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5522 BEAUMONT RESIDENCE

5522 BEAUMONT AVENUE
SAN DIEGO, CA 92037

11-17-2021

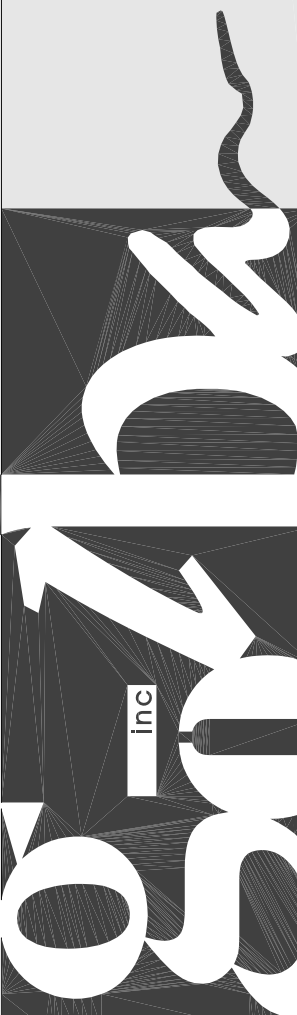
PTS #0688686



COASTAL DEVELOPMENT PERMIT SUBMITTAL

GOLBA ARCHITECTURE
Architecture ■ Space Planning ■ Interior Design
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5522 BEAUMONT RESIDENCE
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SAN DIEGO, CA 92037



T 1.0

DATE: 11-09-21 REV. DATE: △

SPECIAL INSPECTIONS:

- GENERAL REQUIREMENTS:
1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING NEWSLETTER DS-311. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
 2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
 3. "A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION."
 4. "AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION."
 5. "A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS."

SYMBOLS

SHEET NUMBER

A1.5

SHEET NUMBER

CATEGORY NUMBER

DISCIPLINE LETTER

NORTH ARROW

ELEVATION MARKS

BUILDING SECTION MARKS

WALL SECTION MARKS

DETAIL TARGETS

PLAN BLOW-UP DETAILS

DOOR SYMBOL

WINDOW SYMBOL

BATT INSULATION

PLAN NOTE TARGET

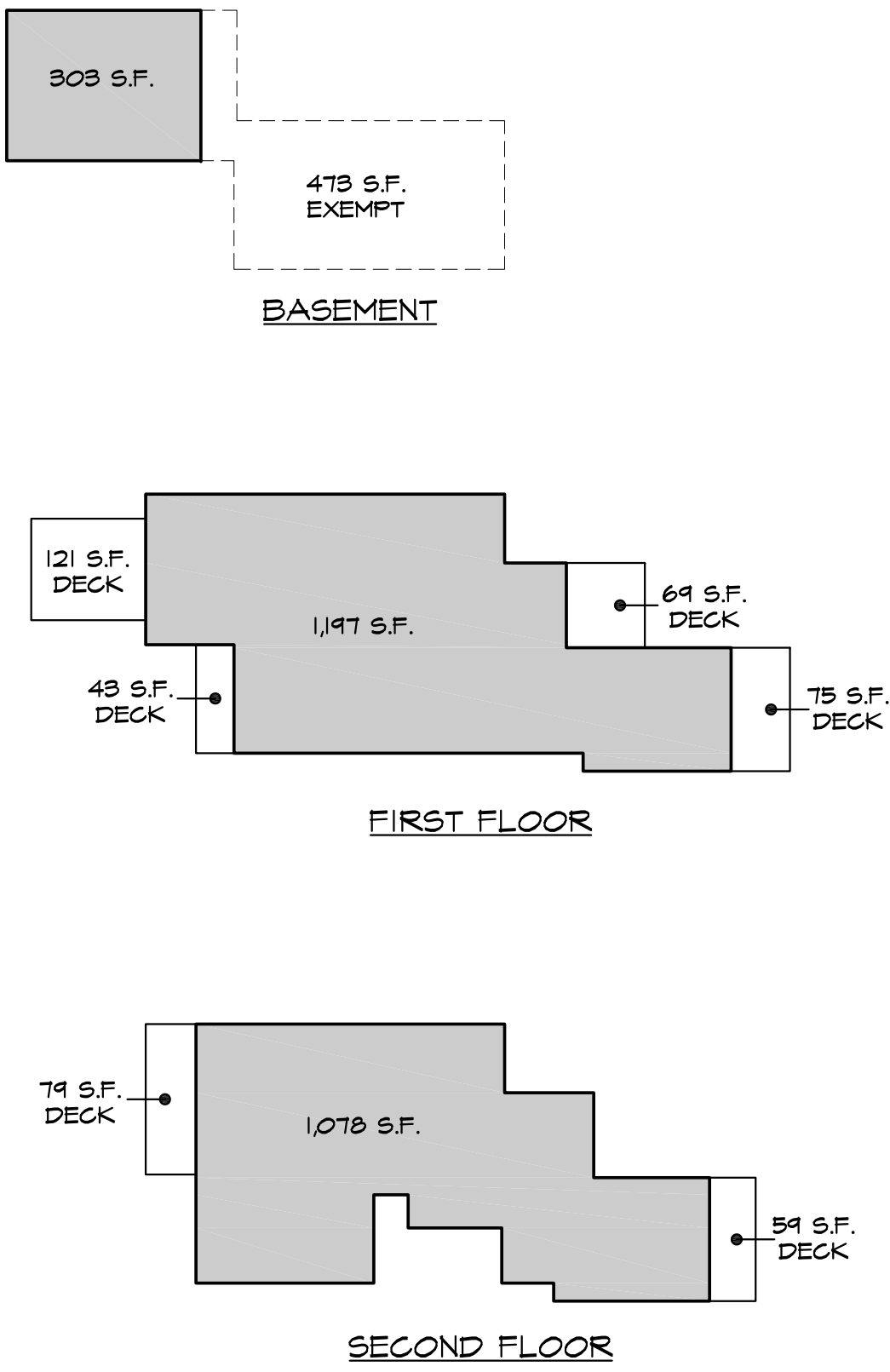
ELEVATION TARGETS

INTERIOR ELEVATION TARGETS

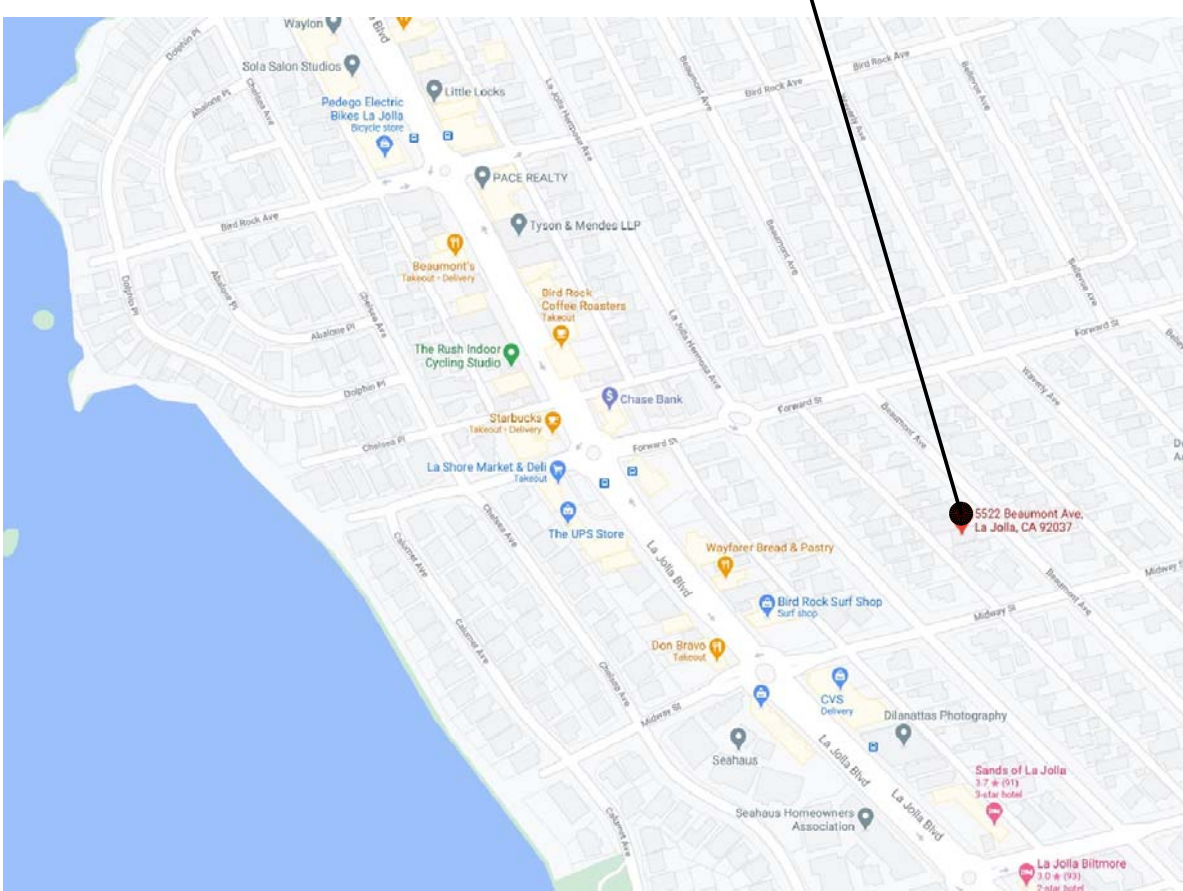
ABBREVIATIONS

ACOUS.	ACOUSTICAL	MATL.	MATERIAL
A.C.T.	ACOUSTICAL	MAX.	MAXIMUM
ADJ.	ADJUSTABLE	MECH.	MECHANICAL
A.F.F.	AT FINISHED FLOOR	MEMB.	MEMBRANE
AGG.	AGGREGATE	MEZZ.	MEZZANINE
ALUM.	ALUMINUM	MANUF.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
A.P.	ACCESS PANEL	MISC.	MISCELLANEOUS
APPROX.	APPROXIMATE	M.O.	MASONRY OPENING
ARCH.	ARCHITECTURAL	MOV.	MOVABLE
ASPH.	ASPHALT	MTD.	MOUNTED
ASST.	ASSISTANT	MTL.	METAL
AUTO.	AUTOMATIC	MUL.	MULLION
		N.	NORTH
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	NO.	NUMBER
BOT.	BOTTOM	NOM.	NOMINAL
B.U.R.	BUILT UP ROOFING	N.T.S.	NOT TO SCALE
		OA.	OVERALL
CAB.	CABINET	O.C.	ON CENTER
CIRC.	CIRCULATION	O.D.	OUTSIDE DIAMETER
C.L.	CENTER LINE	O.F.D.	OVERFLOW DRAIN
CLR.	CLEAR	OFF.	OFFICE
CLG.	CEILING	OH.	OVERHEAD
CLO.	CLOSET	OPNG.	OPENING
C.M.U.	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN		
CONC.	CONCRETE	PAV.	PAVING
CONF.	CONFERENCE	P.C.	PRE-CAST
CONN.	CONNECTION	PL.	PLATE
CONSTR.	CONSTRUCTION	P.LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLAS.	PLASTER
CONTR.	CONTRACTOR	PLBS.	PLUMBING
COORD.	COORDINATE	PLYWD.	PLYWOOD
CORR.	CORRIDOR	PNT.	PAINT
CPT.	CARPET	PNL.	PANEL
C.J.	CONTROL JOINT	POL.	POLISHED
C.T.	CERAMIC TILE	PROP.	PROPERTY
CTR.	CENTER	P.S.F.	POUNDS PER SQUARE FOOT
C.V.	COLD WATER	P.S.I.	POUNDS PER SQUARE INCH
		PTD.	PAINTED
DBL.	DOUBLE	PTN.	PARTITION
DEMO.	DEMOLITION	PT.	POINT
DEPT.	DEPARTMENT		
DIA.	DIAMETER	QTY.	QUANTITY
DIAG.	DIAGONAL		
DIFF.	DIFFUSER	R.	RUBBER
DIM.	DIMENSION	RECEP.	RECEPTION
DIV.	DIVISION	REINF.	REINFORCING
DN.	DOWN	R.O.W.	RIGHT OF WAY
D.P.	DAMP-PROOFING	RAD.	RADIUS
DR.	DOOR	R.B.	RUBBER BASE
DTL.	DETAIL	R.C.P.	REFLECTED CEILING PLAN
		R.D.	ROOF DRAIN
E.	EAST	REC.	RECESSED
EA.	EACH	REF.	REFERENCE
EL.	ELEVATION	REFR.	REFRIGERATOR
ELAS.	ELASTOMERIC	REINFR.	REINFORCED
ELEC.	ELECTRICAL	REQD.	REQUIRED
ELEV.	ELEVATOR	RESL.	RESULTANT
EMER.	EMERGENCY	REV.	REVISION
ENCL.	ENCLOSURE	RFG.	ROOFING
ENGR.	ENGINEER	RM.	ROOM
ENT.	ENTRANCE	R.O.	ROUGH OPENING
E.J.	EXPANSION JOINT		
E. PNL.	ELECTRICAL PANEL	S.	SOUTH
EQ.	EQUAL	SAN.	SANITARY
EQUIP.	EQUIPMENT	SCHED.	SCHEDULE
E.W.C.	ELECTRIC WATER COOLER	SECT.	SECTION
EXH.	EXHAUST	SECUR.	SECURITY
EXP.	EXPANSION	S.F.	SQUARE FOOT
EXT.	EXTERIOR	SHR.	SHOWER
		SHT.	SHEET
F.D.	FLOOR DRAIN	SIM.	SIMILAR
FDN.	FOUNDATION	SL.	SLOPE
F.E.	FIRE EXTINGUISHER	SL.	STANDPIPE
FF.	FINISH FLOOR	SPEC.	SPECIFICATION
F.H.C.	FIRE HOSE CABINET	SPKR.	SPEAKER
FIN.	FINISH	SQ.	SQUARE
FL.	FLOOR	S.S.T.	STAINLESS STEEL
FLEX.	FLEXIBLE	STA.	STATION
FLUOR.	FLUORESCENT	STPD.	STANDARD
FT.	FURNITURE	STL.	STEEL
FRUN.	FURRING	STOR.	STORAGE
FURR.	FURRING	STRUC.	STRUCTURAL
FUT.	FUTURE	SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
GA.	GAUGE		
GALV.	GALVANIZED	T.	TREAD
GEN.	GENERAL	T.O.	TOP OF
GL.	GLASS	T.&B.	TOP AND BOTTOM
GND.	GROUND	T.&G.	TONGUE AND GROOVE
GR.	GRADE	TEL.	TELEPHONE
GYP. BD.	GYPSON BOARD	TEMP.	TEMPERED
		TER.	TERRAZZO
H.C.	HARD CORE	THK.	THICK
HDWD.	HARDWARE	TLT.	TOILET
H.M.	HOLLOW METAL	TOPO.	TOPOGRAPHY
HORZ.	HORIZONTAL	T.V.	TELEVISION
HR.	HOUR	TYP.	TYPICAL
HT.	HEIGHT		
HTG.	HEATING	UNEXC.	UNEXCAVATED
H.V.A.C.	HEATING, VENTILATION	UNF.	UNFINISHED
H.V.	HOT WATER	U.N.O.	UNLESS OTHERWISE NOTED
		UTL.	UTILITY
		VAC.	VACUUM
		V.C.T.	VINYL COMPOSITION TILE
		VENT.	VENTILATION
		VERT.	VERTICAL
		VEST.	VESTIBULE
		V.I.F.	VERIFY IN FIELD
		VOL.	VOLUME
		V.T.	VINYL TILE
		W.	WEST
		W.C.	WATER CLOSET
		W.D.	WOOD
		W.F.	WIDE FLANGE
		W.H.	WATER HEATER
		WIN.	WINDOW
		WM.	WIRE MESH
		WTFPS.	WATERPROOFING
		WT.	WATER
		W.W.F.	WELDED WIRE MESH
		YD.	YARD

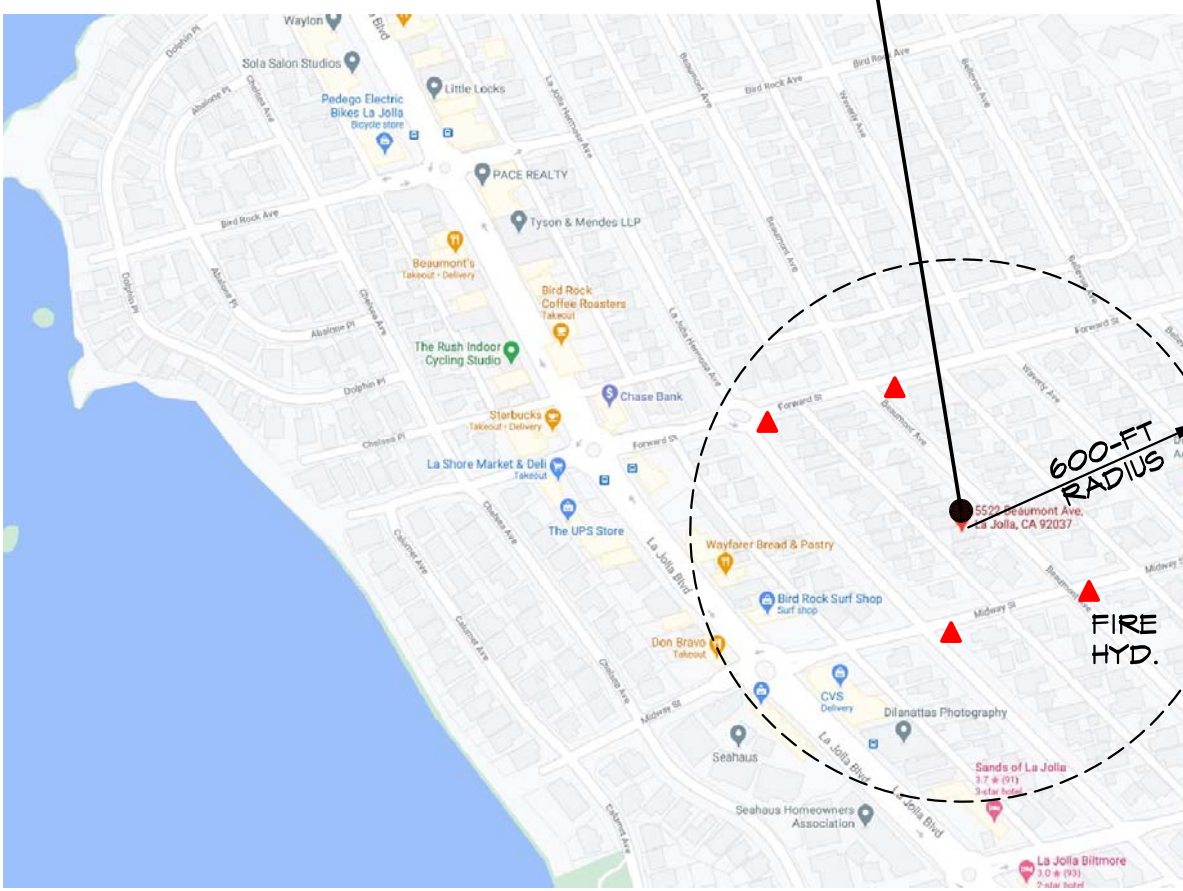
GROSS FLR AREA DIAGRAM



VICINITY MAP



FIRE HYDRANT MAP



PROJECT DATA

PROJECT DESCRIPTION:	CONSTRUCTION OF A NEW, TWO-STORY OVER BASEMENT, SINGLE FAMILY RESIDENCE WITH AN ATTACHED 1-CAR GARAGE AND ROOF DECK ON A VACANT LOT. THIS SCOPE OF WORK IS AN AMENDMENT TO PREVIOUSLY APPROVED COASTAL DEVELOPMENT PERMIT #2337839 (PTS #6459117).
SITE ADDRESS:	5522 BEAUMONT AVENUE SAN DIEGO, CA 92037
ASSESSORS PARCEL NUMBER:	357-533-24-00
LEGAL DESCRIPTION:	LOT 20 IN BLOCK 14 ACCORDING TO MAP NO. 1083
EXISTING DISCRETIONARY PERMITS:	COASTAL DEVELOPMENT PERMIT #2337839
YEAR EXISTING STRUCTURE WAS BUILT:	VACANT LOT (PREVIOUS STRUCTURE BURNED DOWN)
EXISTING SOIL CONDITIONS:	DISTURBED
GEOLOGIC HAZARD CATEGORY:	52
LOT USE	
EXISTING:	SINGLE-FAMILY RESIDENTIAL
PROPOSED:	SINGLE FAMILY RESIDENTIAL
LOT ZONING:	RS 1-7
OVERLAY ZONE DESIGNATION:	COASTAL HEIGHT LIMIT, COASTAL PARKING IMPACT, RESIDENTIAL TANDEM, TRANSIT AREA
OCCUPANCY:	R-3
BUILDING CODE:	2019 CA. BLDG. CODE, 2019 CA. RES. CODE, 2019 CA. ELECT. CODE, 2019 CA. MECH. CODE, 2019 CA. PLUMB. CODE, 2019 CA. GRN. BLDG. CODE, 2019 CA. BLDG. ENERGY EFF. STAND.
CONSTRUCTION TYPE:	TYPE VB, NR
FIRE SPRINKLER TYPE:	NFPA 13D
NUMBER OF STORIES	
EXISTING:	VACANT LOT
PROPOSED:	TWO-STORY OVER BASEMENT
BUILDING HEIGHT	
EXISTING:	0'-0"
PROPOSED:	24'-3 3/8"

FLOOR AREA RATIO TABLE	
LOT SIZE:	4,296 S.F.
ALLOWABLE F.A.R.:	0.60 X 4,296 S.F. = 2,578 S.F.
PROPOSED F.A.R.:	2,578 S.F. / 4,296 S.F. = 0.60
PROPOSED SQ. FT.	
HABITABLE:	
BASEMENT:	303 S.F. (473 S.F. EXEMPT)
FIRST FLOOR:	1,191 S.F.
SECOND FLOOR:	1,078 S.F.
TOTAL HABITABLE:	2,578 S.F. = 2,578 S.F. PERMITTED
DECKS:	
FIRST FLOOR:	303 S.F.
SECOND FLOOR:	138 S.F.
ROOF:	238 S.F.
TOTAL DECKS:	684 S.F.

PROJECT DIRECTORY

GENERAL	
T.I.O	COVER SHEET
T.I.I	LEGEND AND PROJECT DATA
CIVIL	
CI	TOPOGRAPHIC SURVEY
ARCHITECTURAL	
AO.O	SITE PLAN
AO.O	BASEMENT & FIRST FLOOR PLANS
AI.I	SECOND FLOOR & ROOF PLAN
A2.O	BUILDING ELEVATIONS
A2.I	BUILDING ELEVATIONS
A3.O	BUILDING SECTIONS

CONSULTANT DIRECTORY

OWNER:	ORCA PROPERTIES C/O TAYLOR ROBERTSON 5522 BEAUMONT AVENUE SAN DIEGO, CA 92037
CIVIL:	VICTOR RODRIGUEZ-FERNANDEZ CIVIL ENGINEER & LAND SURVEYOR 1283 E. MAIN STREET, SUITE 109 EL CAJON, CA 92021 TEL. (760) 357-2434 CONTACT: VICTOR RODRIGUEZ-FERNANDEZ
ARCHITECT:	GOLBA ARCHITECTURE, INC. 1940 GARNET AVENUE, SUITE 100 SAN DIEGO, CA 92109 TEL. (619) 231-9905 CONTACT: RICARDO TORRES

SELF-CERTIFICATION STATEMENT

I HEREBY ACKNOWLEDGE AND CERTIFY THAT:

1. I AM ACCOUNTABLE FOR KNOWING AND COMPLYING WITH THE GOVERNING POLICIES, REGULATIONS AND SUBMITTAL REQUIREMENTS APPLICABLE TO THIS PROPOSED DEVELOPMENT;
2. I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS AND DECISION PROCESS FOR THE PROPOSED PROJECT, AND THAT FAILURE TO ACCURATELY IDENTIFY AN APPROVAL OR DECISION PROCESS COULD SIGNIFICANTLY DELAY THE PERMITTING PROCESS OR RESULT IN A CHANGE IN FEE/DEPOSIT REQUIREMENTS;
3. I HAVE TAKEN THE PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW TRAINING AND AM ON THE APPROVED LIST FOR PROFESSIONAL CERTIFICATION;
4. MAINTAINING MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW PRIVILEGE REQUIRES ACCURATE SUBMITTALS ON A CONSISTENT BASIS;
5. SUBMITTING INCOMPLETE DOCUMENTS AND PLANS ON A CONSISTENT BASIS MAY RESULT IN THE REVOCATION OF MY PROFESSIONAL CERTIFICATION FOR DEVELOPMENT PERMIT COMPLETENESS REVIEW;
6. IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DELAYED;
7. THIS SUBMITTAL PACKAGE MEETS ALL OF THE MINIMUM REQUIREMENTS CONTAINED IN LAND DEVELOPMENT MANUAL, VOLUME I, CHAPTER I, SECTION 4, AND/OR SECTION 6 FOR REZONES; AND
8. FOR THE PROPOSED PROJECT, I HAVE DETERMINED THE APPROPRIATE PROCESS AND APPROVAL TYPES TO BE AS FOLLOWS:

PROJECT PROCESS LEVEL (2-5): 2
PROJECT APPROVAL(S) NEEDED: COASTAL DEVELOPMENT PERMIT

RESPONSIBLE CERTIFIED PROFESSIONAL NAME: TIMOTHY GOLBA

SIGNATURE: DATE: 03-25-21

GOLBA ARCHITECTURE
in
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5522 BEAUMONT RESIDENCE

Golba
INC.
T 1.1

SIDE YARD SETBACK INFO.

PER SDMC SECTION 119.0234(c)(1), FOR IRREGULAR SHAPED LOTS, THE LOT WIDTH IS DETERMINED BY CALCULATING THE AVERAGE LOT WIDTH FOR THE FIRST 50-FT OF LOT DEPTH.

AVERAGE LOT DEPTH = 124'-10"

AVERAGE LOT WIDTH = 34'-6"

SIDE YARD SETBACK = $0.08 \times \text{AVG. LOT WIDTH}$
 $0.08 \times 34.5' = 2.76'$

CALCULATED SIDE YARD SETBACK IS 2.76', FOR CLARITY AND FIRE SEPARATION DISTANCE FROM PROPERTY LINE, THE SIDE YARD SETBACK IS ROUNDED TO 3'-0" AS SHOWN ON THE PROPOSED SITE PLAN.

SPECIAL SITE PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 §132.0505).

2. THE SCOPE OF WORK DOES NOT INCLUDE ANY PROPOSED REPLACEMENT OR REMOVAL OF ANY PART OF THE EXISTING SIDEWALK.

3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

4. THERE ARE NO EXISTING OR PROPOSED EASEMENTS.

5. THERE ARE NO EXISTING OR PROPOSED BUS/TRANSIT STOPS.

6. PROVIDE BUILDING ADDRESS NUMBERS FOR ALL NEW & EXISTING STRUCTURES VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (UFG 901.4.4). MIN. SIZE OF NUMBERS SHALL BE 1'-0".

7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

8. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

9. ALL PROPOSED WATER & SEWER FACILITIES (PUBLIC & PRIVATE) WITHIN THE PUBLIC R.O.W. OR PUBLIC EASEMENT MUST BE DESIGNED, CONSTRUCTED, OR ABANDONED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER & SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, & PRACTICES PERTAINING THERETO.

10. ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

LID & SITE DESIGN NOTES:

SITE DESIGN AND SOURCE CONTROL BMPs HAVE BEEN SHOWN ON THIS SITE PLAN. ADDITIONAL BMPs ARE AS FOLLOWS:

SITE DESIGN BMPs ARE DESIGNED TO MAINTAIN PRE-DEVELOPED RUNOFF CHARACTERISTICS. THE LISTED CONCEPTS WERE APPLIED TO THIS PROJECT IN THE FOLLOWING MANNER:

1. MINIMIZE IMPERVIOUS FOOTPRINT BY DESIGNING NEW STRUCTURES IN MULTIPLE STORIES. LANDSCAPE AREAS HAVE BEEN ADDED TO MAXIMIZE INFILTRATION.

2. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREA BY ALLOWING THE ROOF RUNOFF TO FLOW OVER PERVIOUS SURFACES. ROOF DRAINS WILL DRAIN TO LANDSCAPED AREAS.



FIRE HYDRANT NOTE

SEE FIRE HYDRANT MAP ON SHEET T1.1 FOR LOCATIONS OF FIRE HYDRANTS WITHIN 600-FT OF PROPERTY.

BMP LEGEND

PERMANENT BMPs:

- [SD-12] IMPLEMENTATION OF EFFICIENT IRRIGATION SYSTEMS.
[TC-31] TREATMENT CONTROL - VEGETATED BUFFER STRIP.

LOW IMPACT DEVELOPEMENT BMPs:

- [LID 3.5] L.I.D. DRIVEWAY DESIGN
[LID 3.6] L.I.D. BUILDING DESIGN
[LID 3.7] L.I.D. LANDSCAPING DESIGN

SITE STAIR NOTES:

CONCRETE WALKWAY TO ENTRY PORCH

TYP. RISER = 8.8" EACH
TYP. TREAD = 11" EACH
OF RISERS = 6
RISE INFORMATION: 3'-5 1/4"

REAR YARD TO PATIO
TYP. RISER = 7.41" EACH
TYP. TREAD = 11" EACH
OF RISERS = 8
RISE INFORMATION: 4'-11 1/4"

HANDRAILS
1 1/2" DIAMETER ALUMINUM HANDRAIL @ 34" ABOVE THE NOSE OF THE STAIRS.

GRADING TABLE

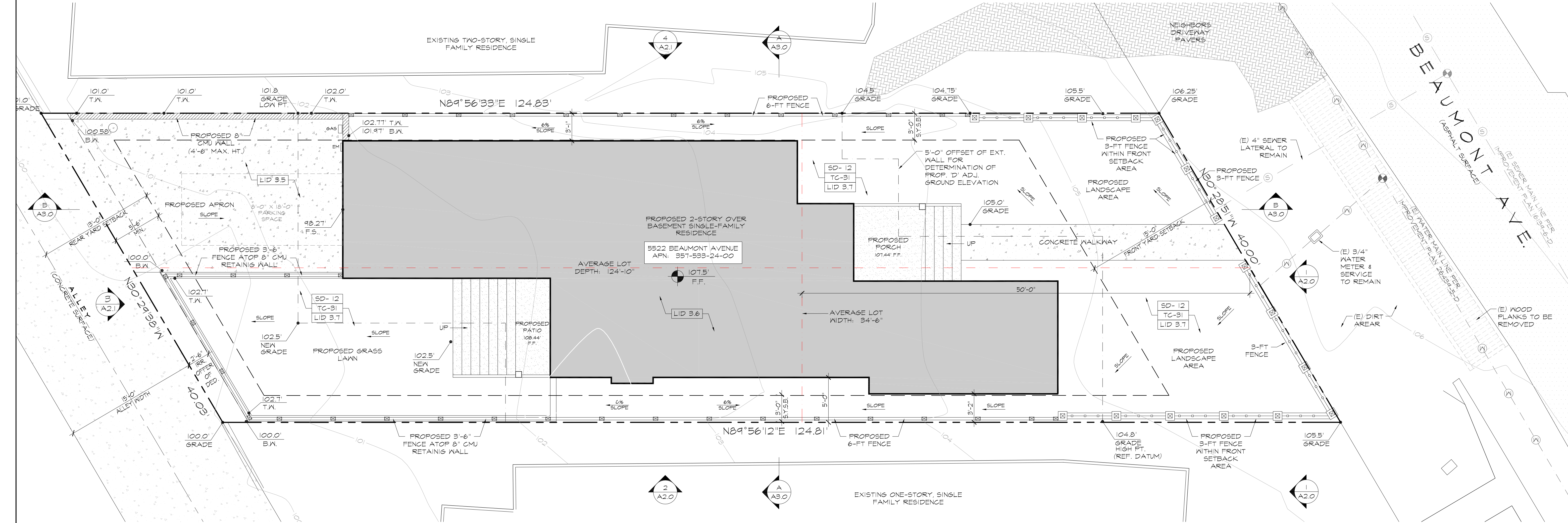
AMOUNT OF CUT	230 CUBIC YARDS
MAXIMUM HT. OF CUT	8'-0"
AMOUNT OF FILL	42 CUBIC YARDS
MAXIMUM HT. OF FILL	3'-0"

SITE INFORMATION

EXISTING IMPERVIOUS AREA	0 S.F. (VACANT LOT)
PROPOSED IMPERVIOUS AREA	2,976 S.F. (85.3% OF LOT)
EXISTING PAVED AREA	0 S.F. (VACANT LOT)
PROPOSED PAVED AREA	1,920 S.F. (44.7% OF LOT)

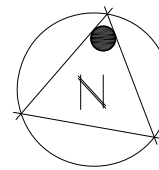
SITE KEY

---	INDICATES PROPERTY LINE
---	INDICATES SETBACK LINE
EM	ELECTRIC METER
GAS	GAS METER
X	SPOT ELEVATION
F.F.	FINISH FLOOR
F.S.	FINISH SURFACE
T.W.	TOP OF WALL
B.W.	BOTTOM OF WALL



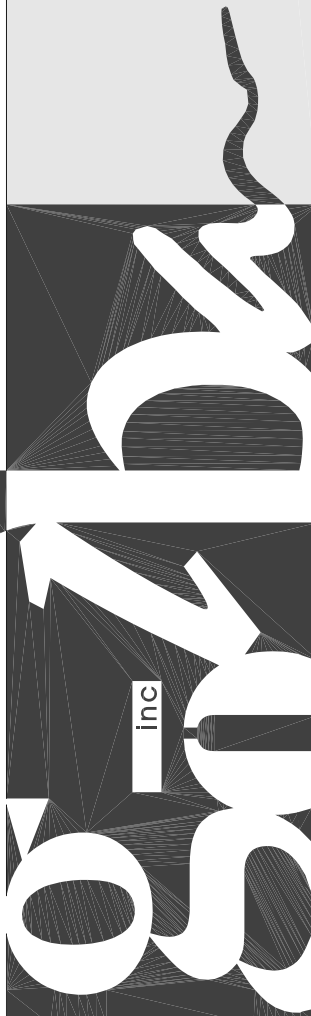
PROPOSED SITE PLAN

SCALE: 3/16"=1'-0"



5522 BEAUMONT RESIDENCE

5522 BEAUMONT AVENUE
SAN DIEGO, CA 92037



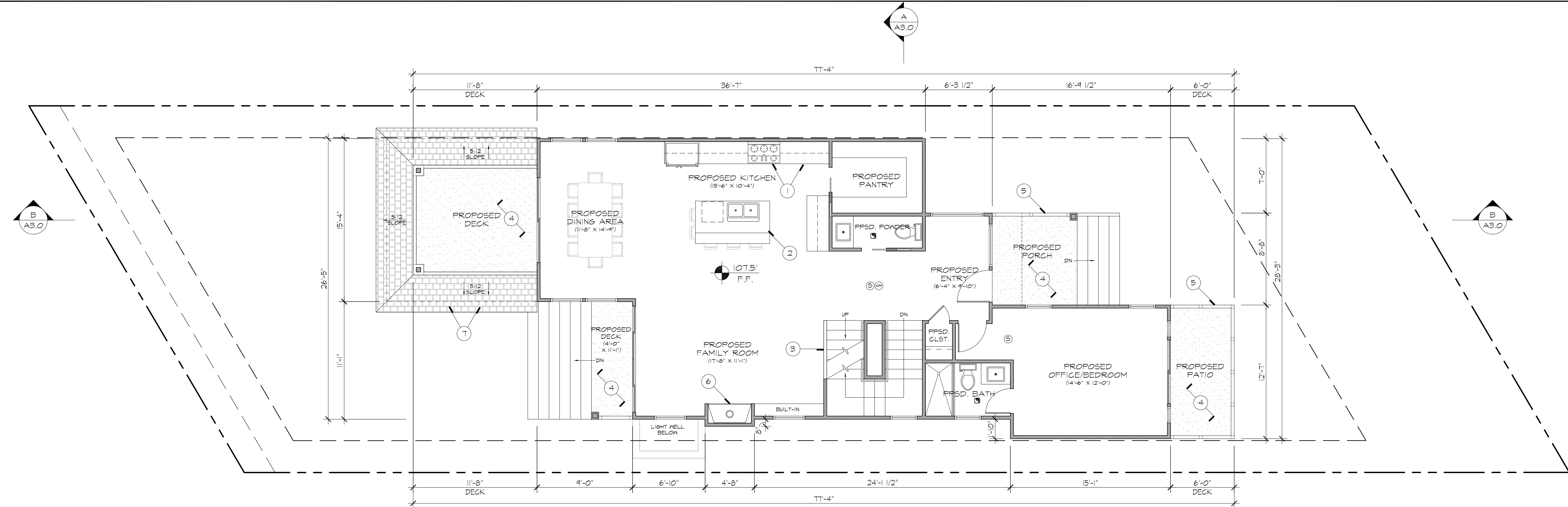
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GOLBA ARCHITECTURE is
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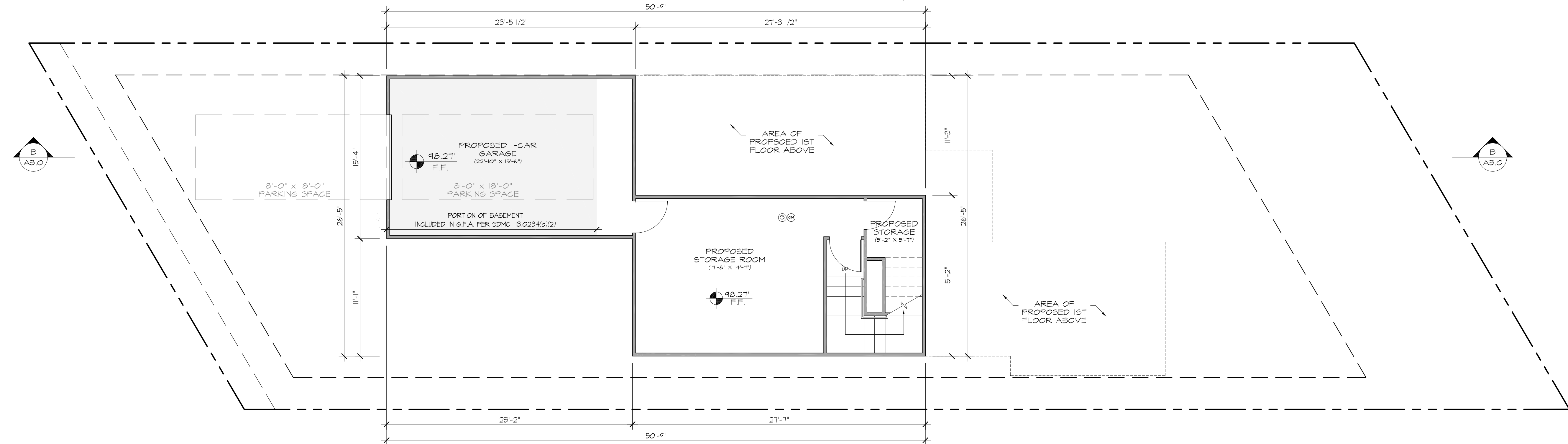
PTS #0688686

REV. DATE: △

DATE: 11-05-21



PROPOSED FIRST FLOOR PLAN



PROPOSED BASEMENT FLOOR PLAN

SPECIAL PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMG SEC. 131.0444 & 132.0505).
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
3. ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3-FEET FROM A PROPERTY LINE & 3-FEET FROM BUILDING OPENINGS.
4. THE ARCHITECT IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.

- PLAN KEY NOTES:**
- 1 CONTRACTOR TO SUBMIT CABINET SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. USE GRANITE COUNTERTOPS. CABINET STYLE & COLOR PER OWNERS APPROVAL.
 - 2 KITCHEN ISLAND @ 36" A.F.F.
 - 3 STAIR LOW WALL @ 42" A.F.F.
 - 4 PLI-DECK WATERPROOFING DECK SURFACE. INSTALL PER MANUFACTURER SPECIFICATIONS. ICC REPORT ESR-2091.
 - 5 DECK GUARDRAIL @ 42" A.F.F.
 - 6 HEAT-N-GLO DIRECT VENT FIRE PLACE, MODEL 8000CLX. INSTALL PER MANUF. SPECIFICATIONS.
 - 7 GAF 'CAMELOT' ASPHALT ROOF SHINGLES, COLOR PER OWNERS APPROVAL. CLASS 'A' ASSEMBLY, LISTED CLASS 'A' FIRE UL-790. ICC REPORT ESR-1475.

PLAN STAIR NOTES:

BASEMENT FLOOR TO FIRST FLOOR
TYP. RISER = 7.35" EACH
TYP. TREAD = 11" EACH
OF RISERS = 15
RISE INFORMATION: 8'-0"
14" FLOOR JOIST
3/4" PLY. MD. @ LANDING
9'-2 3/4" TOTAL RISE

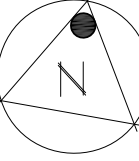
FIRST FLOOR TO SECOND FLOOR
TYP. RISER = 7.51" EACH
TYP. TREAD = 11" EACH
OF RISERS = 17
RISE INFORMATION: 9'-6"
14" FLOOR JOIST
3/4" PLY. MD. @ LANDING
10'-8 3/4" TOTAL RISE

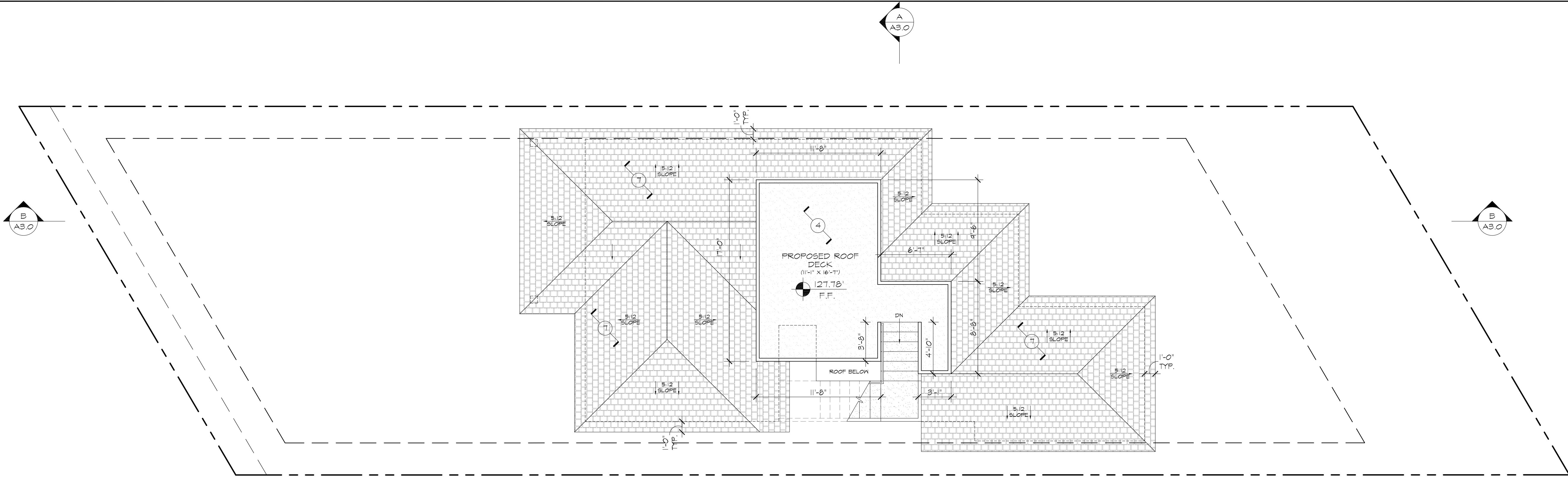
HANDRAILS
1 1/2" DIAMETER ALUMINUM HANDRAIL @ 34" ABOVE THE NOSE OF THE STAIRS.

WALL LEGEND	
	NEW 2X4 STUD WALL @ 16" O.C.
	8" CMU WALL
	LINE OF WALL ABOVE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	RECESSED EXHAUST FAN (EQUIP W/BACK DRAFT DAMPER)

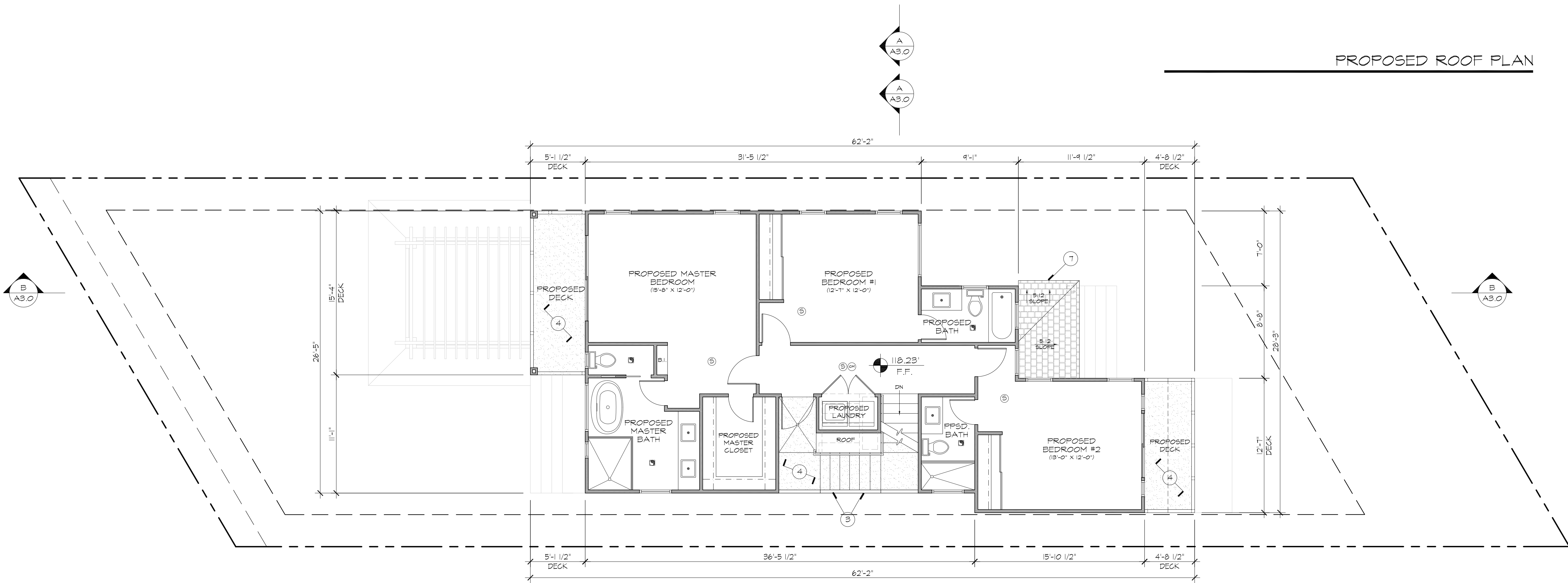
BASEMENT & FIRST FLOOR FLOOR PLAN

SCALE: 3/16"=1'-0"





PROPOSED ROOF PLAN



PROPOSED SECOND FLOOR PLAN

SPECIAL PLAN NOTES:

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMG SEC. 131.0444 & 132.0505).
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
3. ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3-FEET FROM A PROPERTY LINE & 3-FEET FROM BUILDING OPENINGS.
4. THE ARCHITECT IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.

PLAN KEY NOTES:

1. CONTRACTOR TO SUBMIT CABINET SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION. USE GRANITE COUNTERTOPS. CABINET STYLE & COLOR PER OWNERS APPROVAL.
2. KITCHEN ISLAND @ 36" A.F.F.
3. STAIR LOW WALL @ 42" A.F.F.
4. PLI-DECK WATERPROOFING DECK SURFACE. INSTALL PER MANUFACTURER SPECIFICATIONS. ICC REPORT ESR-2047.
5. DECK GUARDRAIL @ 42" A.F.F.
6. HEAT-N-GLO DIRECT VENT FIRE PLACE, MODEL 8000CLX. INSTALL PER MANUF. SPECIFICATIONS.
7. GAF 'CAMELOT' ASPHALT ROOF SHINGLES, COLOR PER OWNERS APPROVAL. CLASS 'A' ASSEMBLY, LISTED CLASS 'A' FIRE UL-790. ICC REPORT ESR-1475.

PLAN STAIR NOTES:

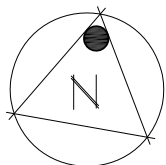
SECOND FLOOR TO ROOF DECK
TYP. RISE = 7.62" EACH
TYP. TREAD = 11" EACH
OF RISERS = 15
RISE INFORMATION: 0'-6" 11 7/8" FLOOR JOIST
3/4" PLY. WD. @ LANDING
9'-6 5/8" TOTAL RISE

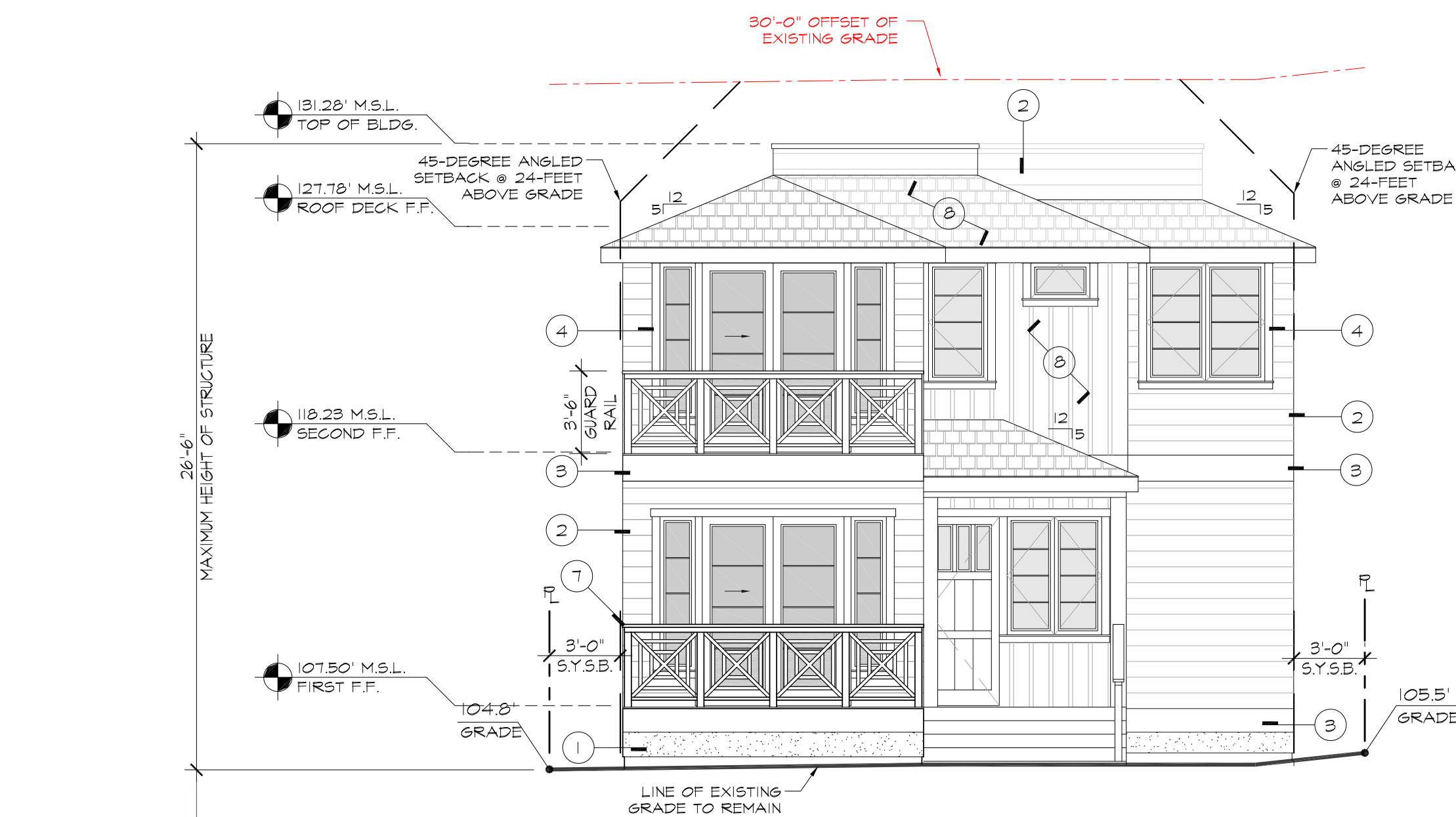
HANDRAILS
1 1/2" DIAMETER ALUMINUM HANDRAIL @ 34" ABOVE THE NOSE OF THE STAIRS.

WALL LEGEND	
	NEW 2X4 STUD WALL @ 16" O.C.
	8" CMU WALL
	LINE OF WALL ABOVE
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	RECESSED EXHAUST FAN (EQUIP W/BACK DRAFT DAMPER)

SECOND FLOOR & ROOF PLAN

SCALE: 3/16"=1'-0"





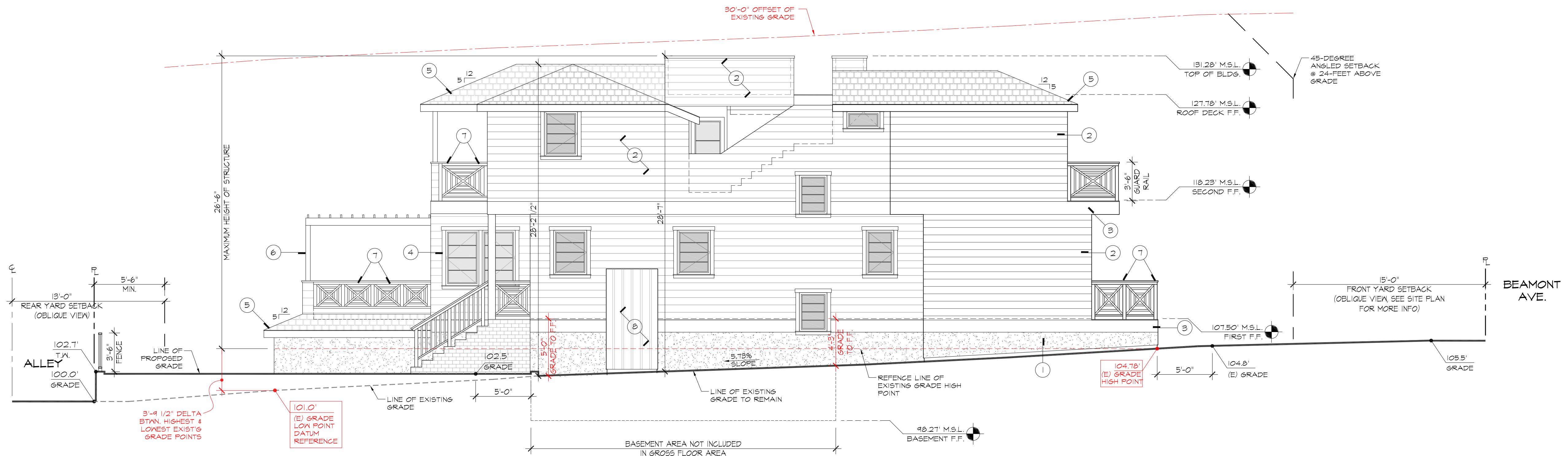
PROPOSED EAST BUILDING ELEVATION (FRONT)

ELEVATION NOTES:

- 1) 7/8" EXTERIOR CEMENT STUCCO W/ENERGY ACRYLIC FINISH COAT. COLOR: GREY.
- 2) 9 1/4" (8" EXPOSURE) JAMES HARDI 'HARDIPLANK' LAP SIDING, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. TYP. @ ALL EXT. WALLS U.N.O.. COLOR: WHITE.
- 3) 1/4" JAMES HARDI 'HARDI TRIM, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.
- 4) 4" JAMES HARDI 'HARDI TRIM AT WINDOWS & DOORS, TYP. FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.
- 5) 6AF 'CAMELOT' ASPHALT ROOF SHINGLES, COLOR PER OWNERS APPROVAL, CLASS 'A' ASSEMBLY, 15TD, CLASS 'A' FIRE UL-T90, ICC REPORT ESR-1475.
- 6) WOOD TRELLIS, COLOR: WHITE.
- 7) 42" HEIGHT WOOD EXTERIOR GUARDRAIL. COLOR: WHITE.
- 8) 8" JAMES HARDI 'BOARD AND BATTEN' SIDING, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.

SPECIAL PLAN NOTES:

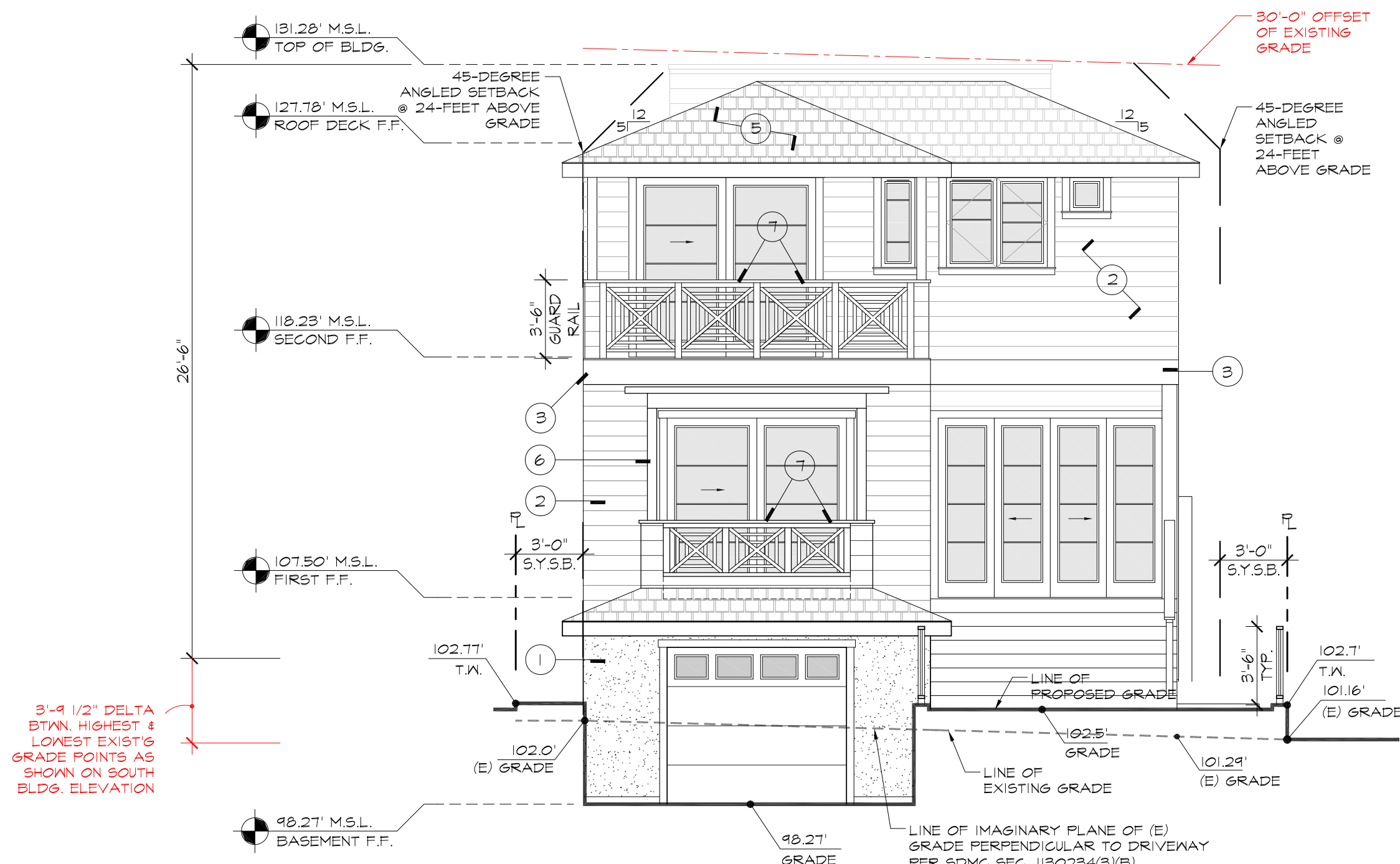
1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
2. THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.75-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
3. ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3-FEET FROM A PROPERTY LINE & 3-FEET FROM BUILDING OPENINGS.
4. THE ARCHITECT IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.



PROPOSED SOUTH BUILDING ELEVATION (SIDE)

PROPOSED BUILDING ELEVATIONS

SCALE: 3/16"=1'-0"



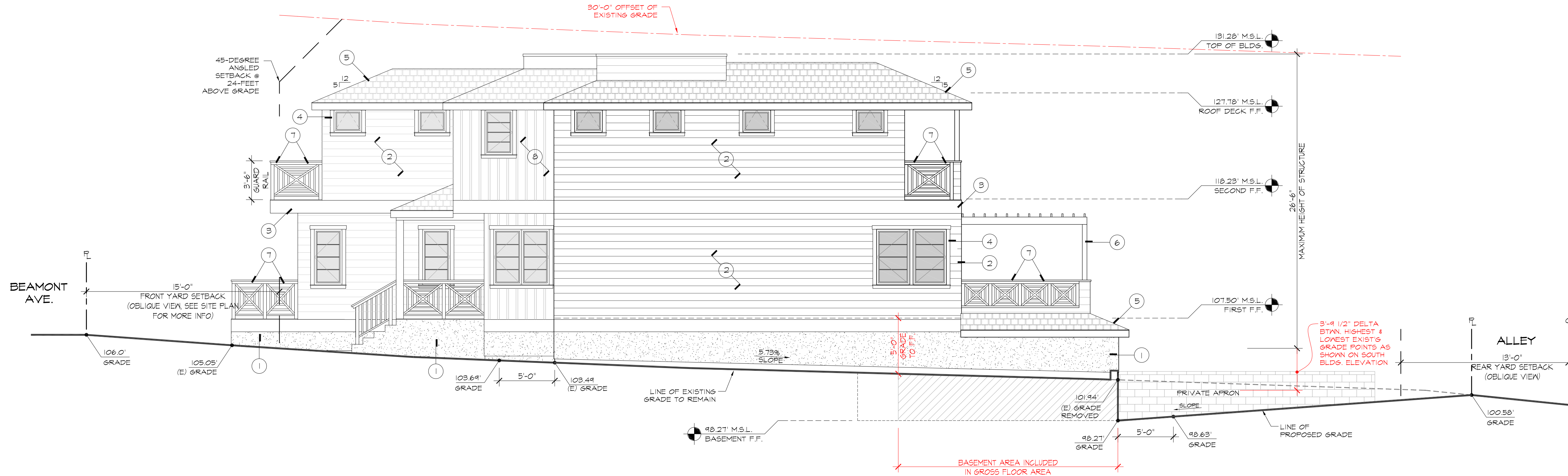
PROPOSED WEST BUILDING ELEVATION (REAR)

ELEVATION NOTES:

- 1/8" EXTERIOR CEMENT STUCCO W/ENERGY ACRYLIC FINISH COAT. COLOR: GREY.
- 1/4" (8" EXPOSURE) JAMES HARDI 'HARDIPLANK' LAP SIDING, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. TYP. @ ALL EXT. WALLS U.N.O.. COLOR: WHITE.
- 1/4" JAMES HARDI 'HARDI TRIM, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.
- 1/4" JAMES HARDI 'HARDI TRIM AT WINDOWS & DOORS, TYP. FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.
- 6AF 'CAMELOT' ASPHALT ROOF SHINGLES, COLOR PER OWNERS APPROVAL, CLASS 'A' ASSEMBLY, 15TD CLASS 'A' FIRE UL-T90, ICC REPORT ESR-1475.
- WOOD TRELLIS, COLOR: WHITE.
- 42" HEIGHT WOOD EXTERIOR GUARDAIL. COLOR: WHITE.
- 8" JAMES HARDI 'BOARD AND BATTEN' SIDING, FACTORY PRIMED & FIELD PAINTED, BLIND NAIL PER MANUF. SPECIFICATIONS. COLOR: WHITE.

SPECIAL PLAN NOTES:

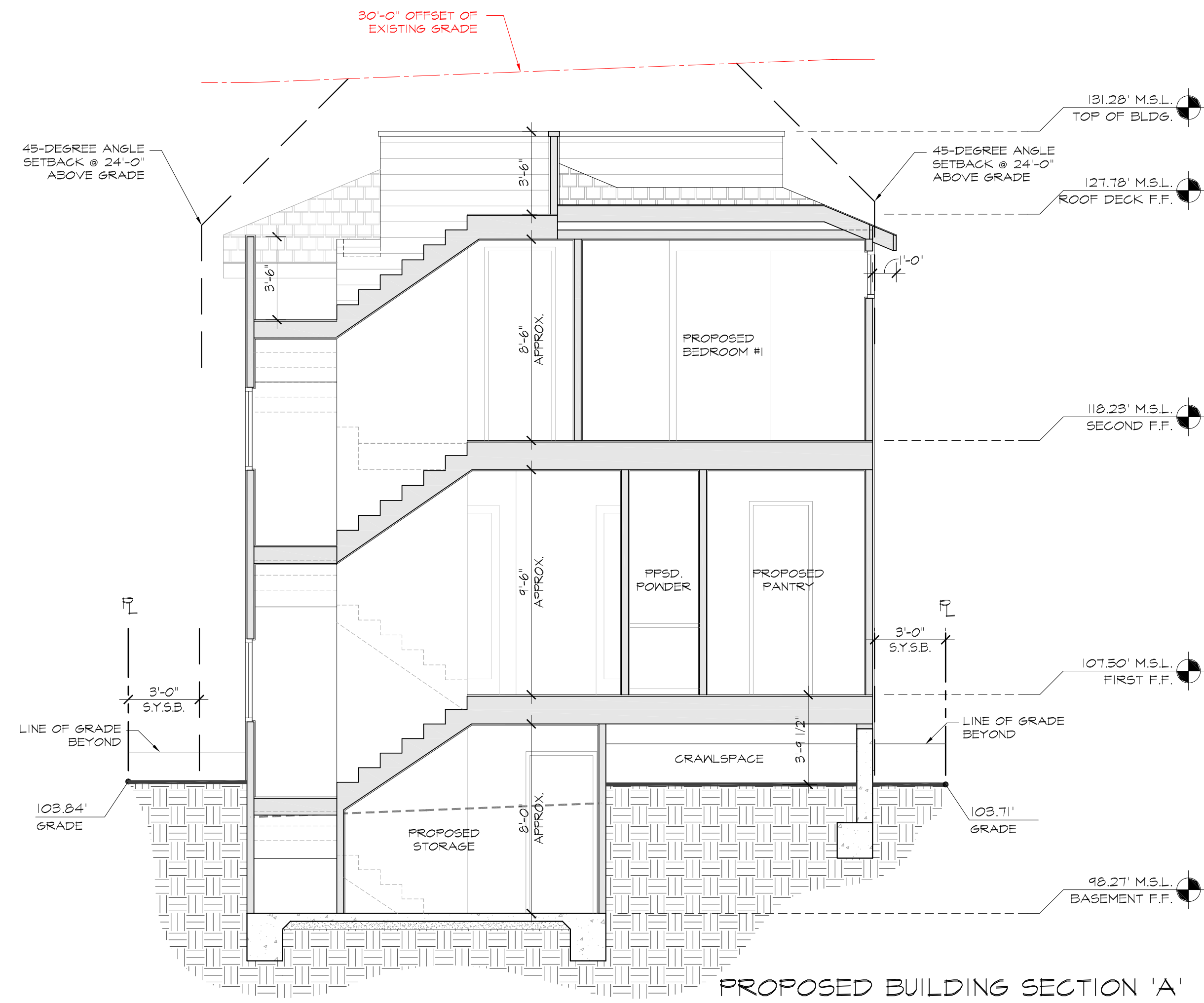
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
- THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 0.15-INCH IN HEIGHT FOR SLIDING DOORS SERVING DWELLING UNITS OR 0.5-INCH FOR OTHER DOORS.
- ENVIRONMENTAL AIR DUCTS & EXHAUST TERMINATIONS SHALL TERMINATE NOT LESS THAN 3-FEET FROM A PROPERTY LINE & 3-FEET FROM BUILDING OPENINGS.
- THE ARCHITECT IS **NOT** RESPONSIBLE IN ANY WAY, SHAPE OR FORM FOR THE SIZING, ROUTING LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. THE GENERAL CONTRACTOR IS TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.



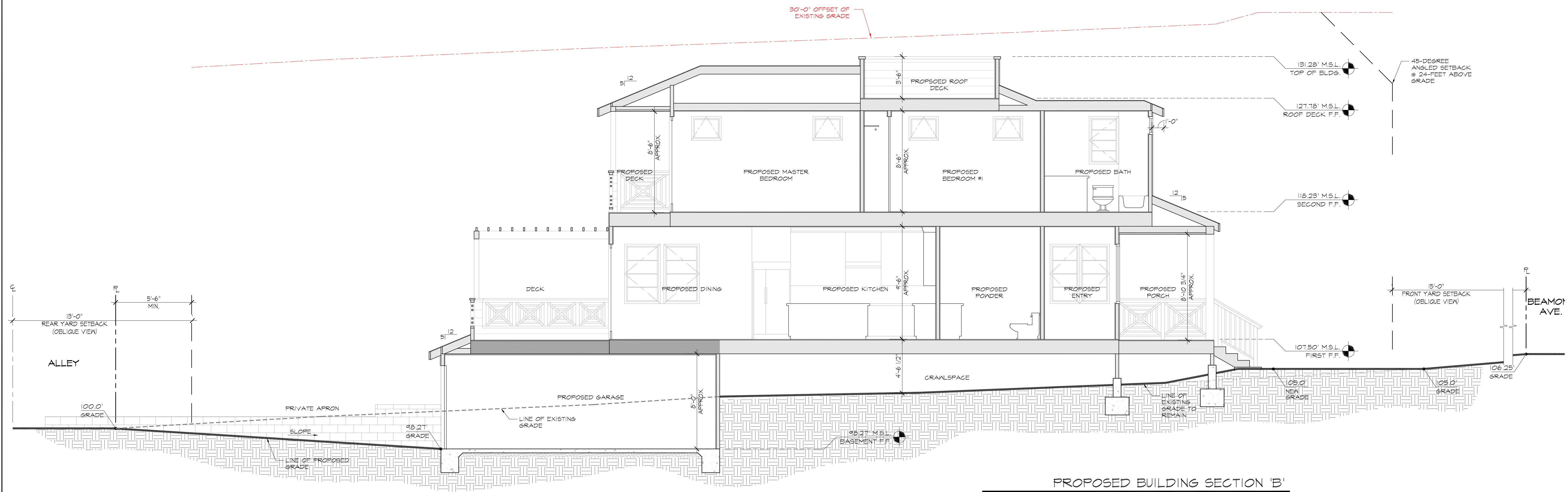
PROPOSED NORTH BUILDING ELEVATION (SIDE)

PROPOSED BUILDING ELEVATIONS

SCALE: 3/16"=1'-0"



- SPECIAL PLAN NOTES:**
1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE (SDMC SEC. 131.0444 & 132.0505).
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PROPOSED BUILDING SECTIONS
SCALE: 1/4"=1'-0"