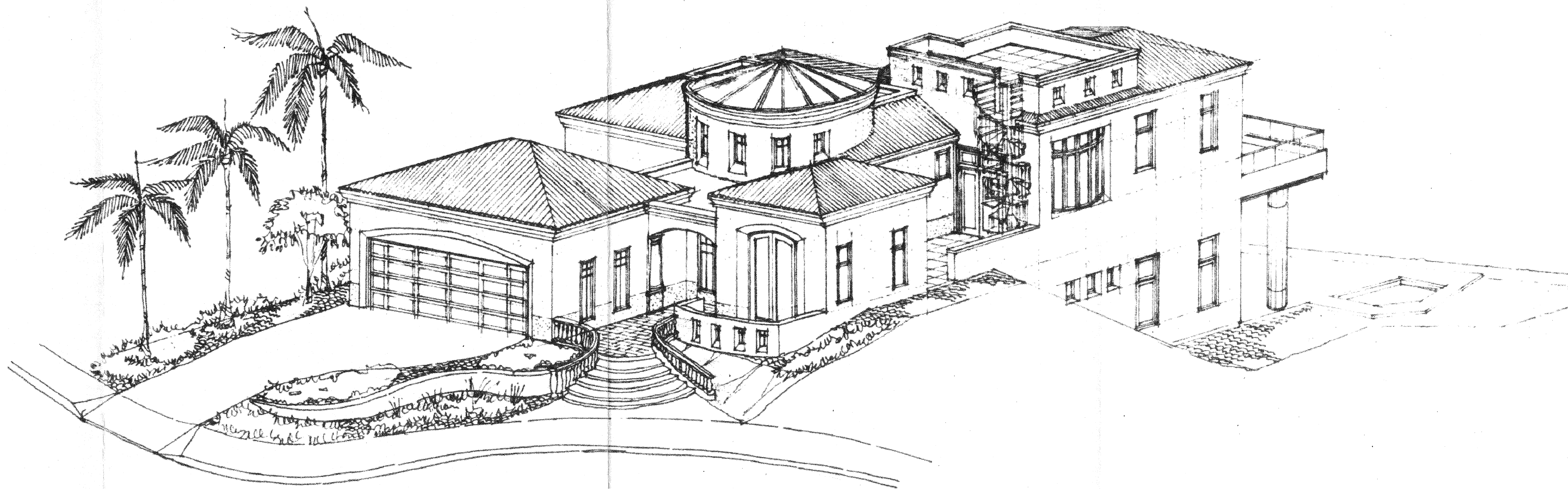


CUSTOM RESIDENCE

7116 VISTA DEL MAR
LA JOLLA, CA 92037
FOR
COASTAL DEVELOPMENT PERMIT
SITE DEVELOPMENT PERMIT



PROJECT CONDITION NOTES:

1. THERE SHALL BE COMPLIANCE WITH THE REGULATION OF THE UNDERLYING ZONE(S) UNLESS A DEVIATION OR VARIANCE TO A SPECIFIC REGULATION(S) IS APPROVED OR GRANTED AS A CONDITION OF APPROVAL OF THIS PERMIT. WHERE THERE IS A CONFLICT BETWEEN A CONDITION (INCLUDING EXHIBITS) OF THIS PERMIT AND A REGULATION OF THE UNDERLYING ZONE, THE REGULATION SHALL PREVAIL UNLESS THE CONDITION PROVIDES FOR A DEVIATION OR VARIANCE FROM THE REGULATIONS. WHERE A CONDITION (INCLUDING EXHIBITS) OF THIS PERMIT ESTABLISHES A PROVISION WHICH IS MORE RESTRICTIVE THAN THE CORRESPONDING REGULATION OF THE UNDERLYING ZONE.

2. A TOPOGRAPHICAL SURVEY CON FORMING TO THE PROVISIONS OF SECTION 101.0216 OF THE MUNICIPAL CODE MAY BE REQUIRED IF IT IS DETERMINED, DURING CONSTRUCTION, THAT THERE MAY BE A CONFLICT BETWEEN THE BUILDING(S) UNDER CONSTRUCTION AND A CONDITION OF THIS PERMIT OR A REGULATIONS OF THE UNDERLYING ZONE. THE COST OF ANY SUCH SURVEY SHALL BE BORNE BY THE PERMITTEE.

3. ANY FUTURE REQUESTED AMENDMENT TO THIS PERMIT SHALL BE REVIEWED FOR COMPLIANCE WITH THE REGULATIONS OF THE UNDERLYING ZONE(S) WHICH ARE IN EFFECT ON THE DATE OF THE SUBMITTAL OF THE REQUESTED AMENDMENT.

4. THE SUBJECT PROPERTY AND SHALL BE MAINTAINED IN A NEAT AND ORDERLY FASHION AT ALL TIMES.

PROJECT INFORMATION

BUILDING DEPARTMENT INFORMATION

PROJECT ADDRESS:	7116 Vista Del Mar La Jolla, California 92037
ASSESSORS PARCEL NUMBER:	351-210-37
LEGAL DESCRIPTION:	Parcel 1 of parcel Map No. 17588, In the City of San Diego, County of San Diego, State of California. Filed in the office of the County Recorder of San Diego County, On April 12, 1996 as File No. 1996-0181093 of Official Records.
YEAR BUILT:	APPROX. 1974
BUILDING CODE:	CALIFORNIA BUILDING CODE (CBC), 1997 EDITION NATIONAL ELECTRICAL CODE (NEC), 1996 EDITION UNIFORM MECHANICAL CODE (UMC), 1997 EDITION UNIFORM PLUMBING CODE (UPC), 1997 EDITION
OCCUPANCY TYPE:	Single Family Residence R-3
CONSTRUCTION TYPE:	TYPE 5 - NON RATED
LOT AREA:	5,889.7 S.F.
GROSS BUILDING AREAS	New
FIRST FLOOR AREA	1,181.7 S.F.
SECOND FLOOR AREA	2,281.7 S.F.
RESIDENTIAL AREA:	3,463.4 S.F.
GARAGE AREA	0.0 S.F.
ACCESSORY BUILDING	0.0 S.F.
NON-RESIDENTIAL AREA:	0.0 S.F.
PROJECT TOTAL:	3,463.4 S.F.
ADDITIONAL AREAS:	
Balcony Area	305.0 S.F.

ZONING INFORMATION

ZONE:	ES-1*
SENSITIVE OVERLAY ZONE:	Coastal zone
NUMBER OF STORIES:	Two Proposed
SETBACKS:	FRONT 10'-0" SIDE 4'-0" REAR 13'-0"
BUILDING HEIGHT LIMITATIONS:	24'-0" 30'-0" 24' height at building edge with 45 degree angle to max height
LOT COVERAGE FOR SLOPING LOTS:	Applies: 0.50
MAXIMUM FLOOR AREA RATIO:	Applies: within the front yard the maximum of parking and landscape, including architectural projections, is limited to 70 percent of the other required yard
MAX. PAVING & HARDSCAPE:	Applies: max. 25% of the GFA. And other items See SDHC 131.0448
ACCESSORY USES & STRUCTURES:	Applies: max. 25% of the GFA. And other items See SDHC 131.0448
GARAGE REGULATIONS:	Applies: See SDHC 131.0440
ARCHITECTURAL PROJECTIONS:	Applies: See SDHC section 131.0461a
SUPPLEMENTAL REQUIREMENTS:	Applies: See SDHC section 131.0461a
DIAGONAL PLAN DIMENSIONS:	Applies: for new structures only SDHC 131.0465
LOT AREA:	5,889.7 S.F.
ALLOWABLE BUILDING COVERAGE:	5,889.7 S.F. 100% SDHC Section 131.0442
ACTUAL BUILDING COVERAGE:	1,181.7 S.F. 20%
ALLOWABLE FAR:	3,474.9 S.F. 59% (section 131.0446)
ACTUAL FAR:	3,463.4 S.F. 59%
REQUIRED SITE LANDSCAPE COVERAGE:	1,760.9 S.F. 30%
ACTUAL SITE LANDSCAPE COVERAGE:	1,278.7 S.F. 39%
REQUIRED FRONT YARD HARDSCAPE COVERAGE:	482.9 S.F. 70% MAX
ACTUAL FRONT YARD HARDSCAPE COVERAGE:	353.4 S.F. 51%
BUILDING HEIGHT LIMITATIONS:	24'-0" 30'-0" 24' height at building edge with 45 degree angle to max height
BUILDING AREAS	Existing* Demolished New New Total Area
FIRST FLOOR AREA	0.0 S.F. 1,181.7 1,181.7 S.F.
SECOND FLOOR AREA	0.0 S.F. 2,281.7 2,281.7 S.F.
RESIDENTIAL AREA:	0.0 S.F. 3,463.4 3,463.4 S.F.
GARAGE AREA	0.0 S.F. 0.0 0.0 S.F.
ACCESSORY BUILDING	0.0 S.F. 0.0 0.0 S.F.
NON-RESIDENTIAL AREA:	0.0 S.F. 0.0 0.0 S.F.
PROJECT TOTAL:	0.0 S.F. 3,463.4 3,463.4 S.F.
Balcony Area	0.0 S.F. 305.0 305.0 S.F.
PARKING:	REQUIRED: 2 * All Parking Spaces are 9'-0" Wide and 19'-0" Long PROVIDED: 3 2 Covered Spaces in Charge & one behind the front setback line*

EXHIBIT "A"

CDP 6794 Project #4116
2/5/03 Mr. S. S. S. S.

PREPARED BY:

MARENGO MORTON ARCHITECTS
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La Jolla, CA 92037
858-459-3769
858-459-3768 (FAX)

PROJECT NAME:

CUSTOM RESIDENCE
7116 VISTA DEL MAR
La Jolla, CA 92037

Revision 4: 01/02/2003
Revision 3: 11/20/2002
Revision 2: 10/10/2002
Revision 1: 7/11/2002
Original Date: 7/11/2002
DEP#

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Claude Anthony Marengo DESA

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CUSTOM RESIDENCE
BY GIRARD DEVELOPMENT
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

REVISIONS

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△
△
△

PHASE

COASTAL PHASE

PROJECT NO.

2002-01

REVIEWED BY

MRM,CAM

DRAWN BY

JE, MRM

DATE

8/13/2002

SHEET TITLE

Title

T-1

1 SHEET OF 10

PROJECT CONDITION NOTES

1. NO FEWER THAN 2 OFF STREET PARKING SHALL BE MAINTAINED ON THE PROPERTY AT ALL TIMES IN THE APPROXIMATE LOCATIONS SHOWN ON THE APPROVED EXHIBITS "A" DATED XX, ON FILE IN THE OFFICE OF DEVELOPMENT SERVICES. PARKING SPACES SHALL COMPLY AT ALL TIMES WITH DIVISION 8 OF THE MUNICIPAL CODE AND SHALL NOT BE CONVERTED FOR ANY OTHER USE UNLESS OTHERWISE AUTHORIZED BY THE CITY MANGER.
2. ALL PRIVATE OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
3. THE USE OF TEXTURED OR ENHANCED PAVING SHALL MEET APPLICABLE CITY STANDARDS AS TO LOCATION, NOISE AND FRICTION VALUES.
4. PRIOR TO THE ISSUANCE OF CONSTRUCTION PERMITS, THE OWNER/PERMITTEE SHALL RECORD A DEED RESTRICTION PRESERVING A VISUAL CORRIDOR A MINIMUM XX WIDE ALONG THE SIDE SETBACK (ON THE NORTHERN SIDE OF THE LOT) AND XX WIDE ALONG THE SIDE YARD SETBACK (ON THE SOUTHERN SIDE OF THE LOT) IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAN DIEGO MUNICIPAL CODE SECTION 132.0403(B). OPEN FENCING AND LANDSCAPING MAY BE PERMITTED WITHIN THIS VISUAL CORRIDOR, PROVIDED SUCH IMPROVEMENTS DO NOT SIGNIFICANTLY OBSTRUCT PUBLIC VIEWS OF THE OCEAN. LANDSCAPE WITHIN THIS VISUAL CORRIDOR SHALL BE PLANTED AND MAINTAINED.

5. PRIOR TO BUILDING OCCUPANCY, THE APPLICANT SHALL CONFORM TO SECTION 62.0203 OF THE MUNICIPAL CODE, "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.
6. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT SHALL ASSURE, BY PERMIT AND BOND, THE CLOSURE OF THE EXISTING DRIVEWAY WITH RESTORATION TO FULL-HEIGHT CURB, GUTTER AND SIDEWALK, AND THE INSTALLATION OF A NEW DRIVEWAY, ALL SATISFACTORY TO THE CITY ENGINEER.

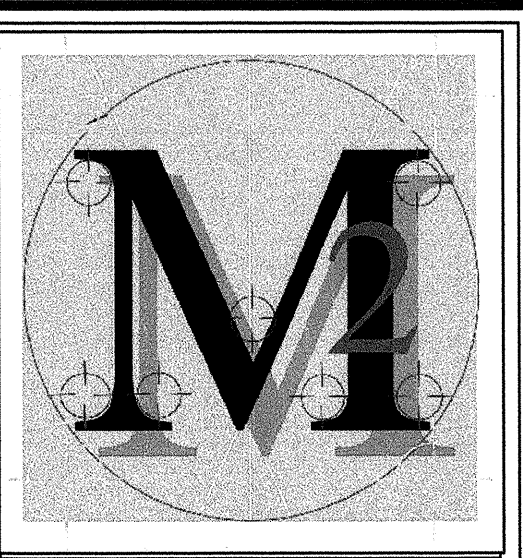
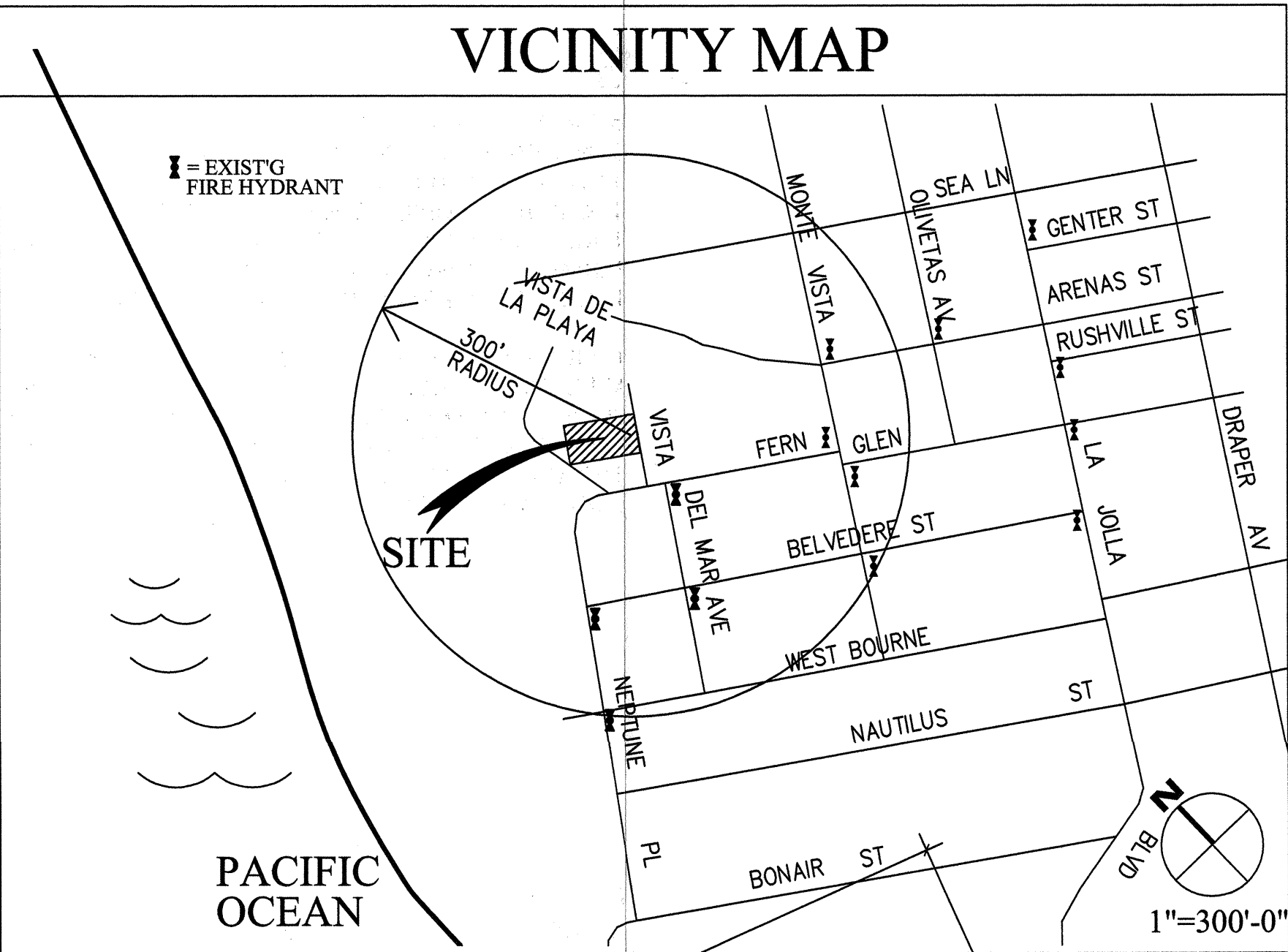
ADJACENT LOT
Lot 6 of Neptune Estates, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 3492, filed in the County Recorder of San Diego County on August 23, 1956.
APN # 351-210-32-00
7126 VISTA DEL MAR

SITE NOTES

1. PRIOR TO BUILDING OCCUPANCY, THE APPLICANT SHALL CONFORM TO SECTION 62.0203 OF THE MUNICIPAL CODE, "PUBLIC IMPROVEMENTS SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED BUILDING PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT-ISSUING AUTHORITY.
2. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE APPLICANT SHALL ASSURE, BY PERMIT AND BOND, THE CLOSURE OF EXISTING DRIVEWAY WITH RESTORATION TO FULL HEIGHT CURB, GUTTER AND SIDEWALK, AND THE INSTALLATION OF A NEW DRIVEWAY, ALL SATISFACTORY TO THE CITY ENGINEER.
3. BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM VISTA DEL MAR AVE PER FHPS P-00-6 (UFC 901.4.4)
4. EARTHWORK QUANTITIES:
WITHIN BUILDING FOOTPRINT:
CUT - 278 CU. YD., FILL - 115 CU YD.
OUTSIDE BUILDING FOOTPRINT:
CUT - 0 CU. YD., FILL - 163 CU YD.
TOTALS: CUT = 278 CU. YD.
FILL = 278 CU. YD.
CUT & FILL EQUAL OUT

MAX. DEPTH OF CUT FROM EXIST'G GRADE TO BOT. OF FTG. (OUTSIDE): 10.3 FT.
MAX. DEPTH OF CUT FROM EXIST'G GRADE TO BOT. OF SLAB (INSIDE): 8.6 FT

VICINITY MAP



Marengo Morton Architects

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CUSTOM RESIDENCE
BY GIRARD DEVELOPMENT
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

EXHIBIT "A"
COPY 1994, Project #4116
25/10/03 M. Morton

PHASE
COASTAL PHASE

PROJECT NO.
2002-01

REVIEWED BY
MRM,CAM

DRAWN BY
JE, MRM

DATE
8/13/2002

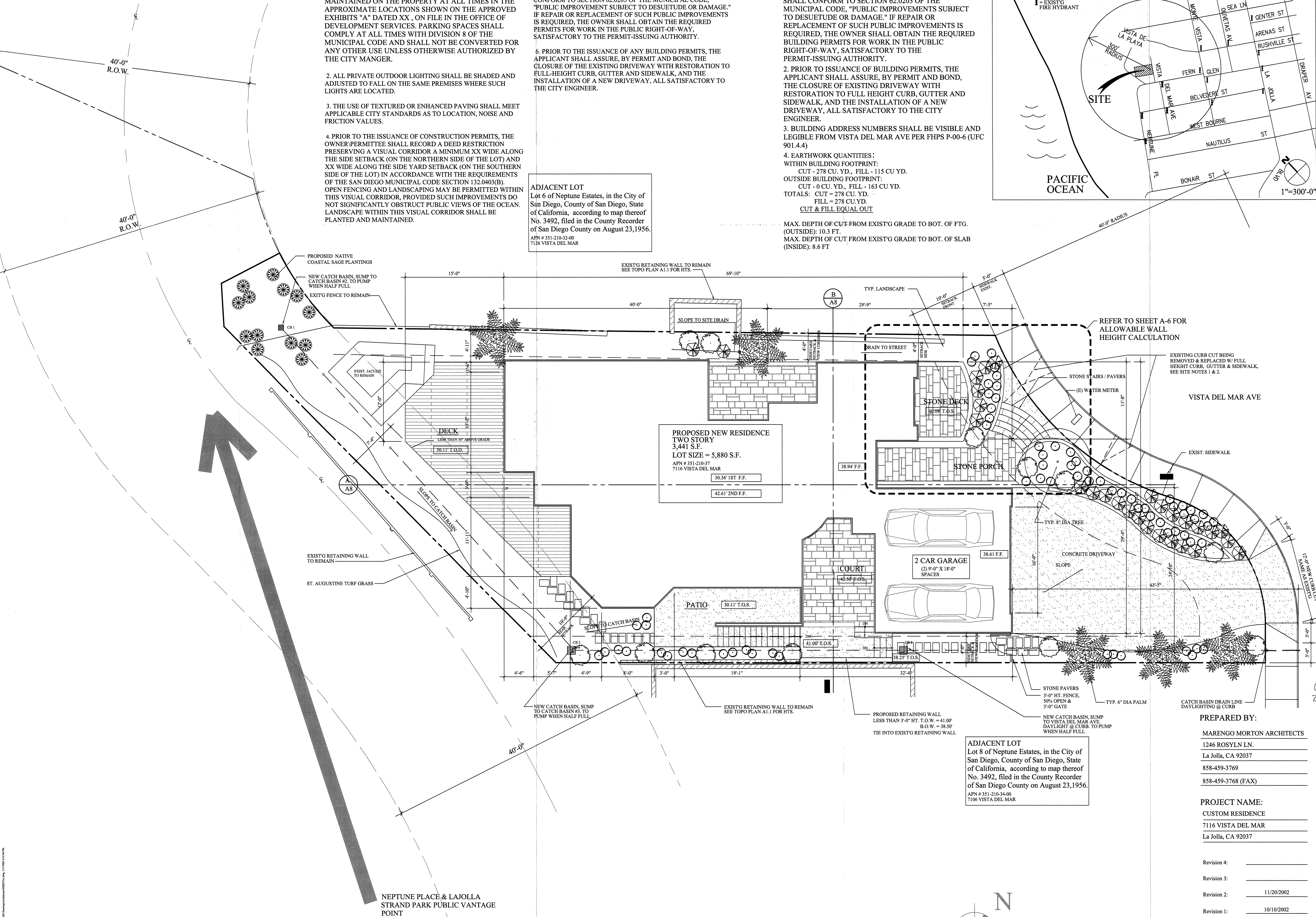
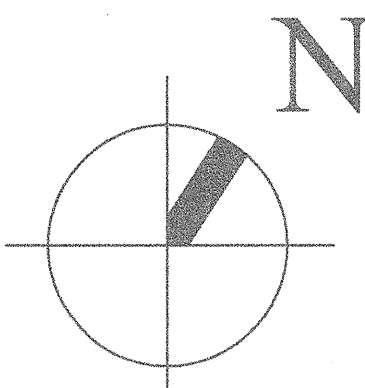
SHEET TITLE
PROPOSED
SITE PLAN

A-1

SHEET OF

PROPOSED SITE PLAN

SCALE: 3/16" = 1'-0"



PREPARED BY:

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PROJECT NAME:

CUSTOM RESIDENCE
7116 VISTA DEL MAR
La Jolla, CA 92037

Revision 4:

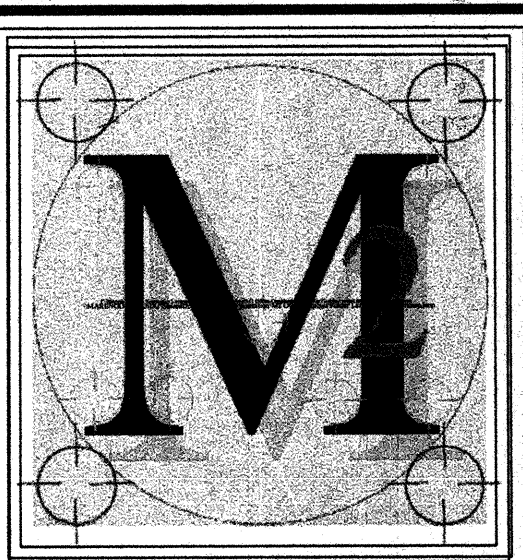
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Revision 2: 11/20/2002

Revision 1: 10/10/2002

Original Date: 7/11/2002

DEP#



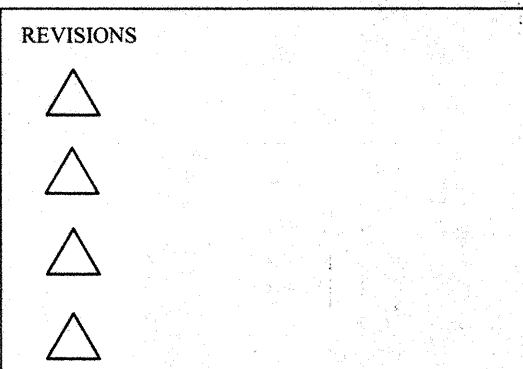
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BY GIRARD DEVELOPMENT**
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037



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COASTAL PHASE

PROJECT NO.
2002-01

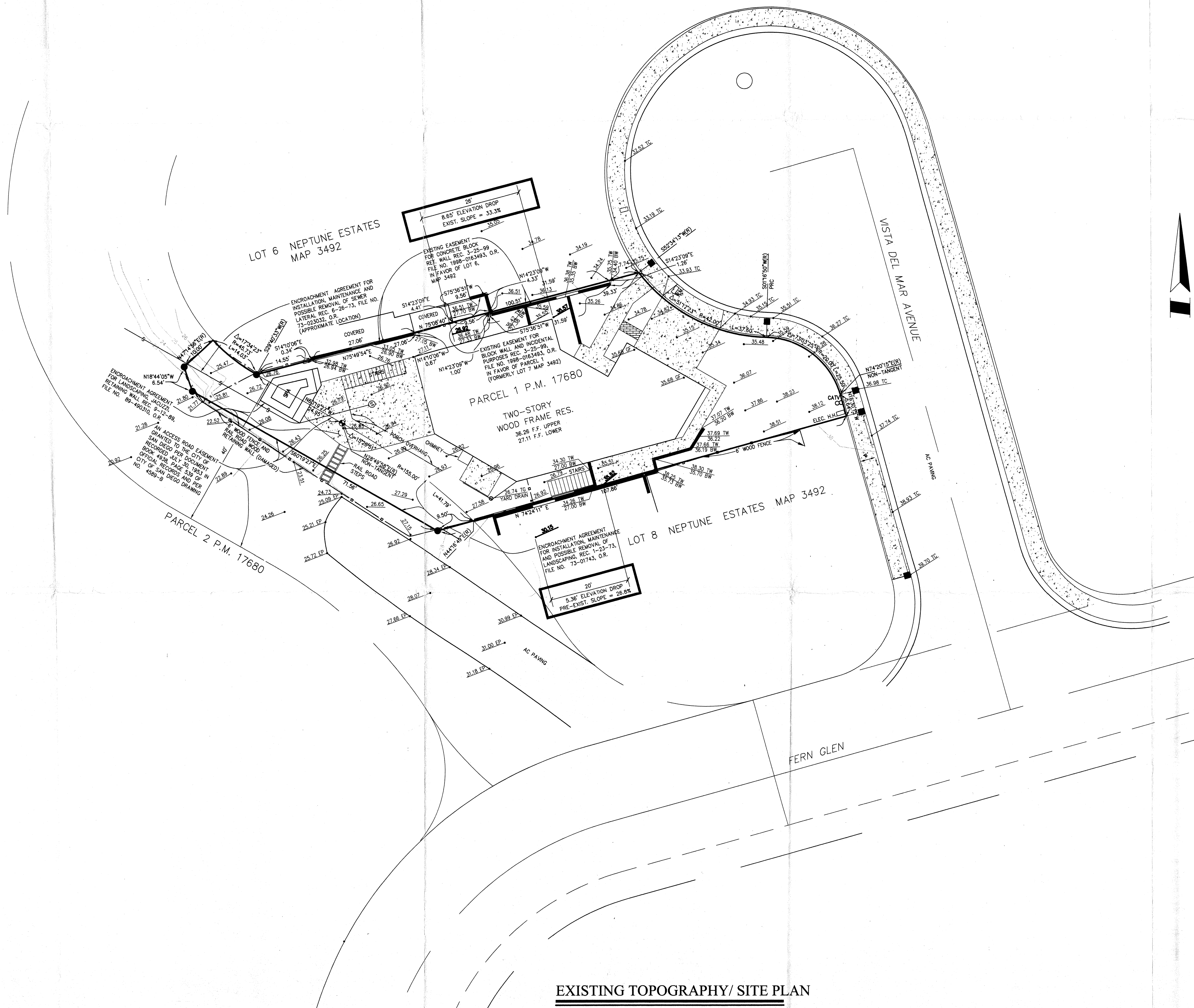
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DATE
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EXISTING TOPO

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2 SHEET OF 10



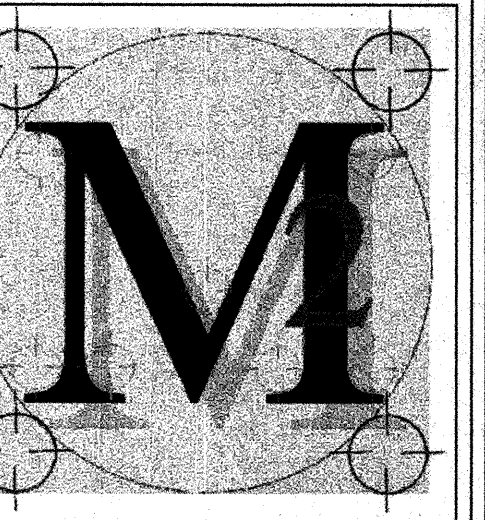
EXISTING TOPOGRAPHY/ SITE PLAN
SCALE: 1"= 10'-0"

EXHIBIT "A"
ODP 6794 Project # 4116
2/5/03 JH. Sullivan

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CUSTOM RESIDENCE
7116 VISTA DEL MAR
La Jolla, CA 92037

Revision 4: _____
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7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

EXHIBIT "A"
CDP 6794 Project # 4116
2/5/03 M. Studonicki

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PROJECT NAME:
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7116 VISTA DEL MAR
La Jolla, CA 92037

Revision 4: _____
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REVISIONS

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PHASE
COASTAL PHASE

PROJECT NO.
2002-01

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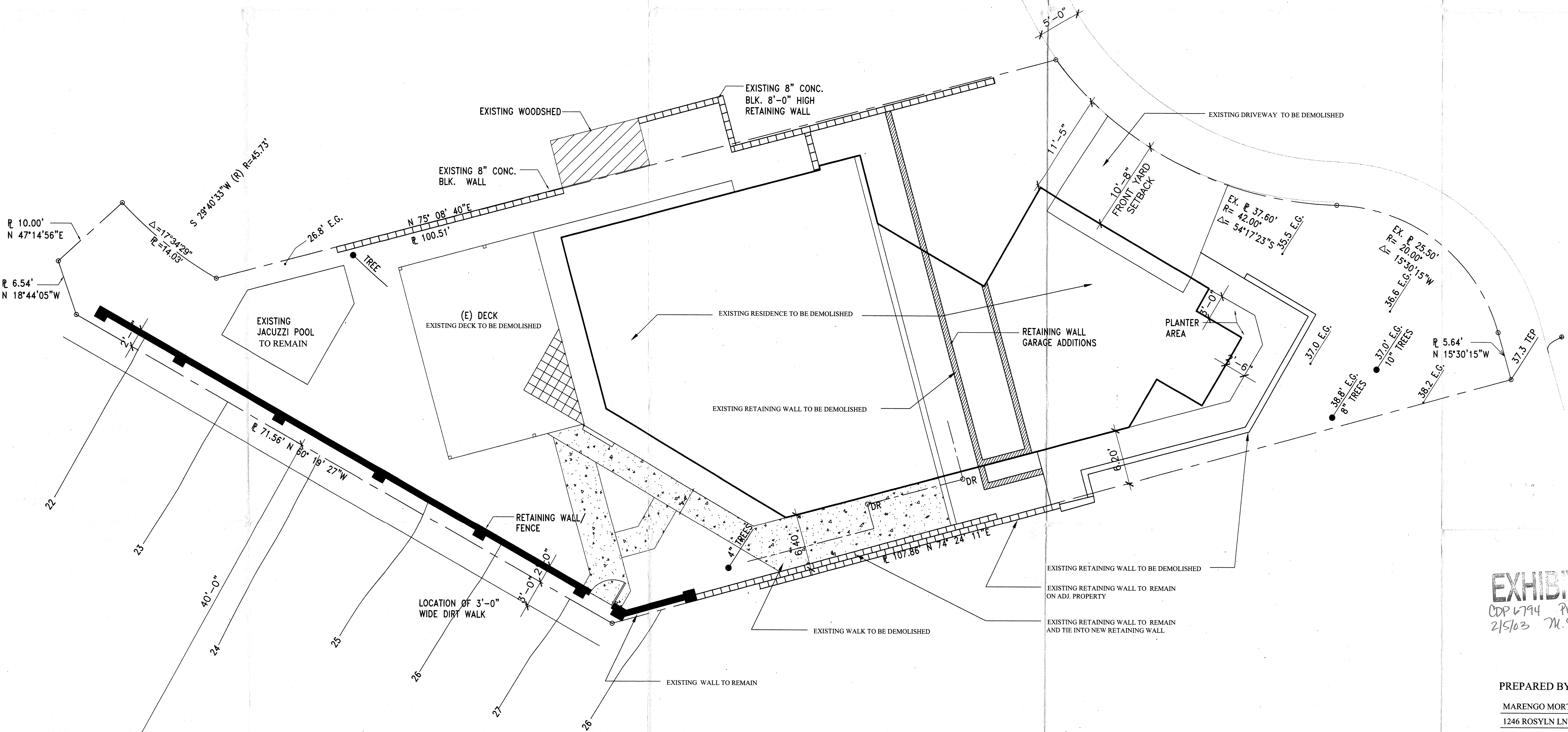
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DATE
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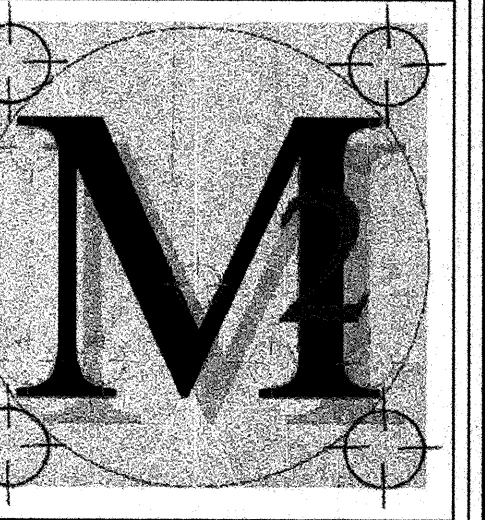
SHEET TITLE
EXISTING
BUILDING/DEMO

A-2

4 SHEET OF 10



EXISTING RESIDENCE SITE PLAN / DEMO PLAN
SCALE: 3/16"= 1'-0"



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7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

EXHIBIT "A"
CDP 6794 Project # 4116
2/5/03 M. Morton

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PROJECT NAME:
CUSTOM RESIDENCE
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PHASE
COASTAL PHASE

PROJECT NO.
2002-01

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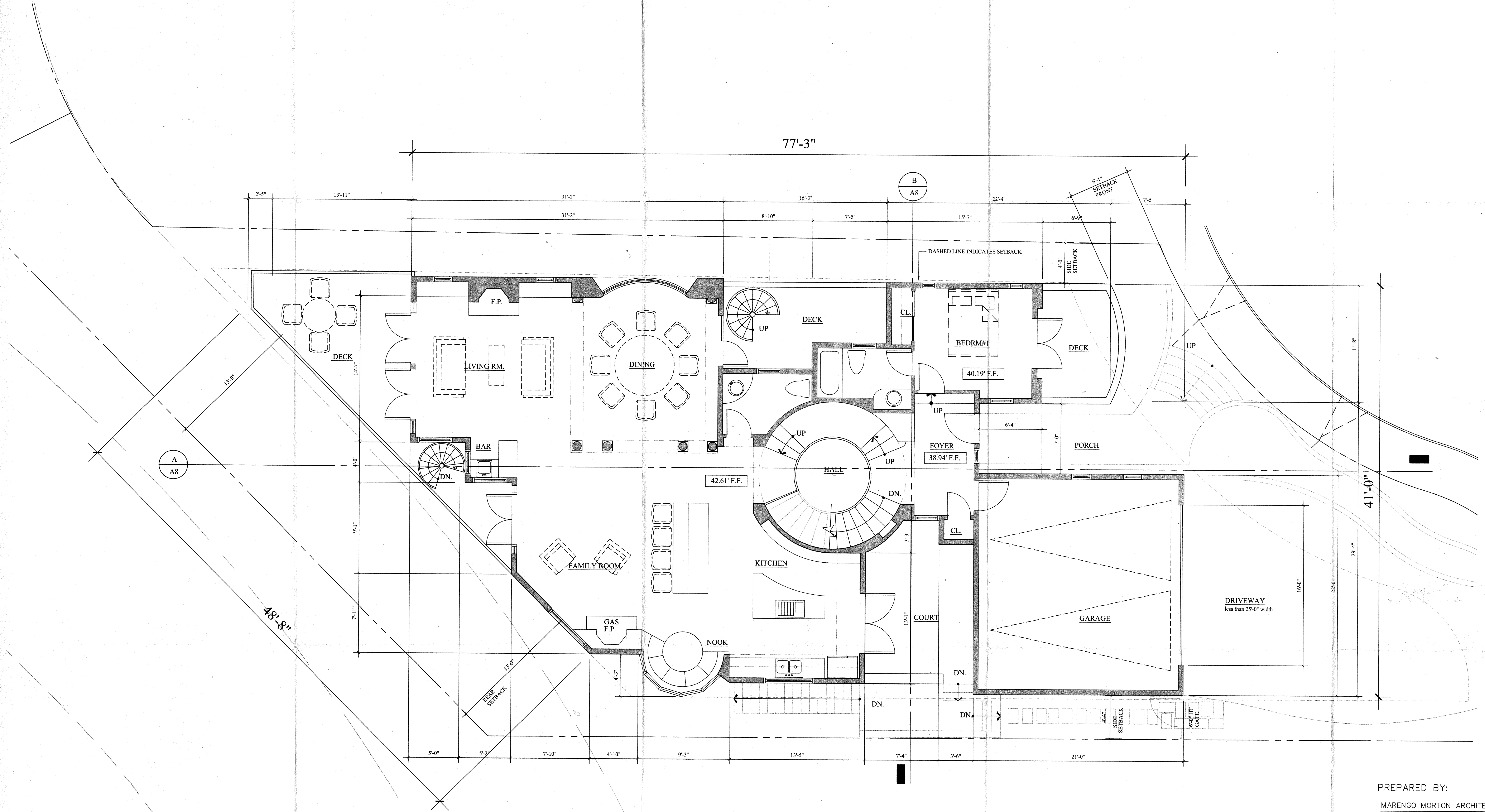
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JE, MRM

DATE
8/13/2002

SHEET TITLE
UPPER FLOOR
PLAN

A-3

5 SHEET OF 10



PROPOSED UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

F.A.R. AREA = 2,281.7 S.F.
TOTAL F.A.R. AREA (BOTH FLOORS) = 3,463.4 S.F.
ALLOWED F.A.R. AREA = 3474.9 S.F.
BALCONY = 305 S.F.



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BY GIRARD DEVELOPMENT**
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

REVISIONS
EXHIBIT "A"
A

CDP 6794 Project # 411
5/03 Th. Sanderson

COASTAL PHASE

PROJECT NO. 2002-01

REVIEWED BY
MRM, CAI

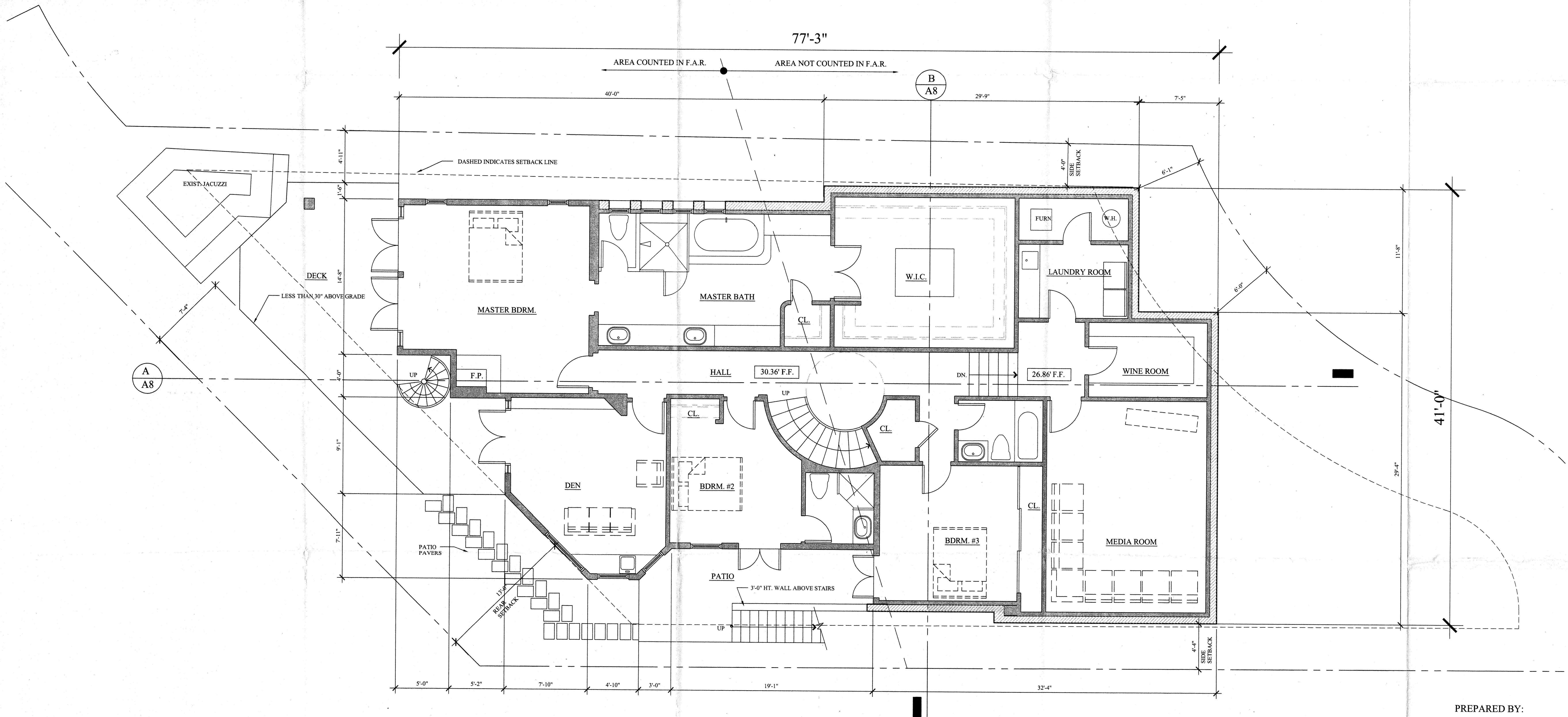
JE, MRM

8/13/2002

LOWER FLOOR
PLAN

A-4

SHEET OF 16



PROPOSED LOWER FLOOR PLAN

SCALE: 1/4" = 1'-0"

F.A.R. AREA = 1,181.7S.F.

TOTAL S.F. = 2,579 S.F.

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PROJECT NAME:
CUSTOM RESIDENCE
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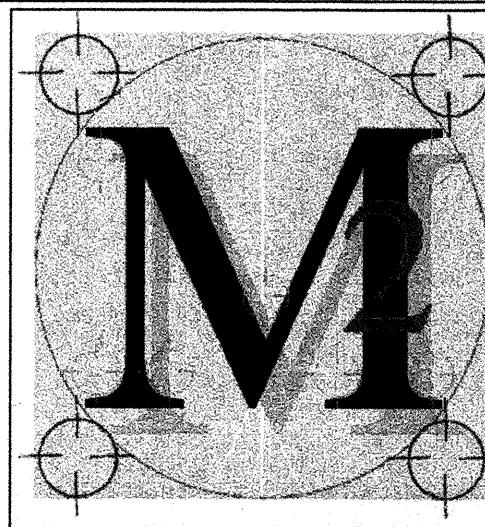
Revision 4: _____

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Revision 1: 10/10/2002

Original Date: 7/11/2002

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**CUSTOM RESIDENCE
BY GIRARD DEVELOPMENT**
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

REVISIONS
EXHIBIT "A"
CR 6794 Project #4116
2/5/03 M. Morton
△

PHASE
COASTAL PHASE

PROJECT NO.
2002-01

REVIEWED BY
MRM,CAM

DRAWN BY
JE, MRM

DATE
8/13/2002

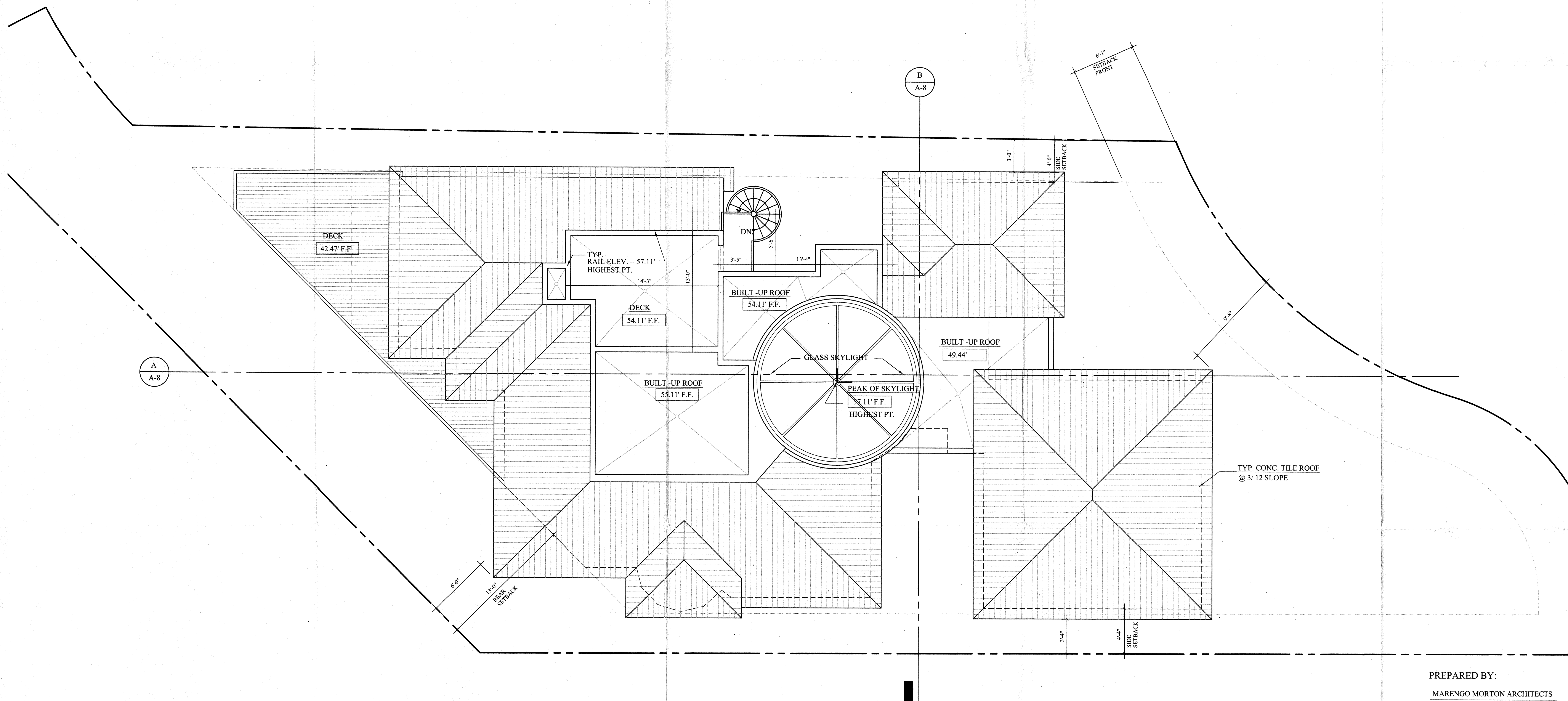
SHEET TITLE
ROOF PLAN

A-5

7 SHEET OF 10

PROJECT CONDITION NOTES

1. NO MATERIAL OR EQUIPMENT SHALL BE STORED ON THE ROOF OF ANY BUILDING.



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

ROOF DECK AREA 300 S.F.

PREPARED BY:

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858-459-3768 (FAX)

PROJECT NAME:

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Revision 4:

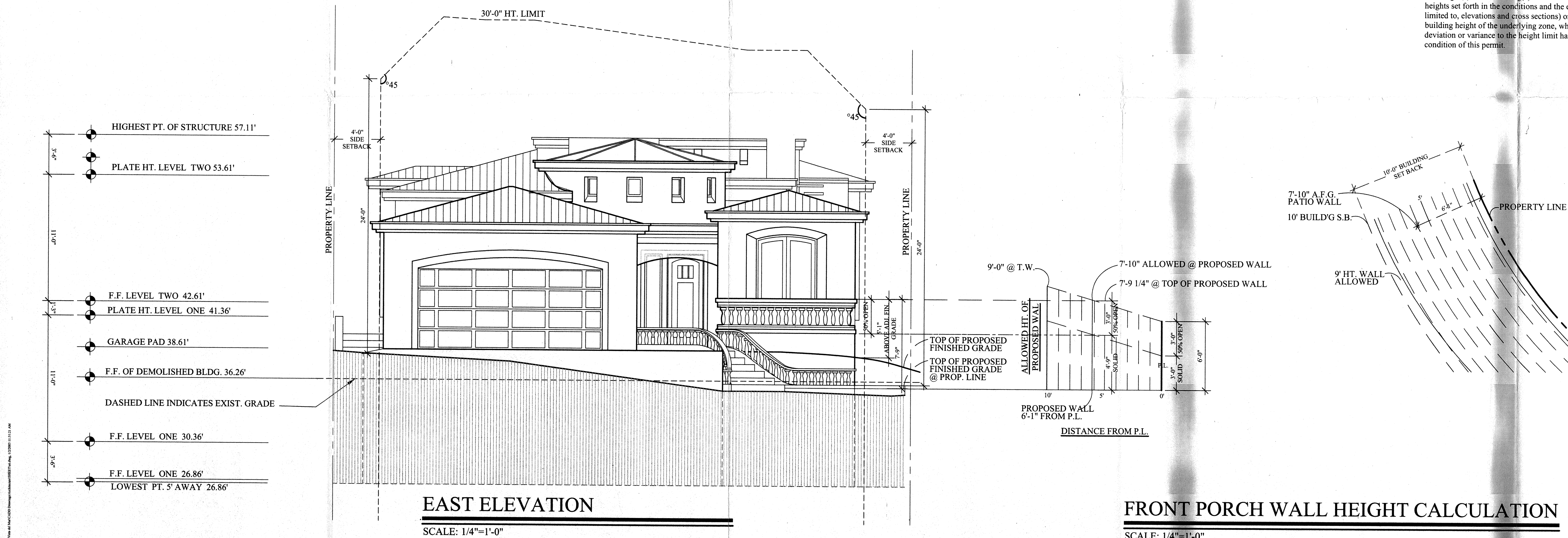
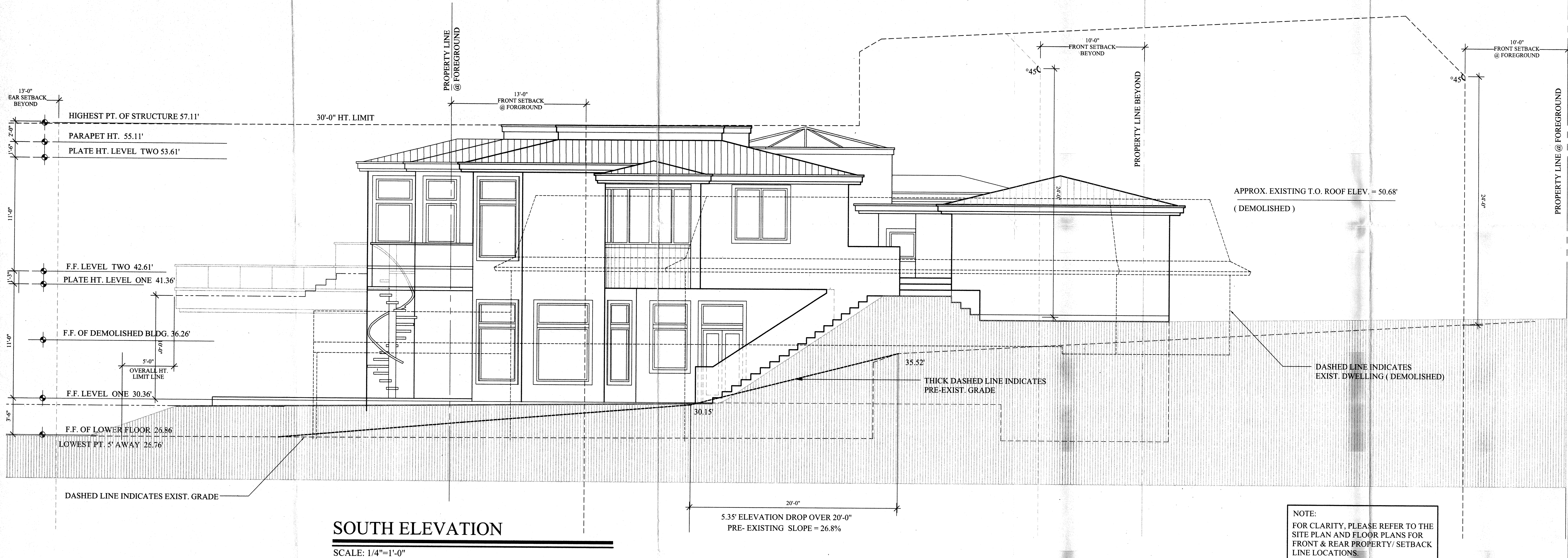
Revision 3: 01/02/2003

Revision 2: 11/20/2002

Revision 1: 10/10/2002

Original Date: 7/11/2002

DEP#

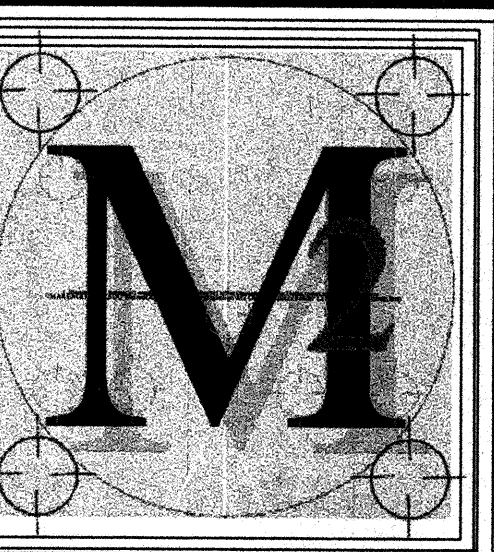


FRONT PORCH WALL HEIGHT CALCULATION
SCALE: 1/4"=1'-0"

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PROJECT NAME:
CUSTOM RESIDENCE
7116 VISTA DEL MAR
La Jolla, CA 92037

Revision 4: _____
Revision 3: 01/02/2003
Revision 2: 11/20/2002
Revision 1: 10/10/2002
Original Date: 7/11/2002
DEP# _____



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**CUSTOM RESIDENCE
BY GIRARD DEVELOPMENT**
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LA JOLLA, CA 92037

EXHIBIT "A"
△ ODP 6794 Project # 4116
△ 2/5/03 M. Morton
△

PHASE
COASTAL PHASE

PROJECT NO.
2002-01

REVIEWED BY
MRM, CAM

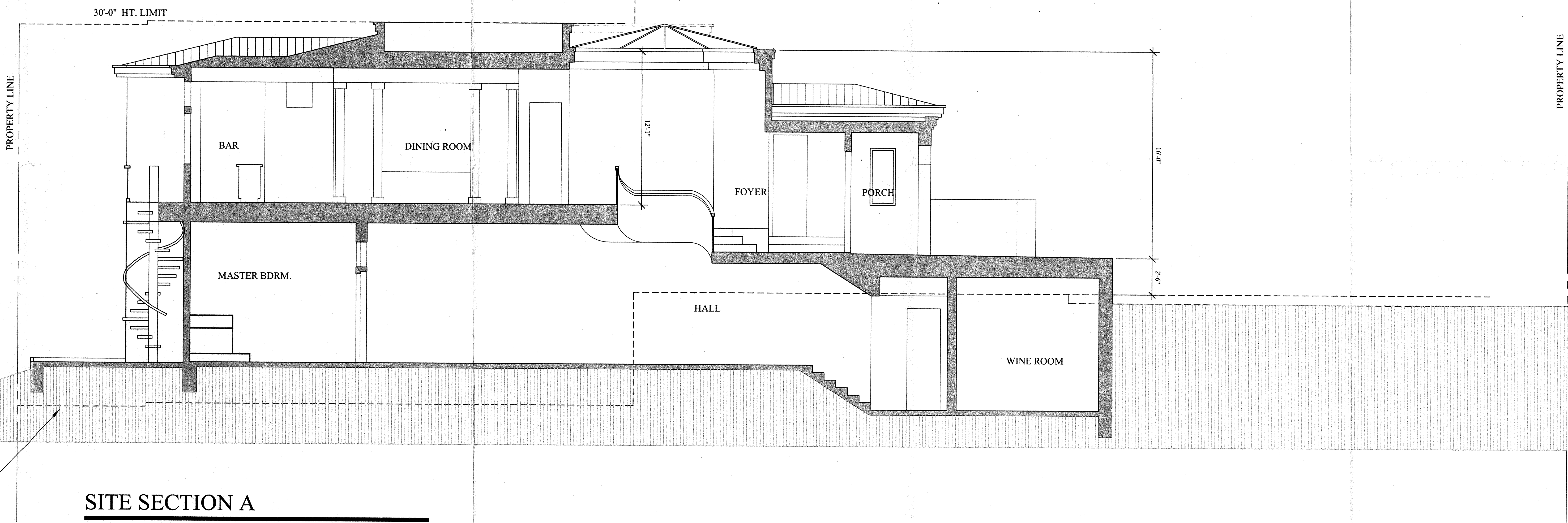
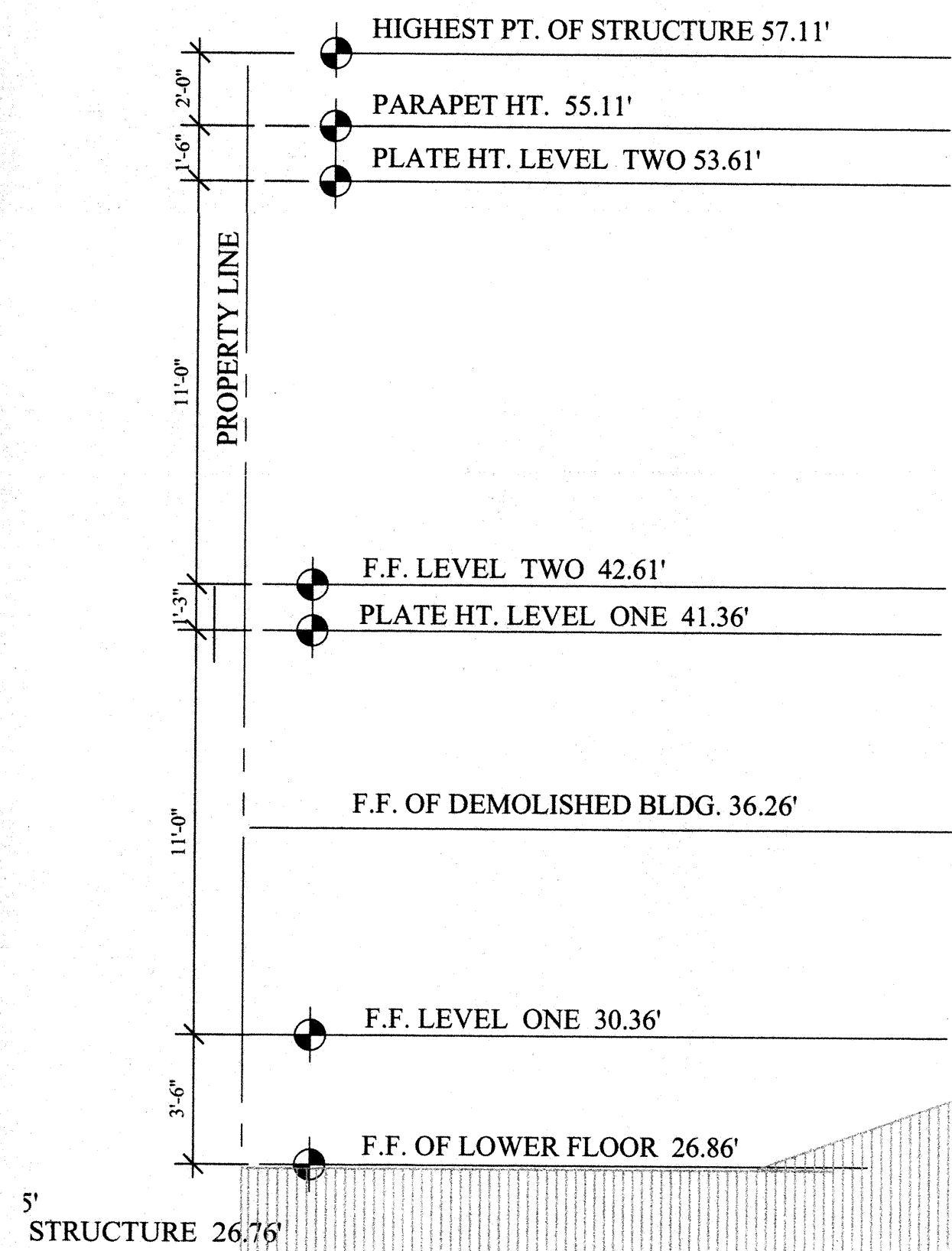
DRAWN BY
JE, MRM

DATE
8/13/2002

SHEET TITLE
ELEVATIONS

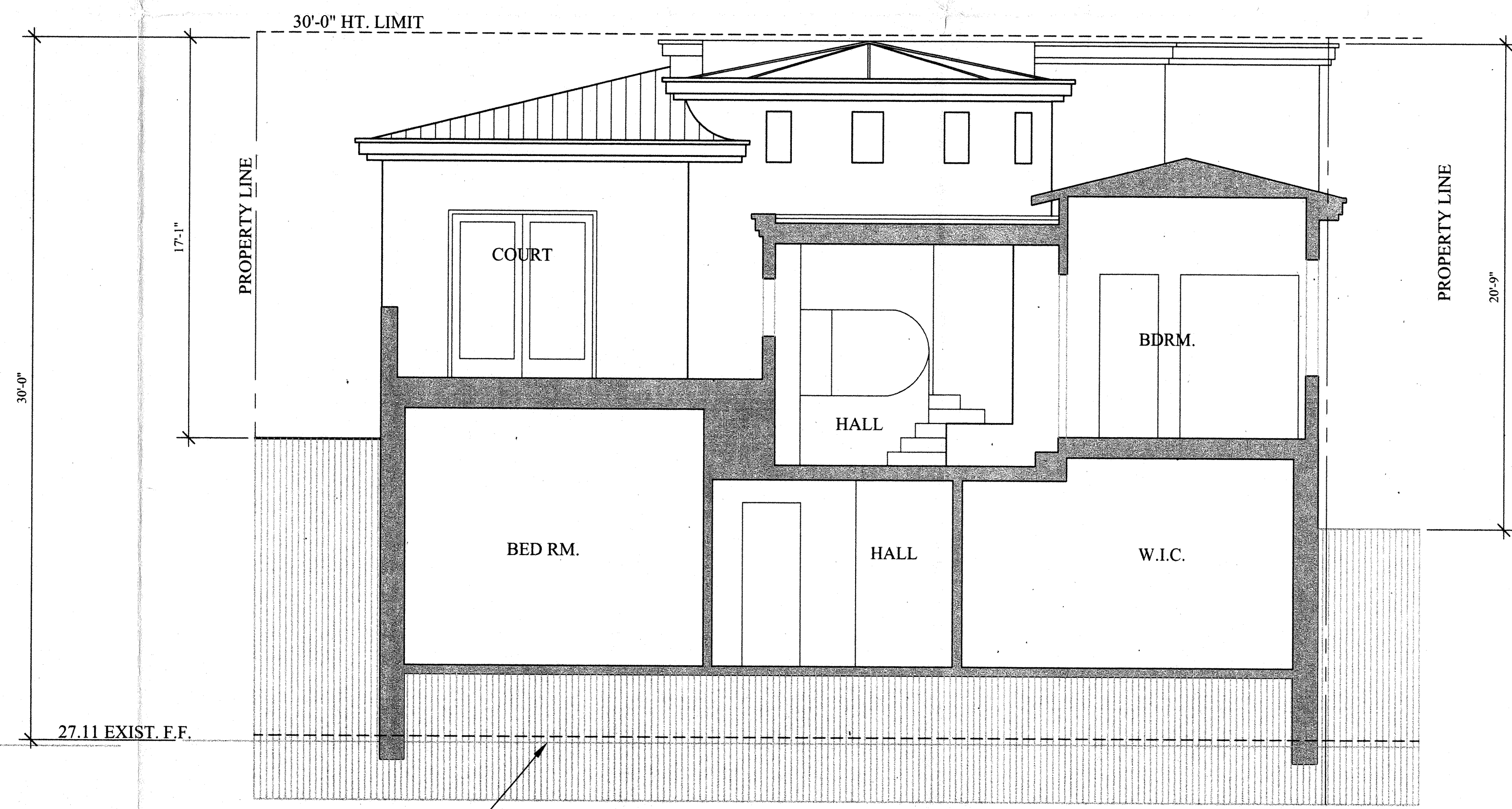
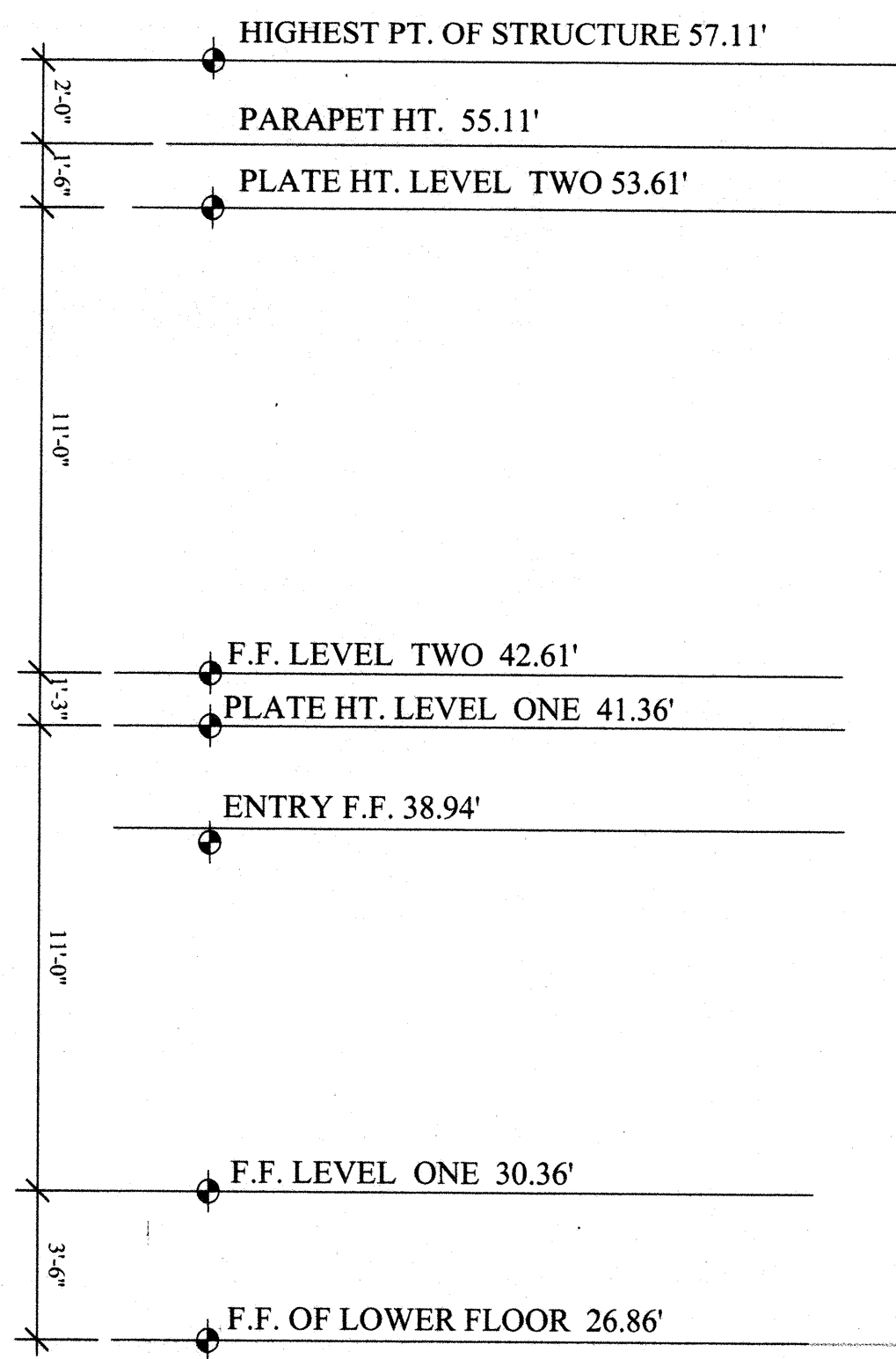
A-6

8 SHEET OF 10



SITE SECTION A

SCALE: 1/4"=1'-0"



SITE SECTION B

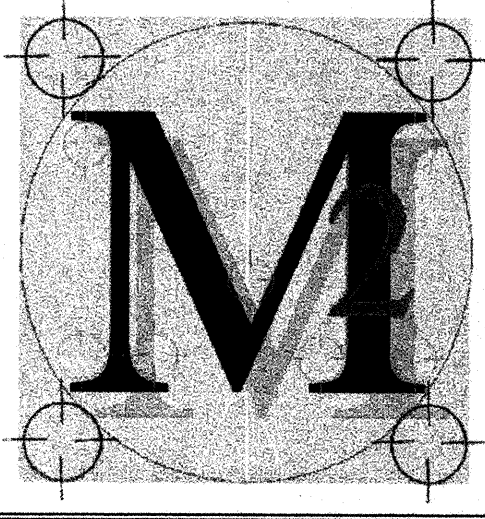
SCALE: 1/4"=1'-0"

EXHIBIT "A"
CDP 6794 / Project #4116
2/5/03 Michael Morton

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PROJECT NAME:
CUSTOM RESIDENCE
7116 VISTA DEL MAR
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CUSTOM RESIDENCE
BY GIRARD DEVELOPMENT
7116 VISTA DEL MAR AVENUE
LA JOLLA, CA 92037

REVISIONS
△
△
△
△

PHASE
COASTAL PHASE

PROJECT NO.
2002-01

REVIEWED BY
MRM,CAM

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JE, MRM

DATE
8/13/2002

SHEET TITLE
SECTIONS

A-8

10 SHEET OF 10