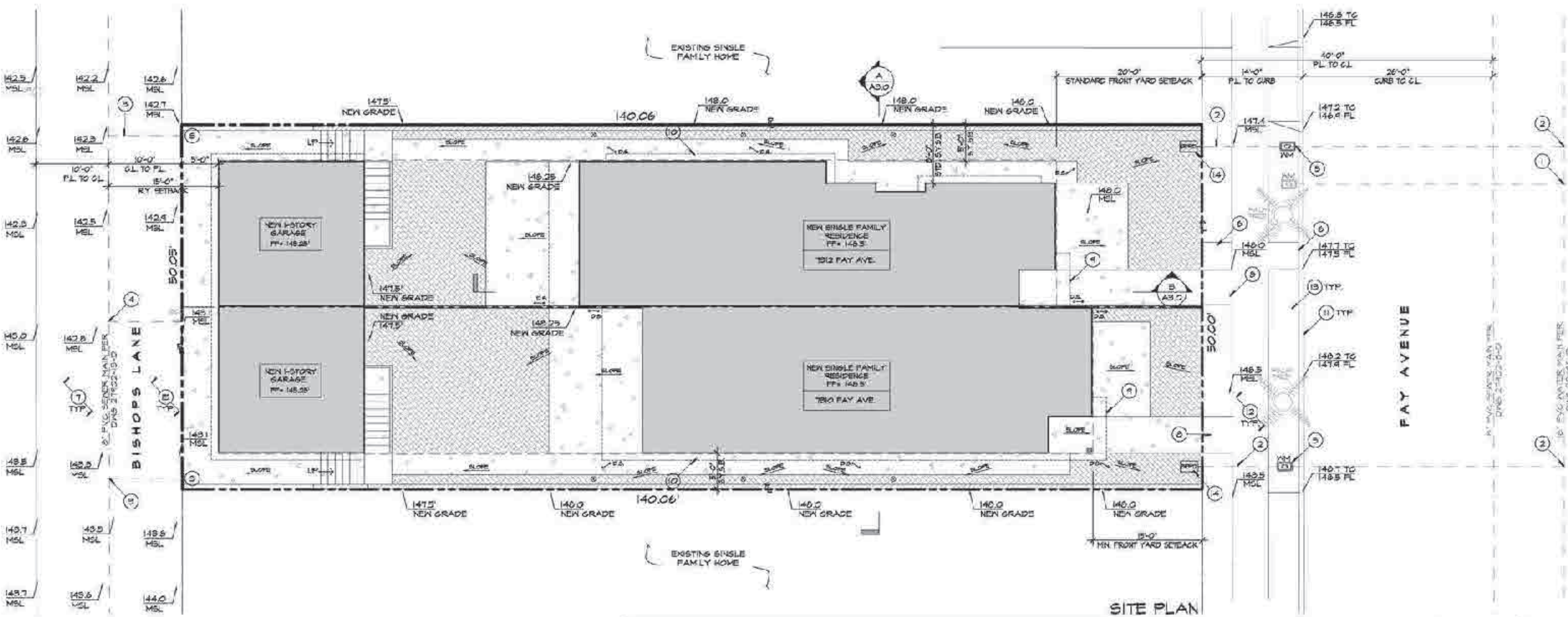
Original Date: AUGUST 27, 2020

Sheet Title:
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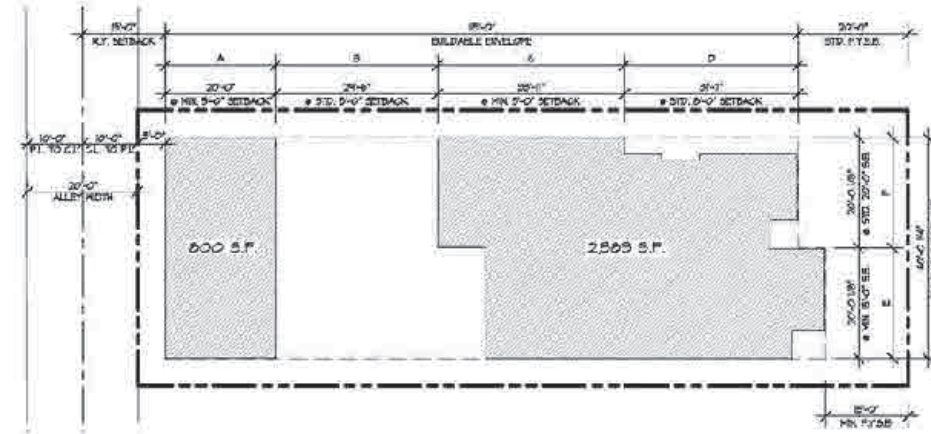
Sheet 2 of 2 Sheets



- SITE KEY NOTES**
- EXISTING 3/4" WATER SERVICE TO BE KILLED AT MAIN
 - PROPOSED 1" WATER SERVICE PER CURRENT CITY STANDARD
 - PROPOSED 4" SEWER LATERAL PER CURRENT CITY STANDARD
 - EXISTING SEWER LATERAL TO BE ABANDONED AT PROPERTY LINE
 - PROPOSED WATER METER AND BOX PER CURRENT CITY STANDARDS, TYP.
 - EXISTING CONCRETE PAVING WITHIN RIGHT OF WAY TO BE REMOVED TO REMAIN AS PARKWAY
 - EXISTING DAMAGED ALLEY TO BE RECONSTRUCTED WITH FULL WIDTH STANDARD CONCRETE ALLEY PER CURRENT CITY STANDARDS
 - PROPOSED WALKWAY TO SIDEWALK CONNECTION TO MATCH MATERIAL OF CITY STANDARD SIDEWALK PER R.O.M. PERMIT #
 - PORCH ENCROACHMENT ALLOWED PER SDVC (B.046)(A)(5)
 - EAVE ENCROACHMENT ALLOWED PER SDVC (B.046)(A)(1)
 - REPLACE EXISTING CURB WITH 6" STANDARD CURB AND GUTTER FRONTING THE PROPERTY
 - DAMAGED SIDEWALK TO BE REMOVED AND REPLACED PER CITY STANDARD
 - EXISTING PARKWAY TO REMAIN, TYP.
 - PROPOSED BACKFLOW PREVENTER DEVICE PER CURRENT CITY STANDARD
 - RECONSTRUCT ALLEY APRON PER CURRENT CITY STANDARD



SITE PLAN
 SCALE: 1/8"=1'-0"



SETBACKS DIAGRAM
 SCALE: 1/16"=1'-0"

WALL	WALL LENGTH @ MIN. 3'-0" O.T.S.B.	WALL LENGTH @ STD. 2'-0" O.T.S.B.	TOTAL BUILDABLE ENVELOPE
A	20'-0"	0'	115'-0"
B	0'	24'-5"	
C	33'-11"	0'	
D	0'	3'-11"	
GRAND TOTAL	53'-11"	61'-1"	115'-0"
	46.8%	49.8%	

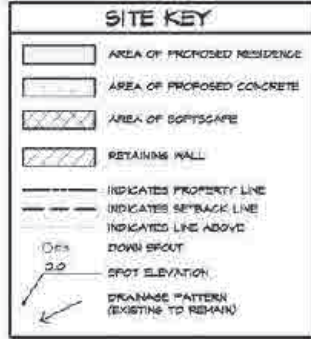
SITE NOTES:
 THERE ARE NO EXISTING OR PROPOSED EASEMENTS.
 THERE ARE NO EXISTING OR PROPOSED BUS/TRANSIT STOPS ADJACENT TO PROPERTY, BUT THERE IS AN EXISTING BUS STOP 1/86 FEET NORTH OF PROPERTY AT CORNER OF FAY AVE. AND PEARL ST.
 PROVIDE BUILDING ADDRESS NUMBERS FOR ALL NEW AND EXISTING STRUCTURES VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (C.F.C. 9014.4). MIN. SIZE OF NUMBERS SHALL BE 12".
 METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG&E
 THIS PROJECT DRAINS ROOF DRAINS TO LANDSCAPED AREAS OR BRICK AND LANDSCAPED AREA ADJACENT TO THE HOUSES INT. ALL RAINFALL WILL BE DISCHARGED TO RAISED SURFACES IN THE PUBLIC RIGHT-OF-WAY.

EARTHWORK QUANTITIES:

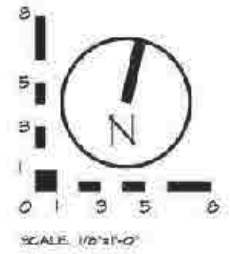
EXISTING IMPERVIOUS AREA: 1,801 S.F. (2,118)
 PROPOSED IMPERVIOUS AREA: 4,163 S.F. (5,448)
 CUT QUANTITIES: 60 (CYD)
 FILL QUANTITIES: 500 (CYD)
 IMPORT/EXPORT QUANTITIES: 340 (CYD) IMPORT
 MAX. CUT DEPTH: 2'
 MAX. FILL DEPTH: 4.5'
 NO ENVIRONMENTALLY SENSITIVE LANDS EXIST ON-SITE

OUTDOOR CALCS:

	EXTERIOR OPEN SPACE	PRIVATE EXTERIOR OPEN SPACE
7310 FAY AVE	1,145 S.F.	754 S.F.
7312 FAY AVE	1,144 S.F.	814 S.F.
NFO	(INCL. BOTH FRONT AND BACK LANDSCAPE AREAS)	(INCL. BOTH FRONT AND BACK PATIO AREAS AND GARAGE DECK)



FAA NOTIFICATION SELF-CERTIFICATION ASSISTANCE:
 I, THOMAS J. GOLBA DO HEREBY CERTIFY THAT THE STRUCTURES OR MODIFICATION TO EXISTING STRUCTURES SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 7702(d) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS (14 CFR PART 77) NOTIFICATION IS NOT REQUIRED.



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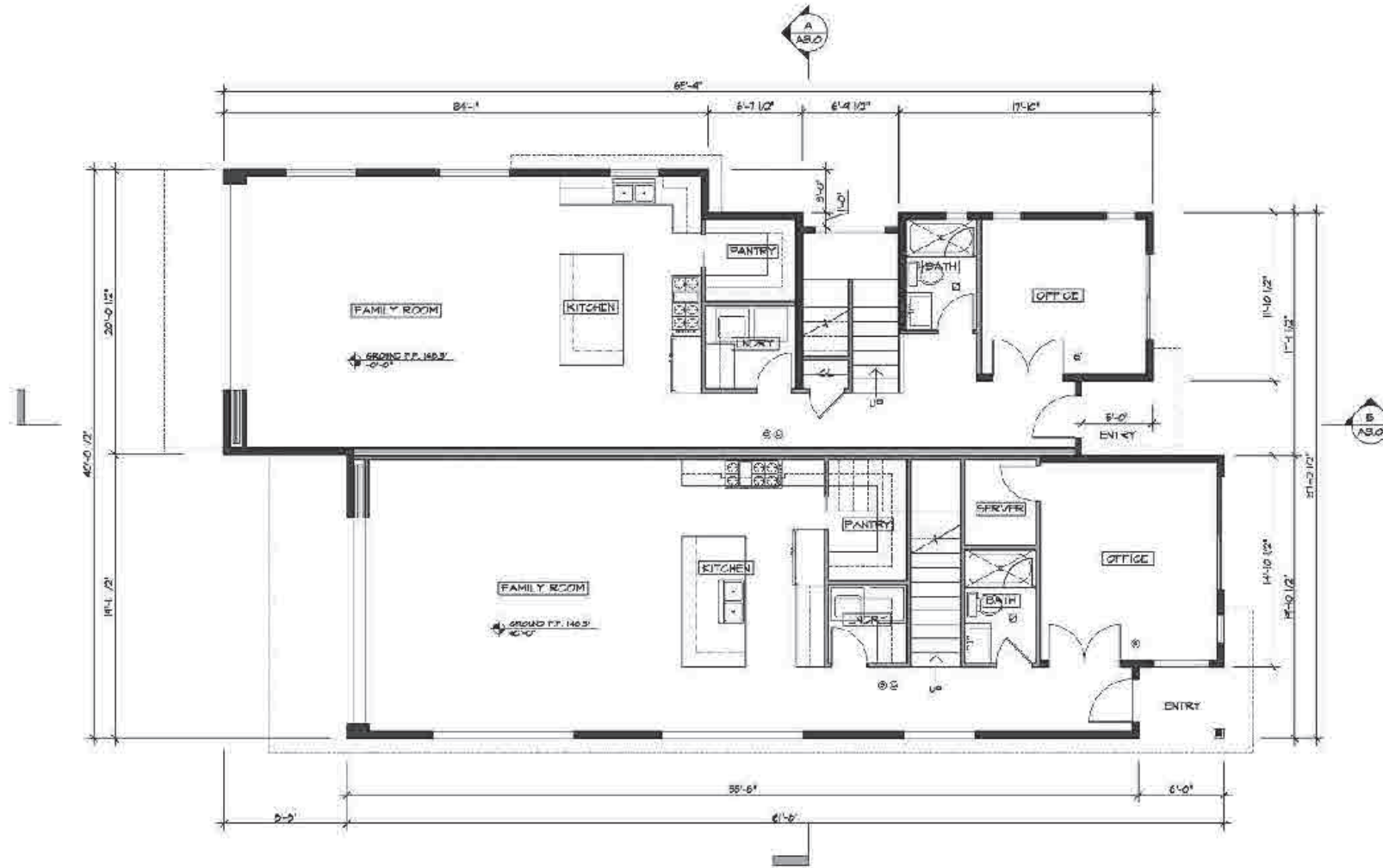
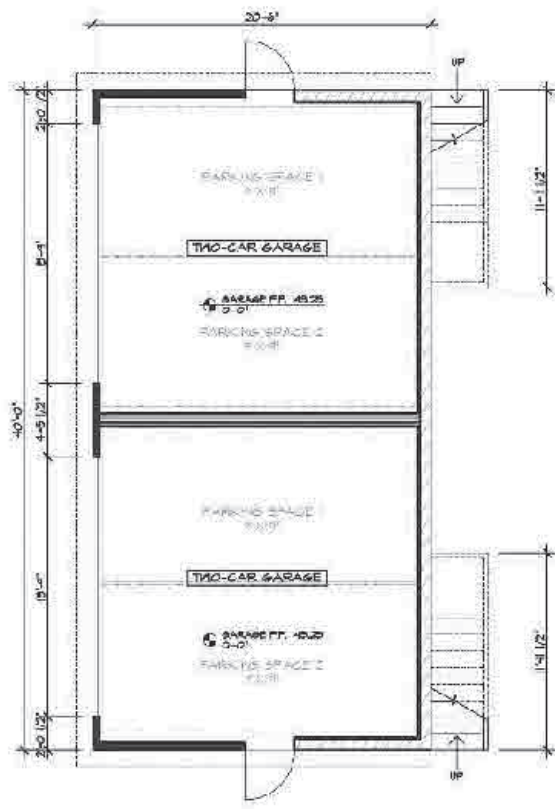
Project Name:
 UNITS AT 7310

Sheet Title:
 SITE PLAN

Revision 10:
 Revision 9:
 Revision 8:
 Revision 7:
 Revision 6:
 Revision 5:
 Revision 4:
 Revision 3:
 Revision 2: 08-08-22
 Revision 1: 01-01-21

Original Date: 08-28-20
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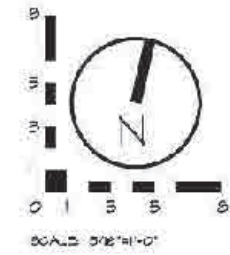
PTS-0679278



WALL LEGEND

	2x4 STUD WALL
	2x6 STUD WALL
	CMU RETAINING WALL WITH 2x4 FURRING
	LOW WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	TEMPERED GLASS WINDOW/DOOR
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES PER HOUR TO THE OUTSIDE NO GREATER THAN 3 FT. FROM ANY EXTERIOR OPENING. SEE TI FOR VENTILATION NOTES.
	DOOR SWING

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.35-INCH IN HEIGHT FOR SLIDING DOORS SERVING SWELLING UNITS OR 0.2-INCH FOR OTHER DOORS.



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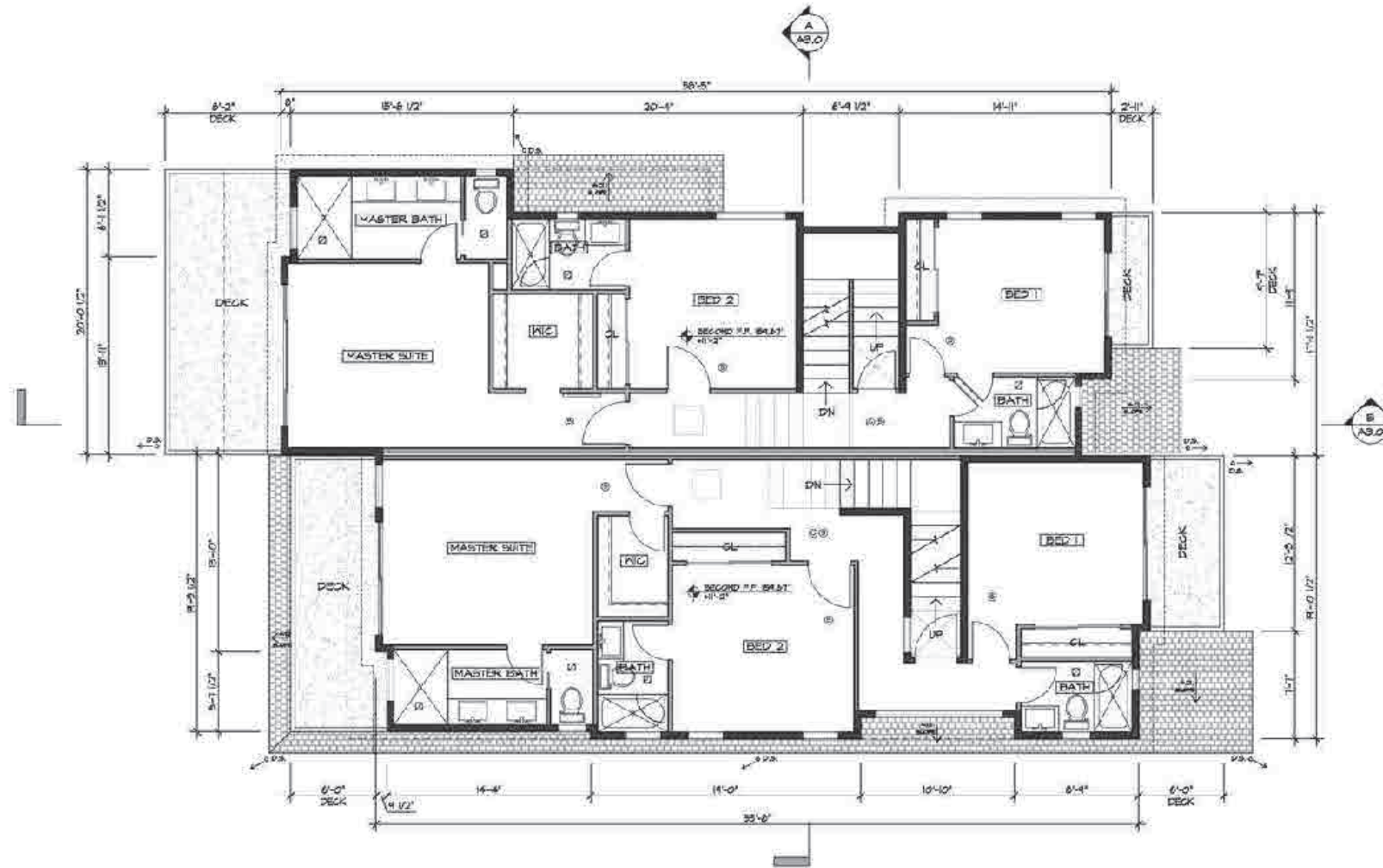
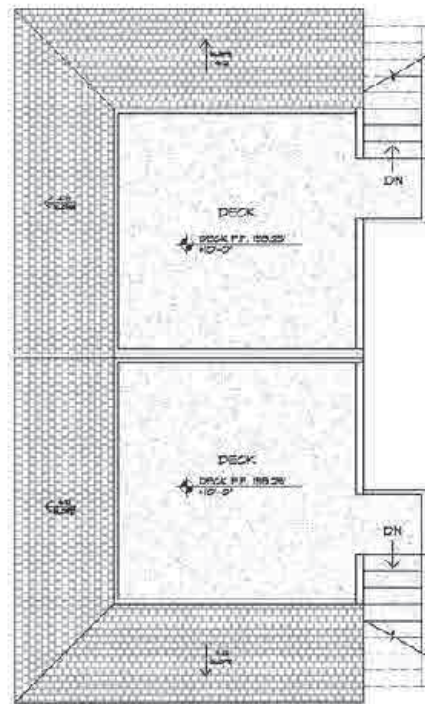
Project Name:
 UNITS AT 7310

Project Title:
 FLOOR PLANS

PTS-0673278

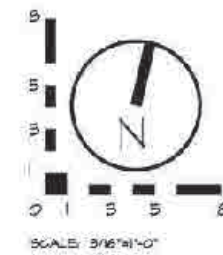
GROUND FLOOR PLAN
 SCALE: 3/16"=1'-0"





WALL LEGEND	
	2x4 STUD WALL
	2x6 STUD WALL
	CMU RETAINING WALL WITH 2x4 FURRING
	LOW WALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	TEMPERED GLASS WINDOW/DOOR
	EXHAUST FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO GREASE THAN 5 FT. FROM ANY EXTERIOR OPENING. SEE TIJ FOR VENTILATION NOTES.
	DOWN SPOUT

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR GLASS DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.



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SECOND FLOOR PLAN
 SCALE: 3/16"=1'-0"



PTS-06T3218

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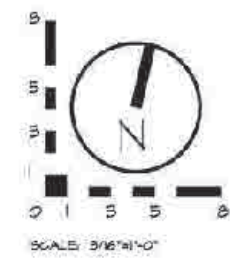
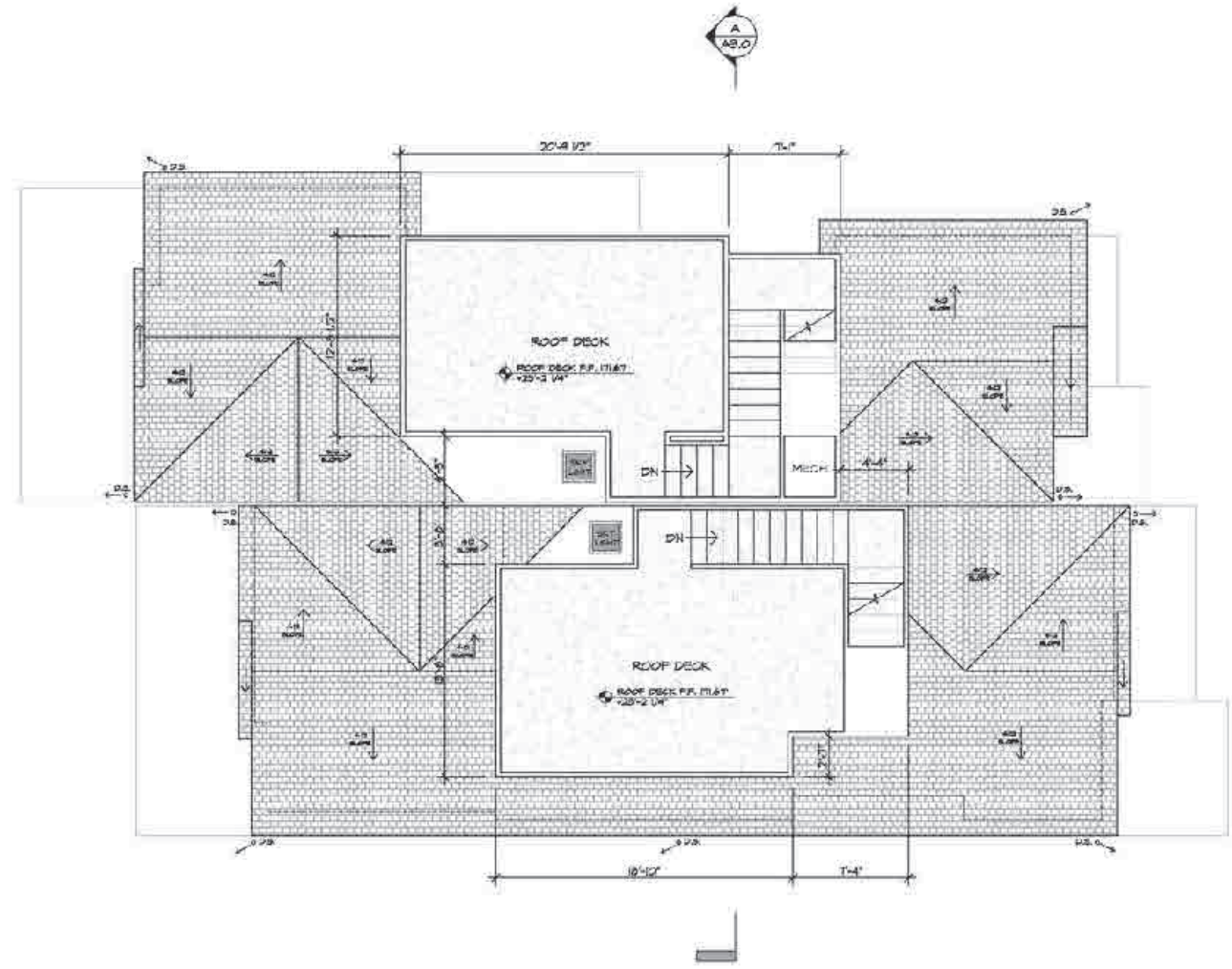
DATE

REV. DATE

WALL LEGEND

-  2x4 STUD WALL
-  2x6 STUD WALL
-  CMU RETAINING WALL WITH 2x4 FURRING
-  LOW WALL
-  SMOKE DETECTOR
-  CARBON MONOXIDE DETECTOR
-  TEMPERED GLASS WINDOW/DOOR
-  EGRESS FAN TO PROVIDE A MIN. OF 5 AIR CHANGES/HR. DISCHARGE TO THE OUTSIDE NO GREATER THAN 5 FT. FROM ANY EXTERIOR OPENING. SEE TIJ FOR VENTILATION NOTES.
-  DOWN SPOUT

THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING WHEELING UNITS OR 0.5-INCH FOR OTHER DOORS.



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Project Address:
 7310 & 7312 FAY AVENUE
 LA JOLLA, CA 92037

Project Name:
 UNITS AT 7310

Sheet Title:
 ROOF PLANS

- Revision 10:
 - Revision 9:
 - Revision 8:
 - Revision 7:
 - Revision 6:
 - Revision 5:
 - Revision 4:
 - Revision 3:
 - Revision 2: 08-08-22
 - Revision 1: 09-01-21
- Original Date: 08-28-20
 Sheet 9 of 14

ROOF PLAN
 SCALE: 3/16"=1'-0"



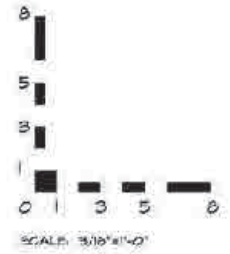
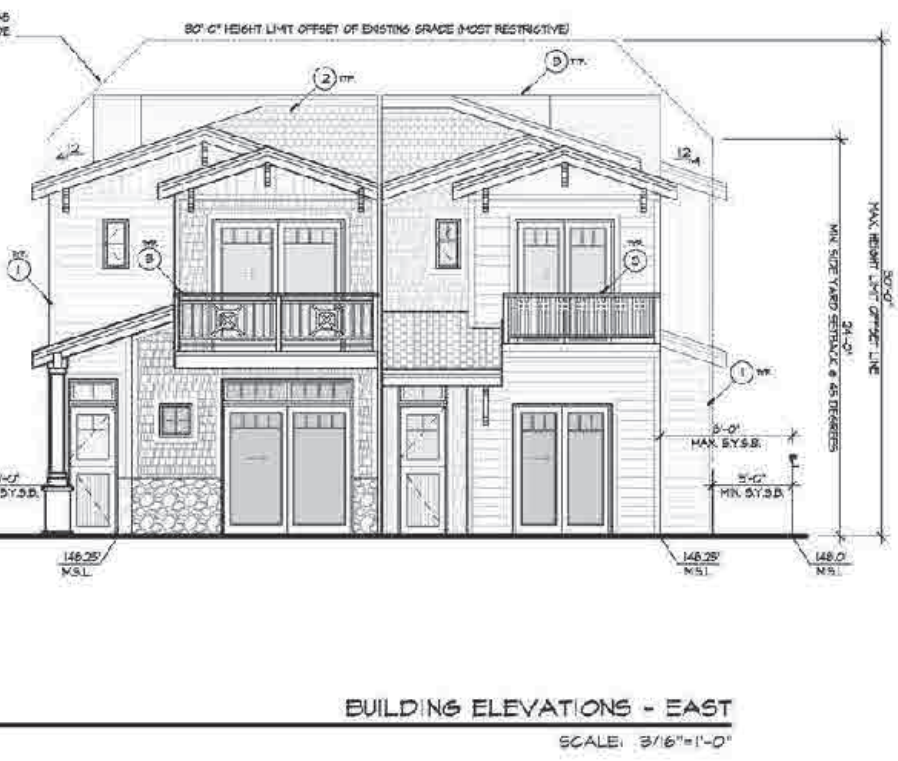
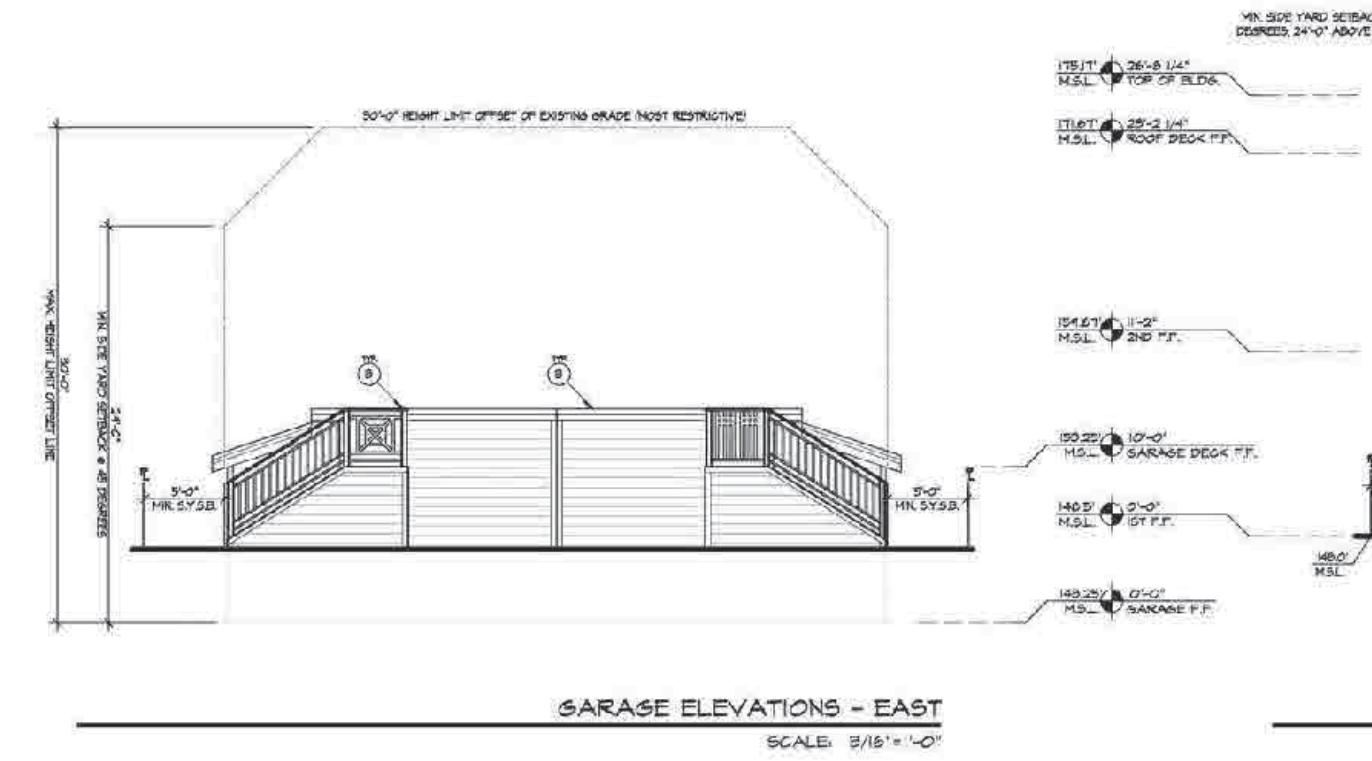
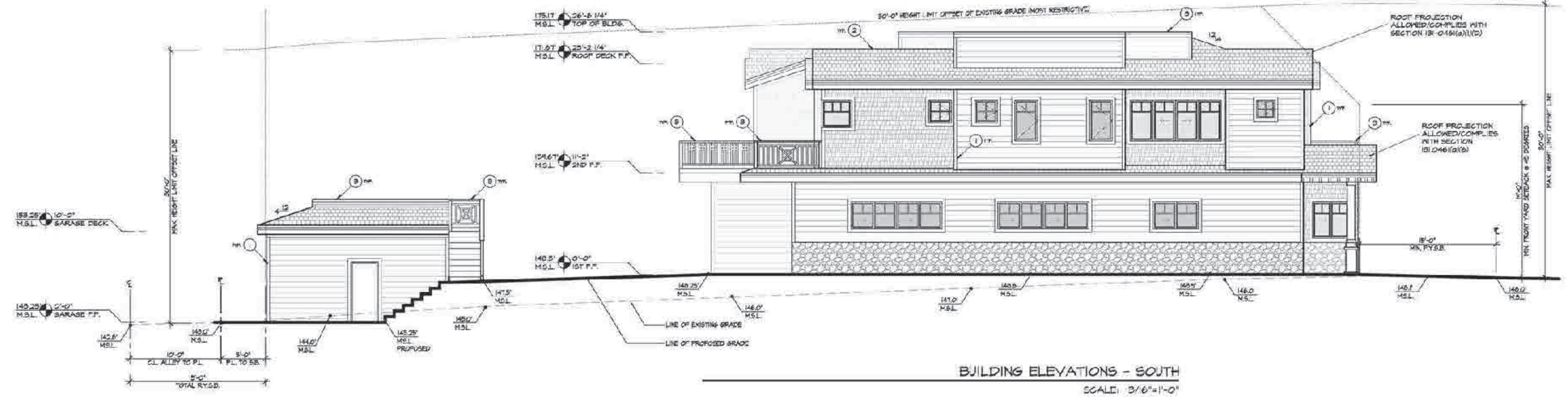


THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMG SEC. 152.0505).

PROPERTY IS UNDER THE PROP. D HEIGHT MEASUREMENT.

- KEY NOTES**
- 4" TRIM FINISH, TYP.
 - ASPHALT SHINGLE ROOF- 3/8" THERMAL PRESTIGUE LIFETIME WARRANTY, COLOR PER OWNER APPROVAL, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - DECK RAILING AT 42" ABOVE FINISHED FLOOR.

- ELEVATION LEGEND:**
- SHINGLE SIDING
 - 7/16" 16" EXPOSED LAP SIDING, RUSTIC CEDAR FINISH
 - BRICK VENEER FINISH
 - ASPHALT SHINGLE ROOF- 3/8" THERMAL PRESTIGUE LIFETIME WARRANTY, COLOR PER OWNER APPROVAL, CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - TINTED GLASS



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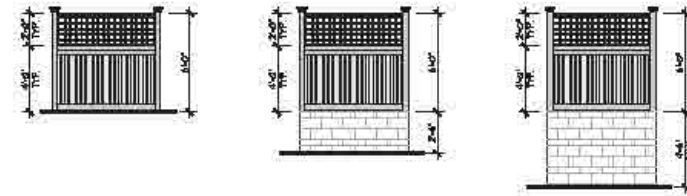
Project Address:
 7310 & 7312 FAY AVENUE
 LA JOLLA, CA 92037

Project Name:
 UNITS AT 7310

Sheet Title:
BUILDING ELEVATIONS
 PTS-067327B

Revision 10:
 Revision 9:
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 Revision 3:
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 Revision 1: 09-01-2

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NORTH & SOUTH COMMON PROPERTY LINE TYP. FENCE ELEVATIONS
SCALE: 3/16"=1'-0"

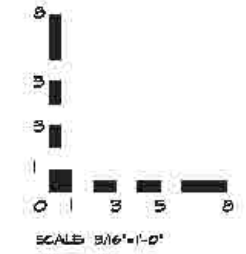
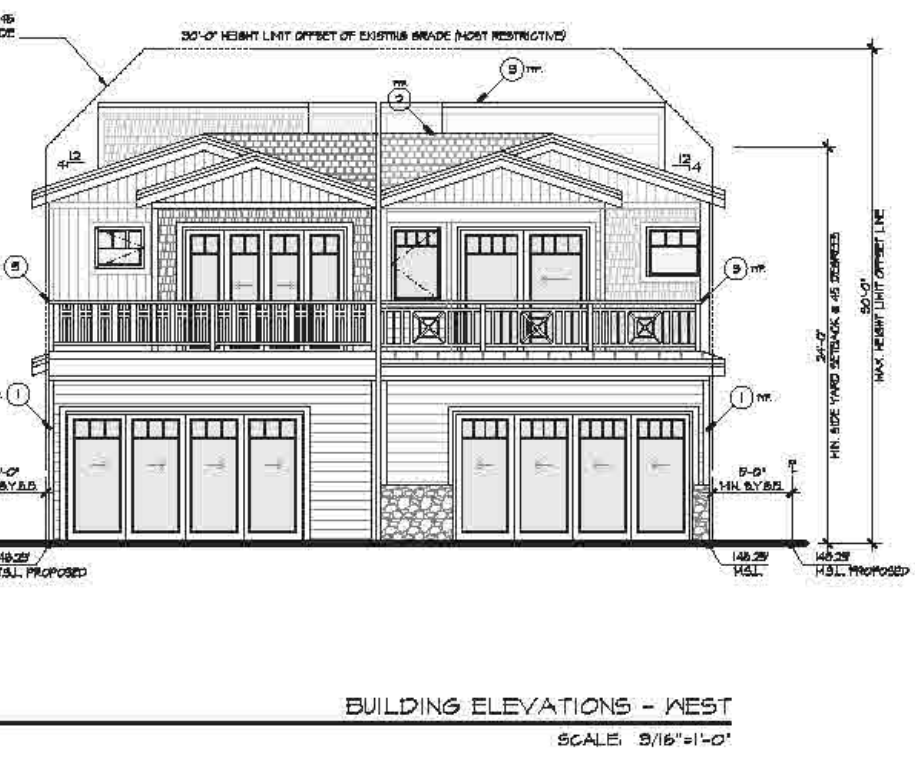
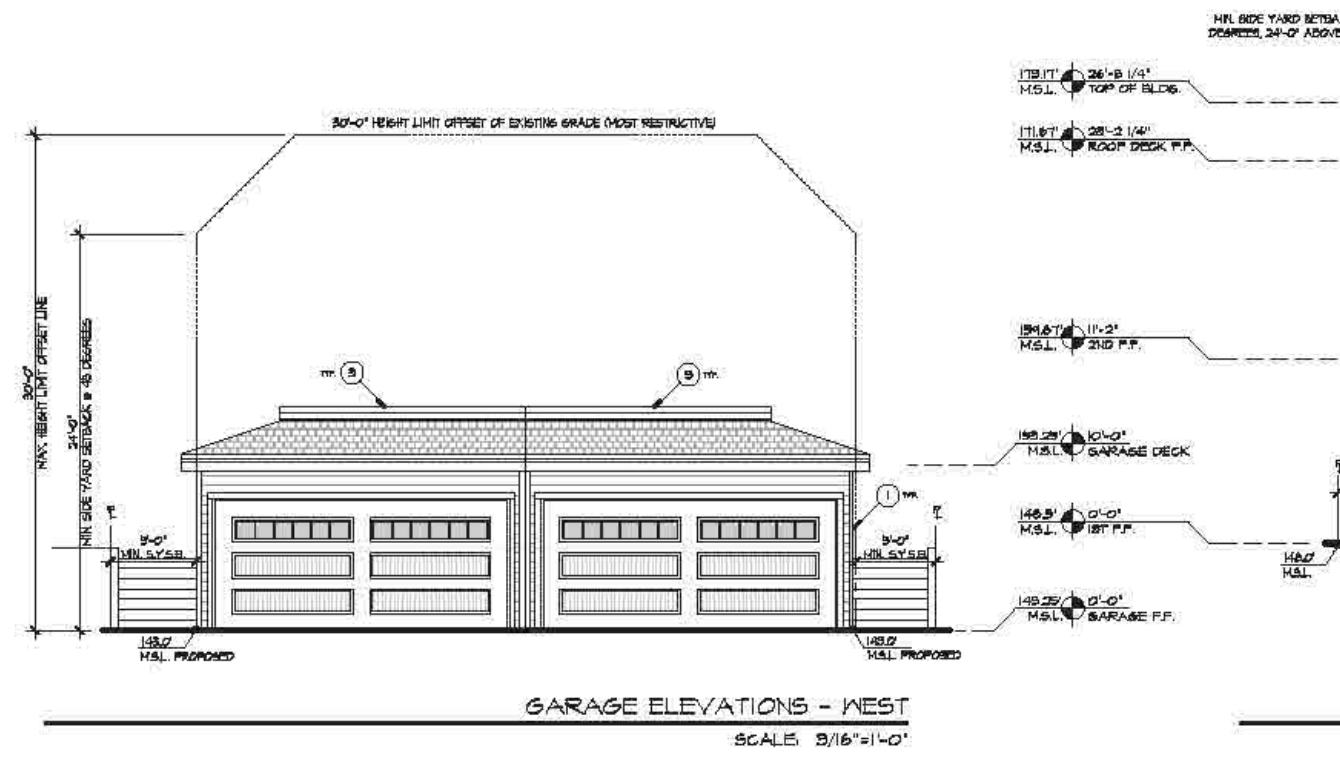
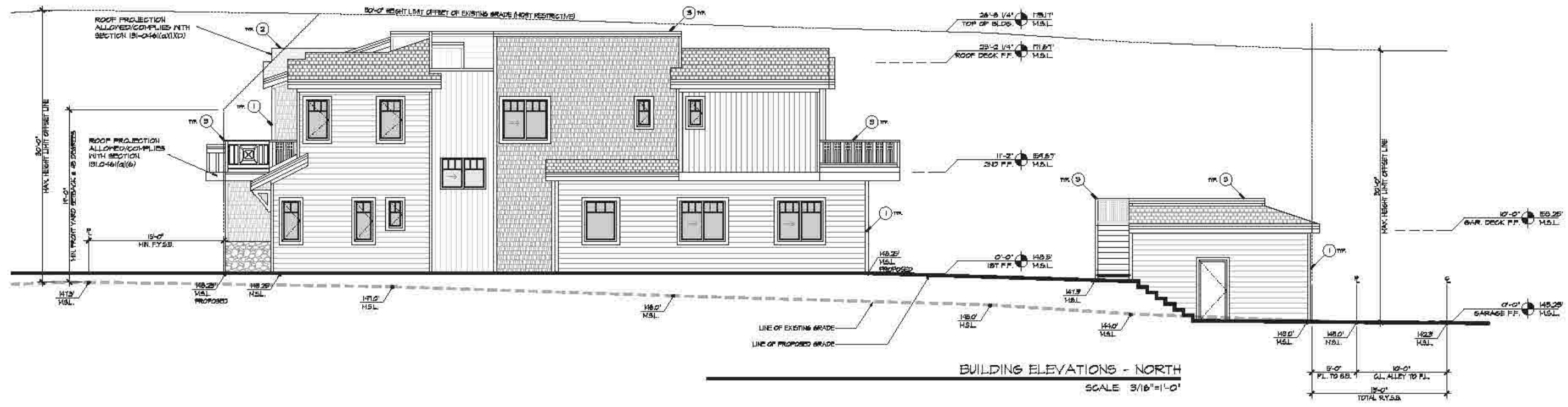
THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (SDMC, SEC. 102.0505).

PROPERTY IS UNDER THE PROP. D HEIGHT MEASUREMENT

- KEY NOTES**
- 4" TRIM FINISH, TYP.
 - ASPHALT SHINGLE ROOF- GAF TIMBERLINE PRESTIGE LIFETIME WARRANTY. COLOR PER OWNER APPROVAL. CLASS 'A' FIRE RATED ASSEMBLY, TYP.
 - DECK RAILINGS AT 42" ABOVE FINISHED FLOOR.

ELEVATION LEGEND:

	SHINGLE SIDING
	7 1/4" (6" EXPOSED) LAP SIDING, RUBIC CEDAR FINISH
	BRICK VENEER FINISH
	ASPHALT SHINGLE ROOF- GAF TIMBERLINE PRESTIGE LIFETIME WARRANTY. COLOR PER OWNER APPROVAL. CLASS 'A' FIRE RATED ASSEMBLY, TYP.
	TEMPERED GLASS



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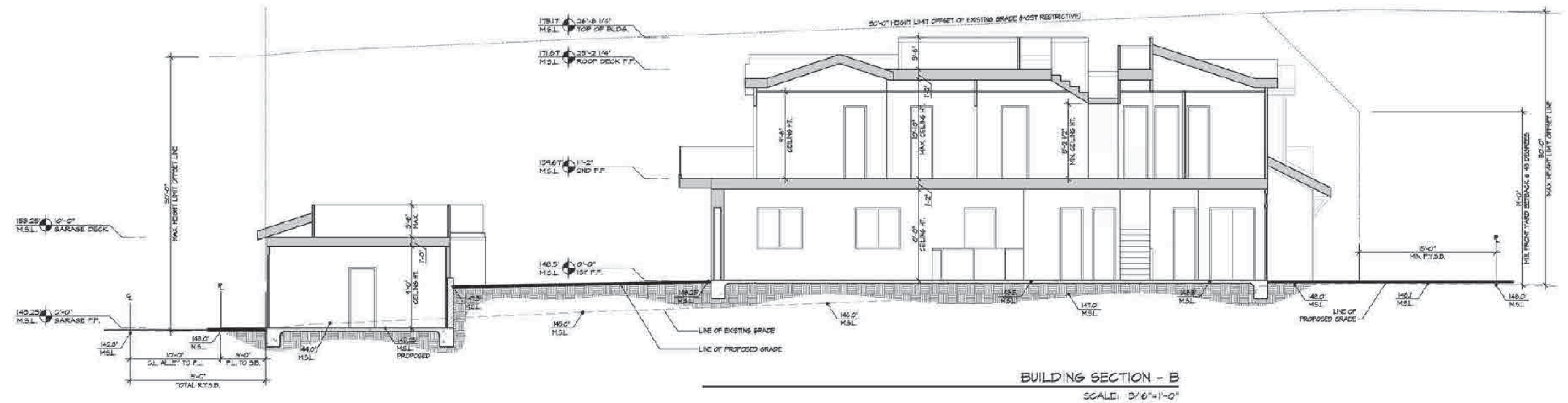
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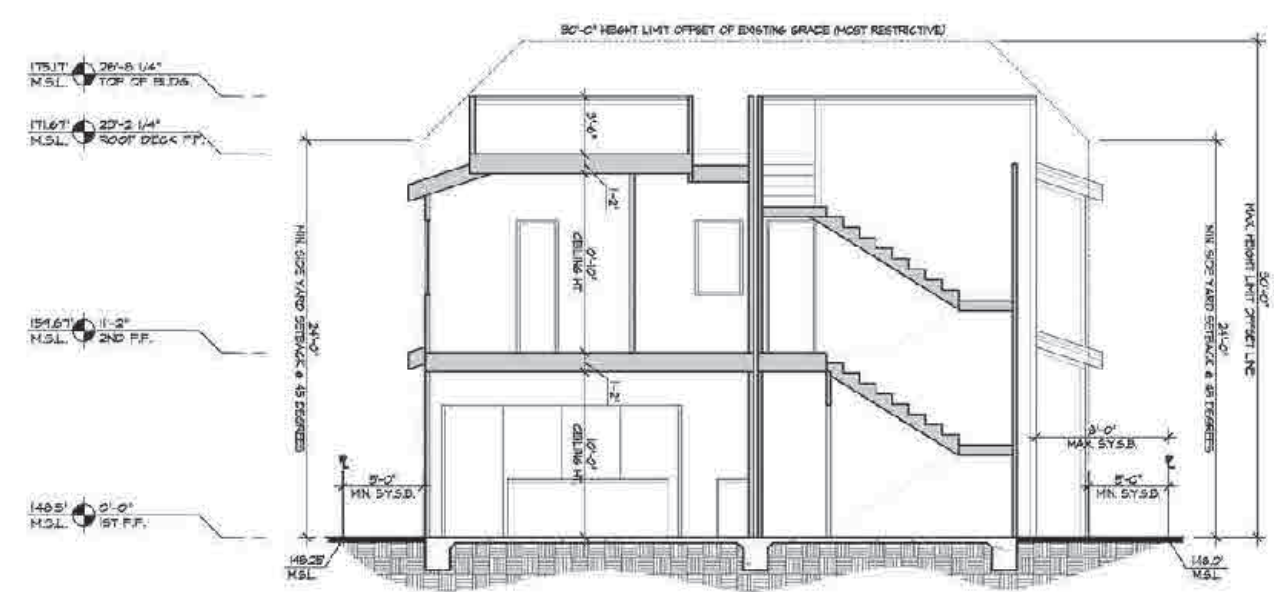


THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE THE GRADE (50% SLOPE 152.0505).

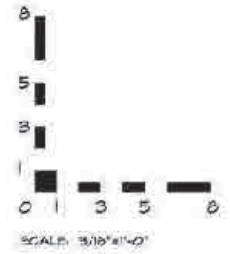
INSULATION
 ROOF: R-50
 WALL: R-15
 FLOOR: R-14



BUILDING SECTION - B
 SCALE: 3/16"=1'-0"



BUILDING SECTION - A
 SCALE: 3/16"=1'-0"



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Project Name:
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Sheet Title:
BUILDING SECTIONS

PTS-067327B

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 Sheet 12 of 14

GENERAL NOTES:

1. THIS PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER DOCUMENTS FOR COMPLETE SCOPE OF WORK.
2. BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATION OF ALL EXISTING SITE UTILITIES INCLUDING WATER SEWER, GAS AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
3. GRADE SITE TO DIRECT WATER AWAY FROM BUILDING AND NEW ADDITIONS. LANDSCAPE DRAINING SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVINGS.
4. LOCATE REUSE BINS PER PLANS.
5. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES. EXCLUDING AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
6. ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
8. PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
9. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND MAINTENANCE PERIOD. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE LONG-TERM MAINTENANCE OF ALL REQUIRED LANDSCAPE IMPROVEMENTS INCLUDING IN THE RIGHT OF WAY.

12. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.
13. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE FREE AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "CORING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
14. IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
15. ALL GRADED, DISTURBED OR EXPOSED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142.04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
16. A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER SDMG 142.04G(1)(5).
17. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - 17.1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - 17.2. STOCKPILING, TOPSOIL DISURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBIT WITHIN THE FENCE.
 - 17.3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - 17.4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IRRIGATION NOTE:

1. ALL PLANTING AREAS SHALL BE IRRIGATED BY A BACKFLOW-PREVENTED IRRIGATION SYSTEM, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED UNDERGROUND PIPED SPRINKLER SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART LOW PRECIPITATION RATE DRIP IRRIGATION EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 215 PRESSURE PIPE AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP. NON-PRESSURE LINES 12" DEEP. DRIP TUBING 3" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSHORE FROM THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
2. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR S-AUTO-OFF DEVICE.
3. EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED SEPARATELY FROM OTHER PARKWAY PLANTINGS BY A HOMEOWNER-FUNDED AND MAINTAINED DRIP IRRIGATION SYSTEM.
4. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED FLOW SENSOR DEVICE.

DRAINAGE NOTES:

1. THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
2. ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO MAXIMUM EXTENT PRACTICABLE.
3. ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

HARDSCAPE LEGEND

- PROPOSED HARDSCAPE MATERIAL LEGEND:**
- HARDSCAPE PAVING 'A'
 Interlocking pavers such as:
 • Uncoated concrete with beveled/etched finish (SDMG)
 • Uncoated concrete with enhanced finish
 - HARDSCAPE PAVING 'B'
 Interlocking pavers such as:
 • Concrete in a paver
 • Stone pavers without mortar
 - HARDSCAPE PAVING 'C'
 Precision fabricated paving such as:
 • Precast concrete pavers
 • Precast concrete

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPE FOR THIS SMALL LOT SUBDIVISION RESPECTS THE ARCHITECTURAL STYLE AS WELL AS THE SURROUNDING NEIGHBORHOOD. WATER CONSERVING, LOW MAINTENANCE, NON-INVASIVE PLANTS THAT BLOW, DRY AND FILTER STORM WATER RUNOFF FROM PERVIOUS AND IMPERVIOUS SURFACES ARE PROPOSED. VERTICAL PLANTINGS ARE STRATEGICALLY PLACED TO PROVIDE PRIVACY FOR EACH RESIDENT. NEW TREES GIVE SHADE TO PEDESTRIANS, AVOID CONFLICTS WITH UTILITIES, AND PRESERVE VEHICULAR CIRCULATION IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE. ALL LANDSCAPE WILL BE MAINTAINED BY THE OWNER.

LANDSCAPE KEY NOTES:

- PROPERTY LINE - TYPICAL SYMBOL
- EXISTING SIDEWALK IN RIGHT-OF-WAY WHERE EXISTING DRIVEWAY IS TO BE REMOVED
- PROPOSED SIDEWALK IN RIGHT-OF-WAY TO MEET EXISTING WALK
- EXISTING WATER METER TO BE ABANDONED
- TRASH AND RECYCLING BINS
- EXISTING STUCCO WALL TO REMAIN
- 8" HIGH SOLID WOOD FENCE AND GATE TO MATCH ARCHITECTURE WITH 2" OPEN LATTICE (75% OPEN) ON TOP
- ORGANIC MULCH 3" DEEP, TYP. SYMBOL
- NEW WATER SERVICE PER CIVIL PLANS
- EXISTING PALMS IN RIGHT-OF-WAY TO BE PROTECTED IN PLACE, TYP.
- TREE ROOT BARRIERS WHERE TREES ARE WITHIN 5' OF SIDEWALK
- SEWER LATERAL PER CIVIL PLANS

LANDSCAPE AREA CALCULATIONS

BASE ZONE RM-12
 APPLICABLE CODE: SDMG 142.04G(1) 142.04G(1)(5)(1)

TOTAL LOT AREA	7,028 SF
STREET YARD TOTAL AREA	2,018 SF
PLANTING AREA REQUIRED (SDMG)	201 SF
EXCESS AREA PROVIDED	1,817 SF
AREA ALLOWED AS UNATTACHED PAVING	1,817 SF
AREA PROVIDED AS UNATTACHED PAVING	1,817 SF
PLANT POINTS PROVIDED (SDMG)	1,817
EXCESS POINTS PROVIDED	1,616
POINTS ACHIEVED WITH TREES	201

MINIMUM DISTANCE TO STREET TREE SEPARATION DISTANCE:

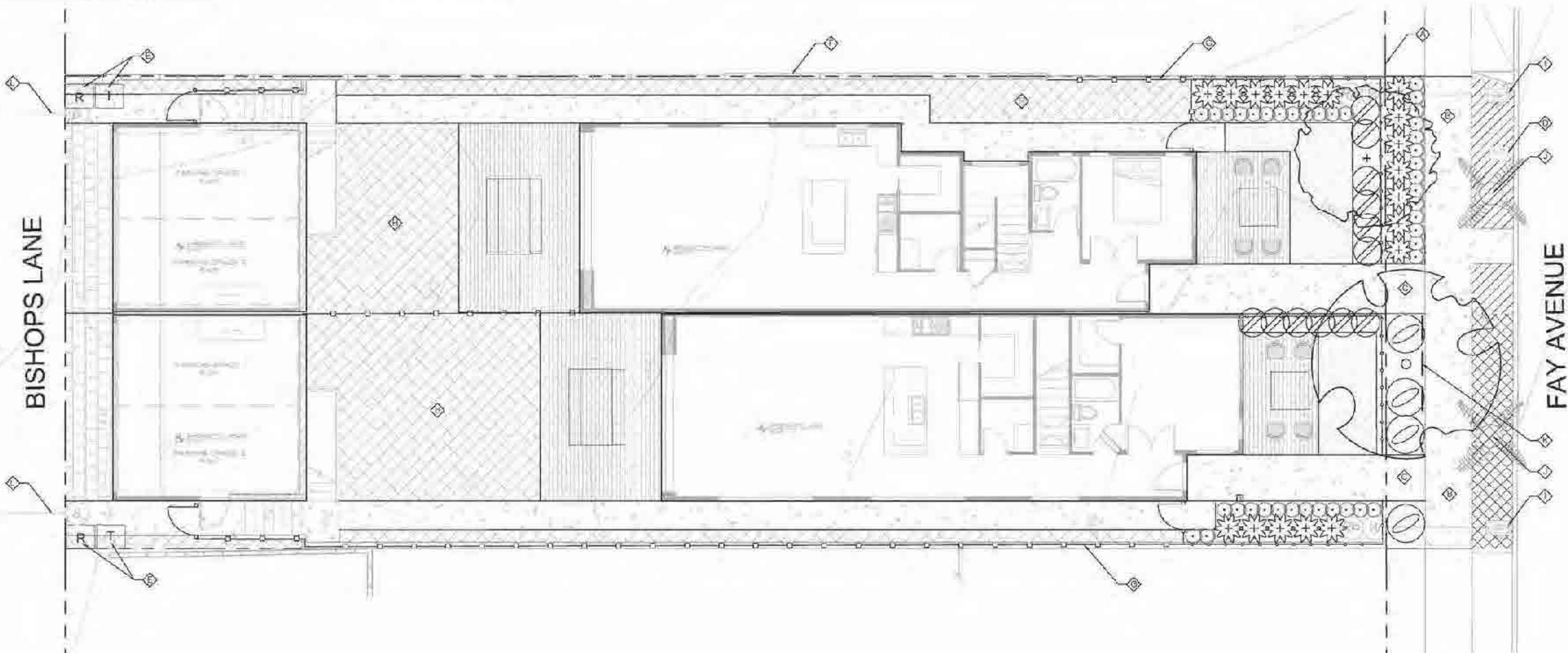
TRAFFIC SIGNAL/STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET

STREET TREE CALCULATION

(1) 24" BOX TREE REQUIRED FOR EVERY 33' STREET FRONTAGE, (1) 13" BTH PALM FOR EVERY 10' STREET FRONTAGE
 STREET FRONTAGE: 30'
 STREET TREE REQUIRED: 1 PALM, 1 TRFF
 STREET TREE PROVIDED: 2 PALMS (EXISTING), 1 TREE

MINIMUM STREET TREE SEPARATION DISTANCE:

IMPROVEMENT/	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL/STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
SEWER LINES	10 FEET



LANDSCAPE IMPROVEMENT PLANS FOR
7310 FAY AVENUE UNITS

FOR APPROVAL

LANDSCAPE PLAN AND NOTES

8-19-2020

7310 FAY AVENUE
 LA JOLLA, CA 92037

N LA
 NERI
 LANDSCAPE
 ARCHITECTURE
 400 HANCOCK STREET, SUITE 100
 SAN DIEGO, CA 92101
 TEL: 619.594.0000 FAX: 619.594.0001

PROPOSED PLANT MATERIAL LEGEND: QTY / % / SIZE

Deciduous Preferred Species

STREET TREES
 Medium scale tree - 30' tall x 20" wide, such as:
Jacaranda mimosoides 'Jacaranda'

SHADE TREES
 Small scale tree - 15' tall x 15" wide, such as:
Albizia x Maxima 'Sweetberry Tree'
Goumia Maxima 'Hot Lip Orchid Tree'
Lagerstroemia indica 'Orange Myrtle'

EVERGREEN SHRUB
 Small scale shrub - 3' tall x 3' wide, such as:
Polygala frutescens 'Pette Butterfly'
Escallonia rubra 'Newport Dwarf'
Westringia frutescens Grey Box 'Dwarf Coast Rosemary'

FLOWERING SHRUB
 Small scale shrub - 3' tall x 3' wide, such as:
Buddleja davidii 'Emanation Mango'
Polygala frutescens 'Pette Butterfly'
Westringia frutescens Grey Box 'Dwarf Coast Rosemary'

ACCENT SHRUB
 Medium scale shrub - 4' tall x 4' wide, such as:
Dicentra spectabilis 'Fortnight Lily'
Leucodaphnophyllum 'Compact Ranger'
Rosa floribunda 'Iceberg' 'White Shrub Rose'

BORDER PERENNIAL
 Small scale shrub - 1.5' tall x 1.5' wide, such as:
Fuchsia amplexicaulis 'Blue Marguerite'
Lilium muscari 'Silvery Summer'
Erigeron glaucus 'Sourful' 'Quasile Druis'

GROUND COVER
 Low growing groundcover - 1' tall x spreading, such as:
Lantana camara 'Lantana'
Paspalum patulum 'Pink' 'Pink Ivy Geranium'
Trochostema 'Chinese Star Jasmine'

GROUND COVER 15% SF
 Stucco
 Artificial Turf

WATER BUDGET CALCULATIONS:

TOTAL LANDSCAPE AREA (LA) = 740 SF
 SPECIAL LANDSCAPE AREA (SLA) = 0 SF
 ETa = 40
 FTAF = 56

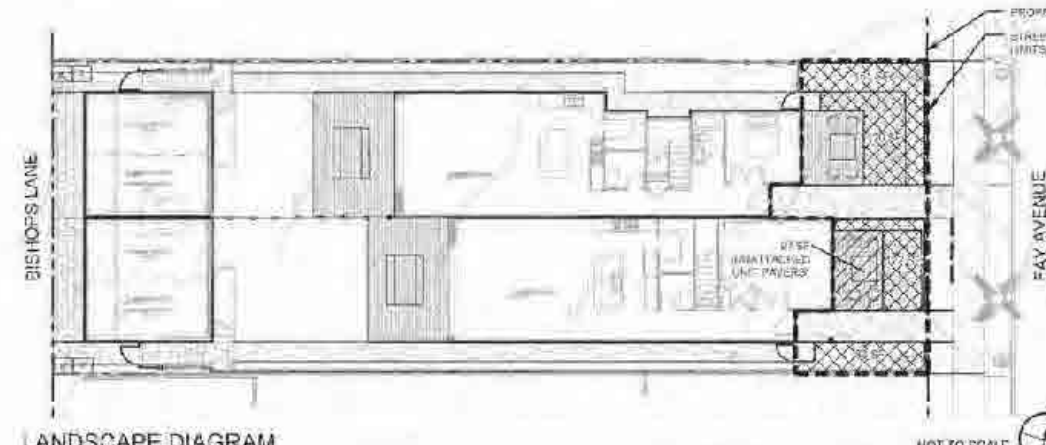
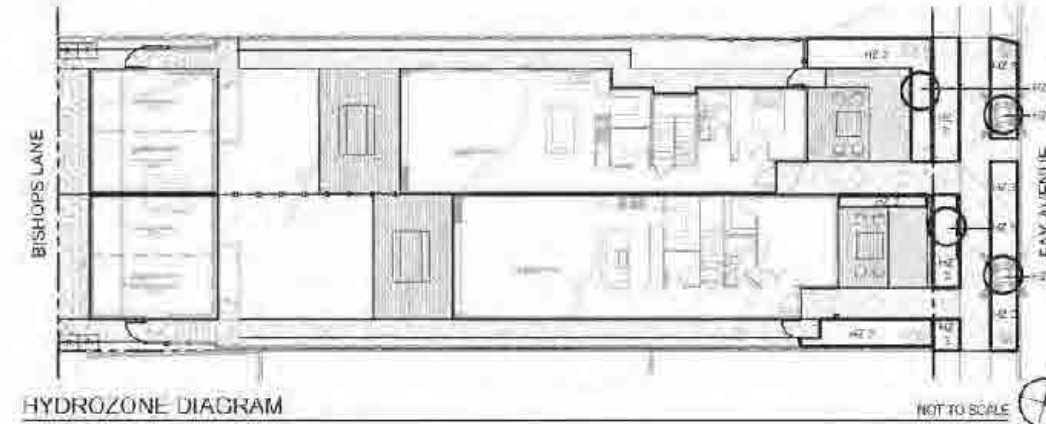
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)
 MAWA = (ETa)(D) + (0.55 x LA) + (0.45 x SLA)
 (40)(0.62) + (0.55 x 740) + (0.45 x 0) = **409.4 GAL/YR**

ETWd = (ETa)(0.32) (PF x HAME) + (SLA)

ESTIMATED TOTAL WATER USE (ETWU) = **409.4 GAL/YR**

ESTIMATED TOTAL WATER USE

HYD	PLANT FACTOR	HYDROZONE AREA IN SQ FT	IRRIGATION METHOD	IRRIGATION EFFICIENCY	ETAF (PF/IE)	ETAF X HA	RESULT IN GAL/YR	
1	0.4	112	DRIP	81	0.49	55.3	1,372	
2	0.4	282	DRIP	81	0.49	128.4	4,588	
3	0.4	346	DRIP	81	0.48	160.7	4,482	
TOTAL:							740	9,042



SCALE 3/16" = 1'-0"

Property No. 36
 Draw No. 001
 Date: 11/14/2017

N LA
NSRI LANDSCAPE ARCHITECTURE
 2211 BISHOPS LANE, SUITE 100
 BISHOPS LAKE, CA 94008
 TEL: (415) 254-1212
 WWW.NSLA.COM

LANDSCAPE IMPROVEMENT PLANS FOR 7310 FAY AVENUE UNITS

FOR APPROVAL

LANDSCAPE PLAN, SCHEDULES & CALCULATIONS

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