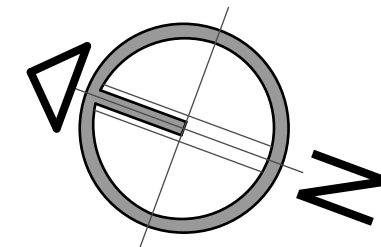


HILLSIDE DR CASS RESIDENCE

LA JOLLA CA.

CDGI
CONCEPTO
T. 619.858.2345 F. 619.858.2344
P.O.Box. 84180 San Diego Ca. 92138
office@cdgius.com www.cdgius.com



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

DATE:
12.15.2020
CITY SUBMITTAL:
SAN DIEGO
SCALE:
INDICATE IN DRAW
DRAW:
E.M.
JOB NO.

SHEET TITLE:
TITLE PAGE

T.01

NOTES

STORM QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT & MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREETS (S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.

2) ALL STOCKPILES OF SOIL FOR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN 7 CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY W/5 DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

3) A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.

4) THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORK ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.

5) ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.

6) THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

7) POST CONSTRUCTION BMP NOTE: ALL REPLACED AND NEW IMPERVIOUS SURFACES TO DRAIN TO NEARBY LANDSCAPED AREAS FOR FILTRATION PURPOSES.

GENERAL NOTES

01. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.

02. PROVIDE BUILDING ADDRESS NUMBER VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-006.

03. NO EXISTING BUS STOP.

04. NO FIRE HYDRANTS WITHIN 600 FEET.

05. DECK NOTE: IGNITION-RESISTANT MATERIALS THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 AND SFM STANDARD 12-7A-5.

MECHANICAL NOTES

01. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING BATHROOM EXHAUST FOR HUMIDITY CONTROL.

02. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING LAUNDRY EXHAUST FOR HUMIDITY CONTROL.

ENERGY EFFICIENCY NOTES

01. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE (S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF2R IS REVIEWED AND APPROVED.

02. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE (S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY CERTIFIED HERS RATE. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

GREEN CODE NOTE

01. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2013 CGBSC.

02. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.5 GALLONS PER MINUTE (GPM).

03. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).

04. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).

05. PROVIDE WATER CLOSET WITH A MAXIMUM FLOW 1.28 GALLONS PER MINUTE (GPM).

PER 2013 CGBSC SEC 4.303.1.3.2, WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEAD AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.

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PROPOSITION D NOTES

01. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTIONS SHALL NOT EXCEED 30 FEET ABOVE GRADE.

02. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE. (PROPOSITION D). THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED. CALL (858) 581-7111 TO SCHEDULE THE PRE-CONSTRUCTION INSPECTION. CONTACT THE INSPECTION SERVICES OFFICE AT (858) 492-5070, IF YOU HAVE ANY QUESTIONS PERTAINING TO THE PRE-CONSTRUCTION INSPECTION.

GREEN BUILDING

01. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (SECTION 4.304.1).

02. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

03. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH SECTION 4.410.1.

04. A COPY OF COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION.

05. AN OWNER MANUAL CERTIFICATION SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER.

06. DUCT OPENINGS AND OTHER RELATE AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (SECTION 4.504.1).

07. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMIT (SECTION 4.504.2.1).

08. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS OR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.2.3.

09. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.

NOTES CON'T

GREEN BUILDING NOTES CON'T

09. AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.3.2 OF THE CALIFORNIA GREEN BUILDING CODE.

10. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING CODE.

11. CARPET AND CARPET SYSTEM SHALL BE COMPLIANT WITH VOC LIMITS (SECTIONS 4.504.3) A LETTER FROM THE CONTRACTOR SUB-CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN BUILDING CODE.

12. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
A. VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOL (CHPS) HIGH PERFORMANCE PRODUCT DATABASE
B. PRODUCTS COMPLIANT WITH CHPS CRITERIAL CERTIFIED UNDER THE GREEN GUARD CHILDREN & SCHOOL PROGRAM

13. HARDWOOD PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN AIRB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.50.5 AND TABLE 4.50.5.6 OF CALGREEN.

14. A CERTIFICATION COMPLETED AND SIGNED BY THE GENERAL CONTRACTOR, SUB CONTRACTOR OR BUILDING OWNER CERTIFYING THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC. COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE.

15. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOORS FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

16. THE MOISTURE CONTENT OR BUILDING MATERIAL USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURES CONTENT SHALL BE VERIFIED BY EITHER PROBE TYPE OR CONTRACT TYPE MOISTURE METER.

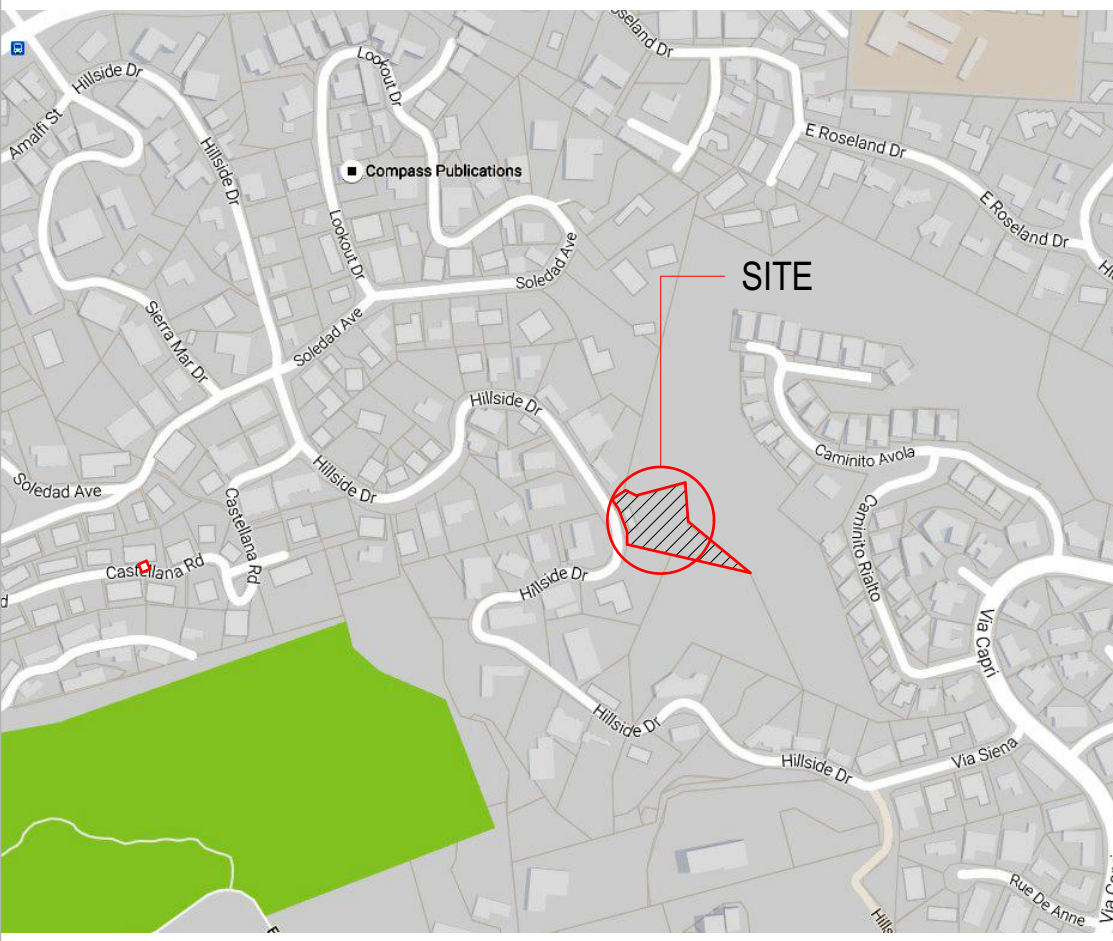
ABBREVIATIONS

&	AND	DS	DOWNSPOUT	INT	INTERIOR
@	AT	DWG	DRAWING	JT	JOINT
∠	PENNY ANGLE	(E)	EXISTING	LAM	LAMINATE(D)
⊥	PERPENDICULAR	EA	EAST	LAV	LAVATORY
A/C	AIR CONDITIONER / CONDITIONING	EJ	EXPANSION JOINT	LB	LBS BOLT
AB	ANCHOR BOLT	EL	ELEVATION	LB(S)	POUNDS(S)
ABV	ABOVE	ELC	ELECTRICAL	LF	LEFT HAND
AC	ASPHALTIC CONCRETE	ELEV	ELEVATOR	LIB	LIBRARY
ADA	AMERICANS WITH DISABILITIES ACT	EMER	EMERGENCY	LIP	LOW POINT
ADJ	ADJUSTABLE / ADJACENT	EN	EDGE NAIL	LT	LIGHT
AFF	ABOVE FINISHED FLOOR	ENG	ENGINEER	LVR	LOUVER
AFG	ABOVE FINISHED GRADE	EQ	EQUALIZER	MACH	MACHINE
AFS	ABOVE FINISHED SLAB	EQPT	EQUIPMENT	MAINT	MAINTENANCE
AL	ALUMINUM	EXP	EXPANSION	MAS	MASONRY
ALT	ALTERNATE	EST	ESTIMATE	MATL	MATERIAL
ANOD	ANODIZED	EXIST	EXISTING	MAX	MAXIMUM
AP	ACCESS PANEL	MB	MACHINE BOLT	ME	MACHINE
APPRO	APPROXIMATELY	EXT	EXTERIOR	MECH	MECHANICAL
ARCH	ARCHITECTURAL	FAST	FASTENER	MEMB	MEMBRANE
ASPH	ASPHALT	FAU	FORCED AIR UNIT	MEZZ	MEZZANINE
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FBO	FURNISHED BY OWNER	MFR	MANUFACTURER
AUTO	AUTOMATIC	FCO	FLOOR CLEAN OUT	MN	MINIMUM
AVG	AVERAGE	FD	FLOOR DRAIN	MISC	MISCELLANEOUS
BOARD	BOARD	FF	FINISHED FLOOR	MTL	METAL
BET	BETWEEN	FG	FINISHED GRADE	(N)	NEW
BETUMINOUS	BETUMINOUS	FIN	FINISHED	NA	NOT AVAILABLE /
BLDG	BUILDING	FIXT	FIXTURE	N/A	NOT AVAILABLE /
BLK	BLOCK	FL	FLOOR	NIC	NOT IN CONTRACT
BLOCK	BLOCKING	FLSH	FLASHING	NO / #	NUMBER
BN	BOUNDARY NAILING	FLUOR	FLUORESCENT	NTS	NOT TO SCALE
BOT	BOTTOM	FOM	FACE OF MASONRY	OC	ON CENTER
CAB	CABINET	FOP	FACE OF PLYWOOD	OD	OUTSIDE DIAMETER
CBS	CATCH BASIN	FOS	FACE OF STUDS	OW	OWNER FURNISHED CONTRACTOR OR INSTALLED
CB	CUBIC FOOT	FOW	FACE OF WALL	ORG /	OPENING
CB	CATCH BASIN	FP	FIREPROOF, FIREPLACE	OPNG	OPENING
CB	CATCH BASIN	FT	FOOT OR FEET	OZ	OUNCE
CB	CATCH BASIN	FTG	FOOTING	P	PAINT NUMBER - SEE SPECS
CIP	CAST IN PLACE	FUR	FURRING	PE	PEDESTAL
CJ	CONTROL JOINT; CEILING JOINT	GA	GAUGE	PER	PERIMETER
CL	CENTER LINE	GALV	GALVANIZED	PERF	PERFORATED
CLG	CEILING	GC	GENERAL CONTRACTOR	PERP	PERPENDICULAR
CLOS	CLOSET	GL	GLASS / GLAZING	PI	PROPERTY LINE
CLG	CLOSET	GR	GRADE	PLAS	PLASTER
CMU	CONCRETE MASONRY UNIT	GYP	GYPSPUM BOARD	PLYWD	PLYWOOD
COL	COLUMN	HDR	HEADER	PCC	POINT OF CONNECTION
CONC	CONCRETE	HB	HOSE BIB	PR	PAIR
CONST	CONSTRUCTION	HDWR	HARDWARE	PRCST	PRE-CAST
CONT	CONTINUOUS	HORIZ	HORIZONTAL	PREFAB	PREFABRICATED
CORR	CORRIDOR	HORIZ	HORIZONTAL	PROP	PROPERTY
CSK	COUNTERSINK	HR	HIGH POINT; HORSEPOWER	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	HT	HANDRAIL, HOUR	PSI	POUNDS PER SQUARE INCH
DEMO	DEMOLISH / DEMOLITION	HT	HEIGHT	PT	POINT
DF	DOUGLAS FIR	HTR	HEATER	PTDF	PRESSURE TREATED
DIA	DIAMETER	HVAC	HEATING / VENTILATION / AIR CONDITIONING	Q	QUARTZ
DIA	DIAMETER	HW (R)	HOT WATER (RETURN)	QT	QUARRY TILE
DIM	DIMENSION	ID	INSIDE DIAMETER	QTY	QUANTITY
DIV	DIVISION	IN	INCH / INCHES	R	RISER
DN	DOWN	INCL	INCLUDE(D) / INCLUDING	RAD	RADIUS
		INSUL	INSULATE / INSULATION	RCP	REFLECTED CEILING PLAN

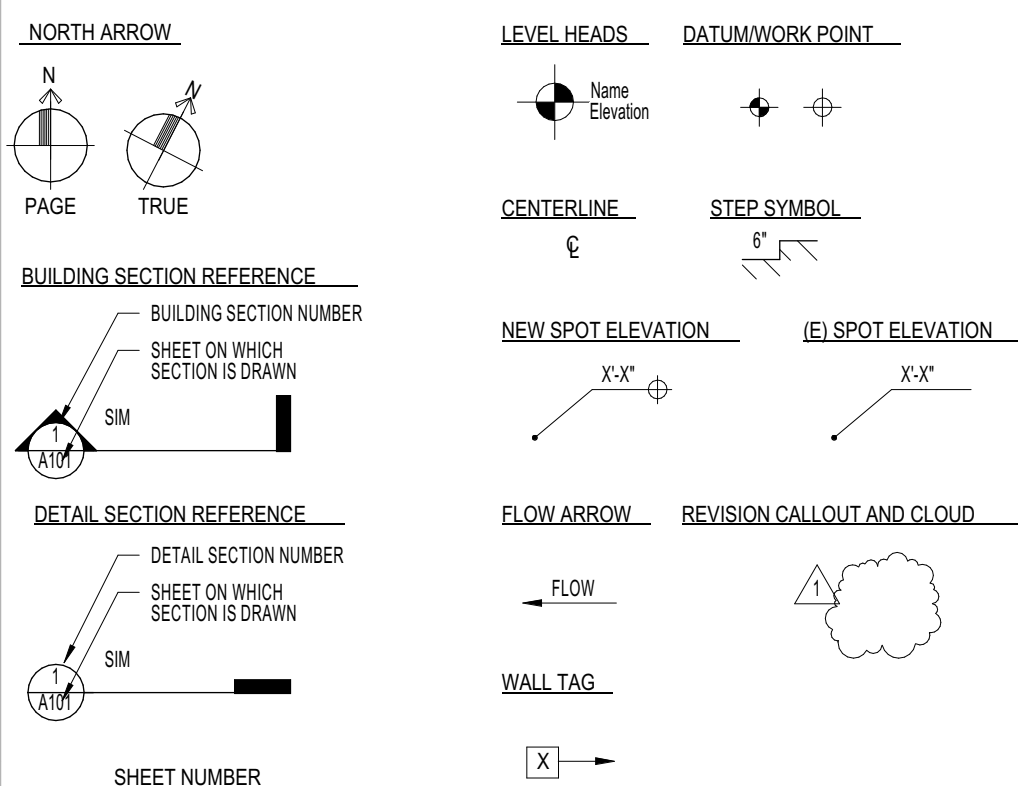
VICINITY MAP



AREA MAP



SYMBOL LEGEND



A 101

ELEVATION REFERENCE

WALL SECTION REFERENCE

DETAIL CALLOUT REFERENCE

ROOM NAME W/ ROOM

W/ MASTER BEDROOM

WAREA

W/ MASTER BEDROOM

DOOR TAG

WINDOW TAG

FIXTURE TAG

MATERIAL TAG

KEYNOTE

EQUIPMENT

ELECTRICAL

MECHANICAL

PLUMBING

CEILING TAG

TECTUM

CODE COMPLIANCE

ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING CODES AND STANDARDS, AS ADOPTED BY THE GOVERNING AUTHORITIES.

2016 CALIFORNIA ADMINISTRATIVE CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRIC CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ENERGY CODE (EFFECTIVE 7/1/14)
2016 CALIFORNIA HISTORIC BUILDING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA EXISTING BUILDING CODE
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA REFERENCED STANDARDS CODE

CALIFORNIA BUILDING CODE NOTE

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA RESIDENTIAL CODE 2016 (CRC) & ASSOCIATED AMENDMENTS IN SAN DIEGO MUNICIPAL CODE (SDMC) & 2016 CALIFORNIA BUILDING CODE WHICH IS BASED ON THE 2016 IBC FOT THE NON CONVENTIONAL FRAMING STRUCTURAL PROVISIONS, INCLUDING THE 2016 CAL GREEN AND THE 2016 CALIFORNIA ENERGY CODE.

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 3359, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1974.

APN #352-141-0100

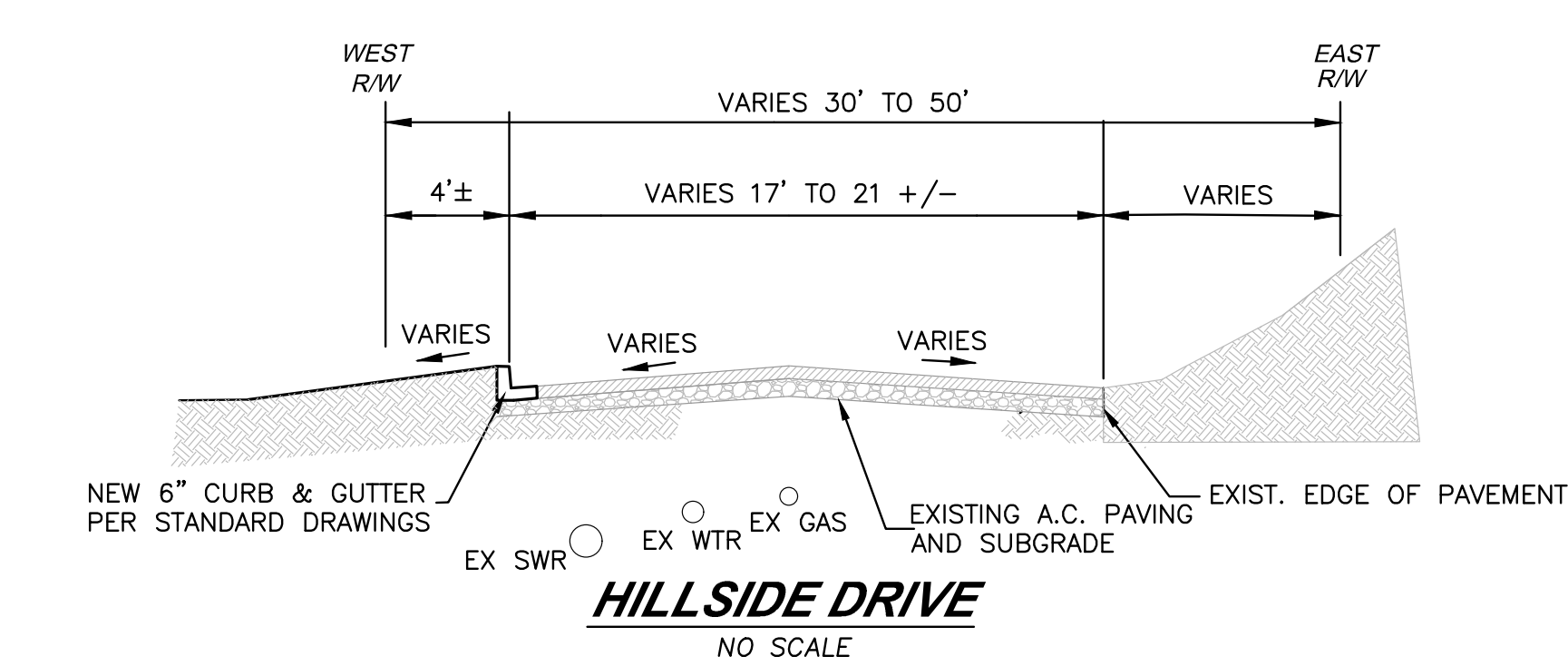
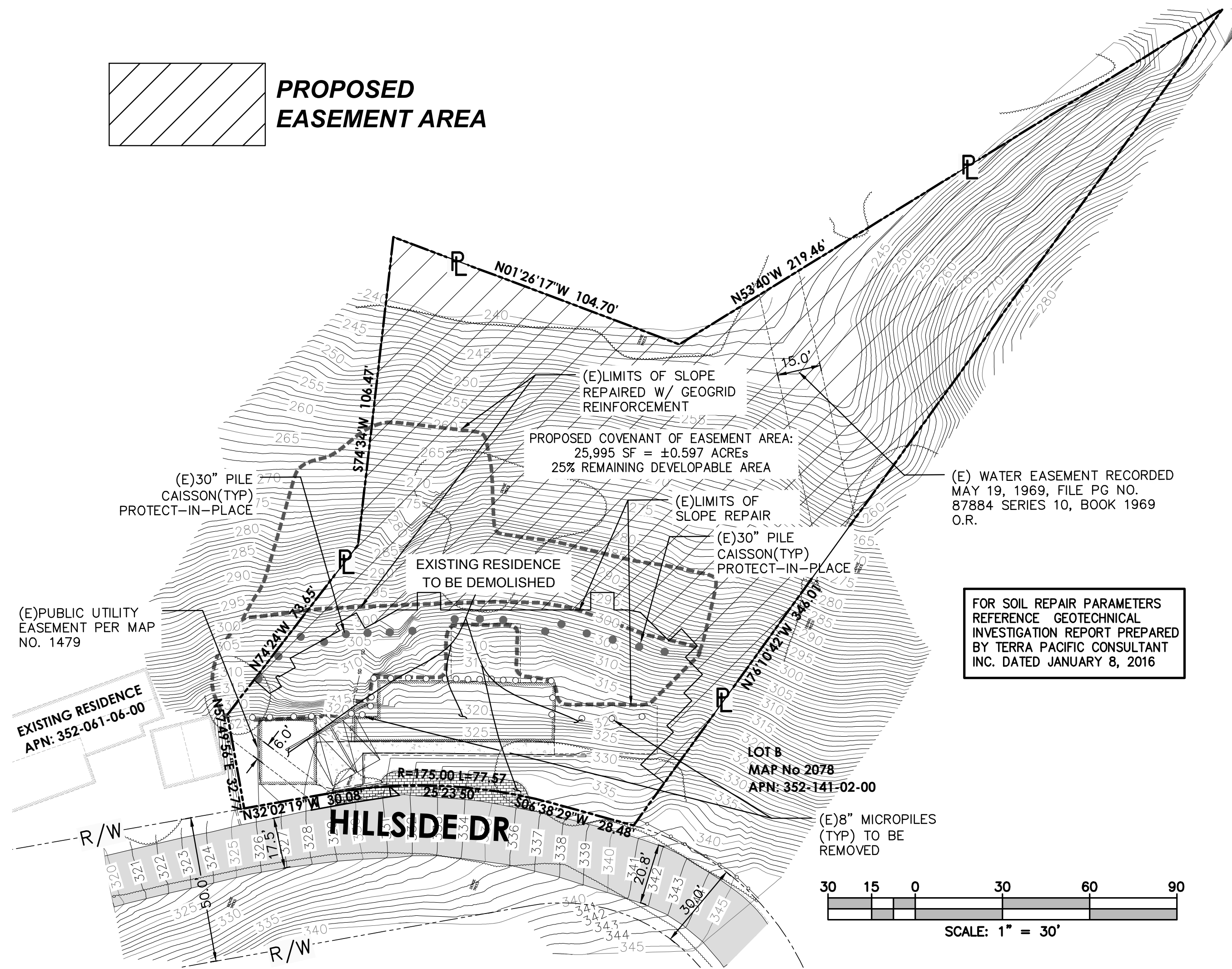
DIRECTORY

OWNER MM Management Group, LLC 7455 Hillside Dr. La Jolla, CA 92037	PROJECT DESIGNER Jess Gonzales (619) 292-5520 CDGI P.O. BOX 84180 SAN DIEGO CA. 92138 jessgonzales4299@gmail.com
STRUCTURAL ENGINEER: Envision Engineering, Inc. 565 Pearl St. Ste. 209 La Jolla, CA 92037 ph. (858) 246 7745	CIVIL ENGINEER: Sol Engineering (PH) 619 270 8539 2127 Olympic Parkway, Suite 1006-320
LANDSCAPE ARCH: Sean Clarke, LLA S.R. Clarke Landscape Architecture & Development 110 Copperwood Way #P, Oceanside, CA 92058 LLA#5299 P: (760) 716-3100	GEOLOGIST: Christopher C. O'Hern TerraPacific Consultants Inc. 4010 Morena Blvd. Ste. 108 San Diego, CA 92117 (Ph) 858-521-1190

PROJECT INFORMATION

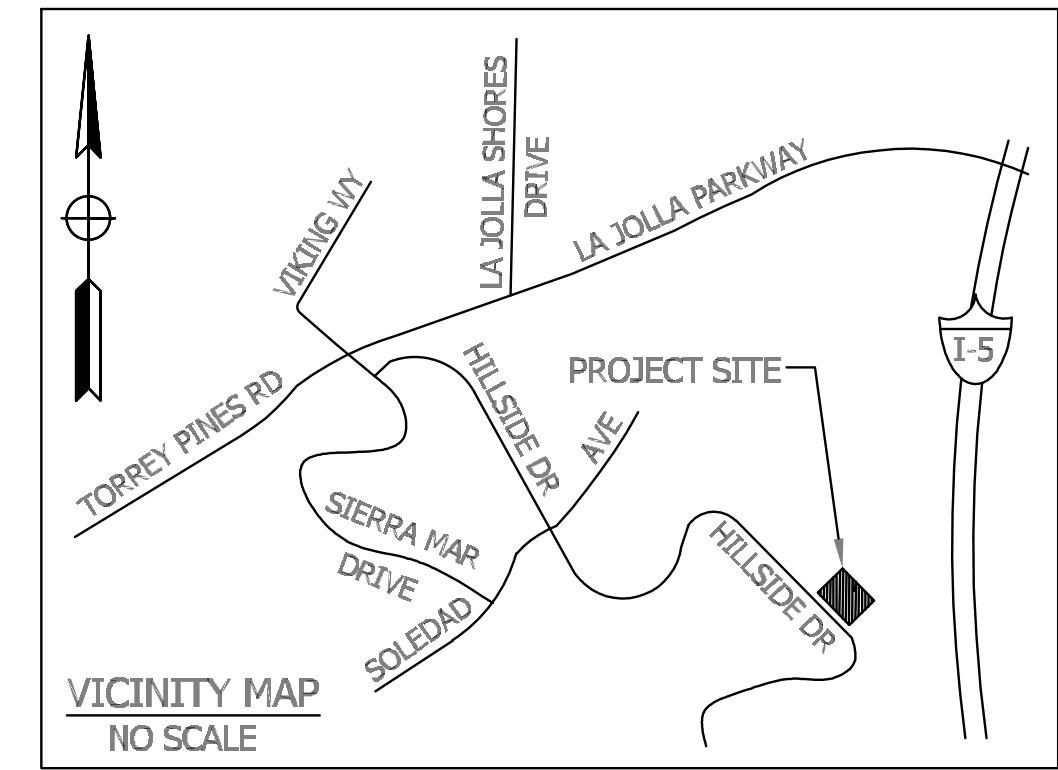
ADDRESS :	7595 HILLSIDE DR. LA JOLLA, CA 92037
LOT SIZE :	0.81 acres 35,416 s.f.
(E) USE :	SINGLE FAMILY RESIDENCE
(N) USE :	
CONSTRUCTION TYPE :	V8, NON RATED, SPRINKLED
OCCUPANCY CLASSIFICATION :	R3
BUILDING AREA :	2 STORIES (N) (N)
BASEMENT FLOOR	610.00 s.f. EXEMPT 3,374.00 s.f. DECK 1,530.00 s.f.
MAIN FLOOR	2,187.00s.f. EXEMPT 1,488.

PROPOSED
EASEMENT AREA



SITE DEVELOPMENT NOTES:

1. NO SHRUBS MORE THAN 3' FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN TEN FEET OF ANY PUBLIC SEWER MAINS OR WATER SERVICES. NO TREES OR ANY KIND OF LANDSCAPING SHALL BE INSTALLED WITHIN WATER/SEWER ACCESS EASEMENT.
2. NO OBJECTS GREATER THAN 36" ALLOWED ON SIGHT TRIANGLES
3. NO RUNOFF INCREASE ONTO ADJACENT PROPERTIES
4. AT THE STORMWATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATERS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE NON-ERODIBLE VELOCITIES.
5. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATIONS.
- 6.NO SOIL DISTURBANCE OR ENCROACHMENT IS PROPOSED ON ADJACENT PROPERTIES.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE,SATISFACTORY TO THE CITY ENGINEER.
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS
10. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL ASSURE BY PERMIT AND BOND THE CONSTRUCTION OF NEW CURRENT CITY STANDARD CURB AND GUTTER, ADJACENT TO THE SITE ON HILLSIDE DRIVE, SATISFACTORY TO THE CITY ENGINEER.
- 11.0 PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FOR THE NON-STANDARD DRIVEWAY AND PAVERS IN THE HILLSIDE DRIVE RIGHT-OF-WAY, SATISFACTORY TO THE CITY ENGINEER
- 12.0 PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO AN AGREEMENT TO INDEMNIFY, PROTECT AND HOLD HARMLESS THE CITY, ITS OFFICIALS AND EMPLOYEES FROM ANY AND ALL CLAIMS, DEMANDS, CAUSES OR ACTION, LIABILITY OR LOSS BECAUSE OF, OR ARISING OUT OF SURFACE DRAINAGE ENTERING INTO THE PROPERTY FROM THE RIGHT-OF-WAY DUE TO THE DESIGN OF THE PROPOSED DRIVEWAY.
- 13.0 PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, THE OWNER/PERMITEE SHALL OBTAIN A BONDED GRADING PERMIT FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER



VICINITY MAP
NO SCALE

SHEET INDEX:

C-1 - GRADING & DRAINAGE PLAN
C-2 - BMP PLAN

BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS OBTAINED FROM CITY OF SAN DIEGO BENCHMARK BOOK

HILLSIDE DRIVE & SOLEDAD AVE
SW BRASS PLUG
ELEVATION: 228.995 MSL

LEGAL DESCRIPTION:

PARCEL 1 OF PARCEL MAP NO. 3359, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 30, 1974.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY WAS OBTAINED FROM WESTERLY LINE OF PARCEL 1 AS SHOWN ON MAP I.E. N57°49'56"E

FEMA FLOOD ZONE:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE X. MINIMAL FLOOD HAZARD

TOPOGRAPHIC SURVEY:

AERIAL AND FILED SURVEY PERFORMED BY SOL ENGINEERING

ZONING:

EXISTING: R-1 SINGLE
PROPOSED:R-1 SINGLE

PROPERTY OWNER:

MMK MANAGEMENT GROUP, LLC
7455 HILLSIDE DR.
LA JOLLA, CA 92037

PROJECT ADDRESS:

7595 HILLSIDE DR.
LA JOLLA, CA 92037

APN:

APN: 352-141-01-00

SITE AREA:

0.79 ACRES (34,412 SQUARE FEET)

GRADING TABULATION:

AMOUNT OF SITE AREA TO BE GRADED: 8,417 SF APPROX.
% OF TOTAL SITE: 25% APPROX.
AMOUNT OF CUT (1.5:1 MAX): 2,000 CY
AMOUNT OF FILL:(2:1 MIN) 0.0 CY
HEIGHT OF CUT/FILL (UNDER BLDG.): CUT: 23.5' MAX, FILL: 4.9' MAX.
HEIGHT OF CUT/FILL (OUTSIDE BLDG.): CUT: 18' MAX, FILL: 0' MAX.
AMOUNT OF EXPORT OF SOIL: 2,000 CY APPROX.
RETAINING WALLS: 150 LF MAX HEIGHT 11'

IMPERVIOUS DATA TABLE:

TOTAL DISTURBANCE AREA	8,100 SF
EXISTING AMOUNT OF PERVIOUS AREA	29,997 SF
PROPOSED AMOUNT OF PERVIOUS AREA	27,779 SF
EXISTING AMOUNT OF IMPERVIOUS AREA	4,415 SF
PROPOSED AMOUNT OF IMPERVIOUS AREA	7,133 SF
TOTAL IMPERVIOUS AREA	7,133F
IMPERVIOUS % INCREASE	62 %

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

1. I HEREBY DECLARE THAT I AM THE ENGINEER FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE.
2. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT.



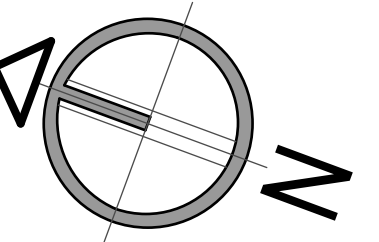
ENGINEER OF WORK

JOSE L. SANCHEZ
R.C.E. 86435 EXP. 3-31-21

DATE

AP CONSULTING
CIVIL ENGINEERING - WATER RESOURCES
PLANNING
Tel. 619-227-8941
2371 Fenton Street, Suite 100
Chula Vista, CA 91914

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T. 619.858.2345 F. 619.858.2344
P.O.Box. 84180 San Diego Ca. 92138
office@cdgius.com www.cdgius.com



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

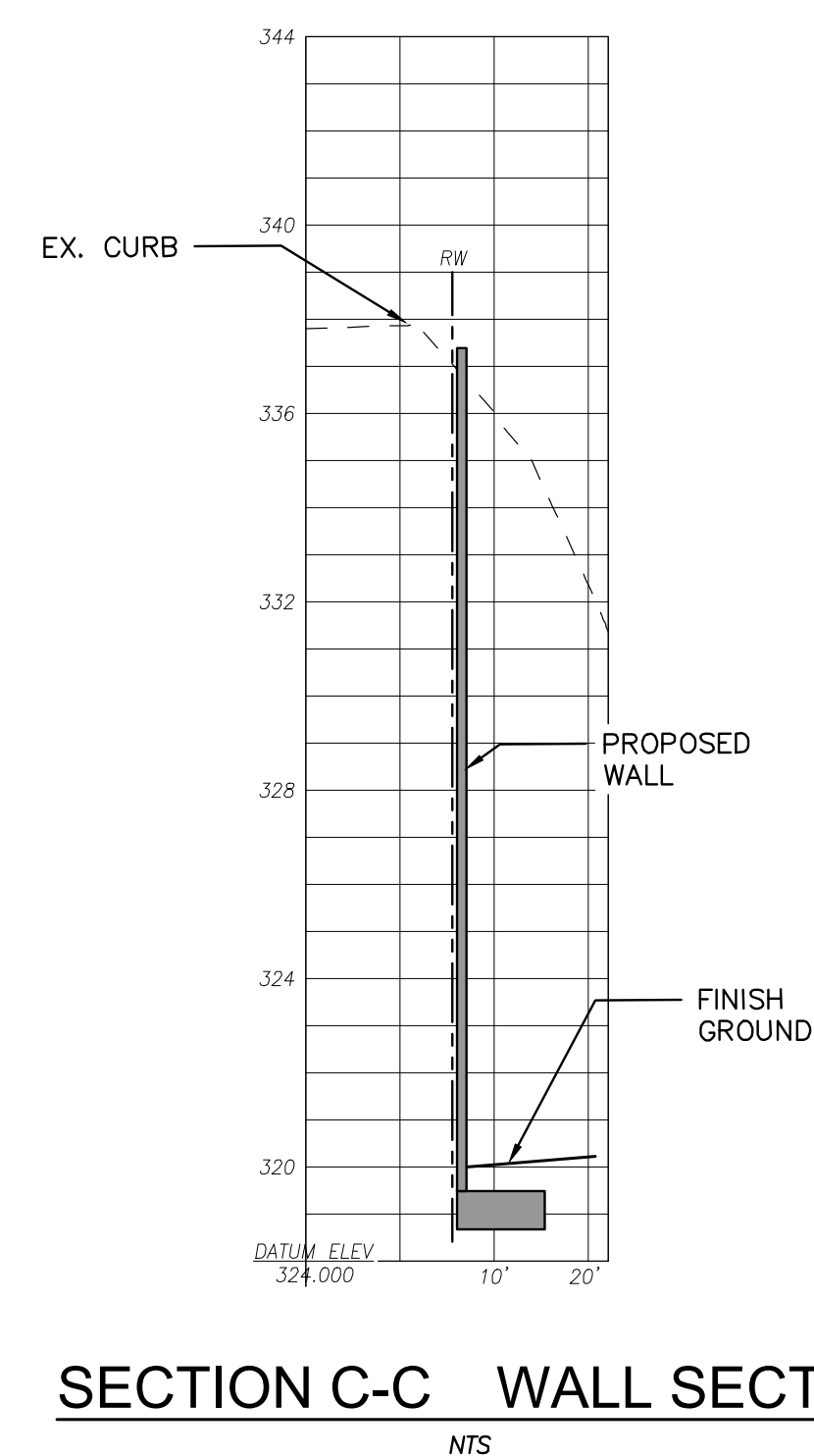
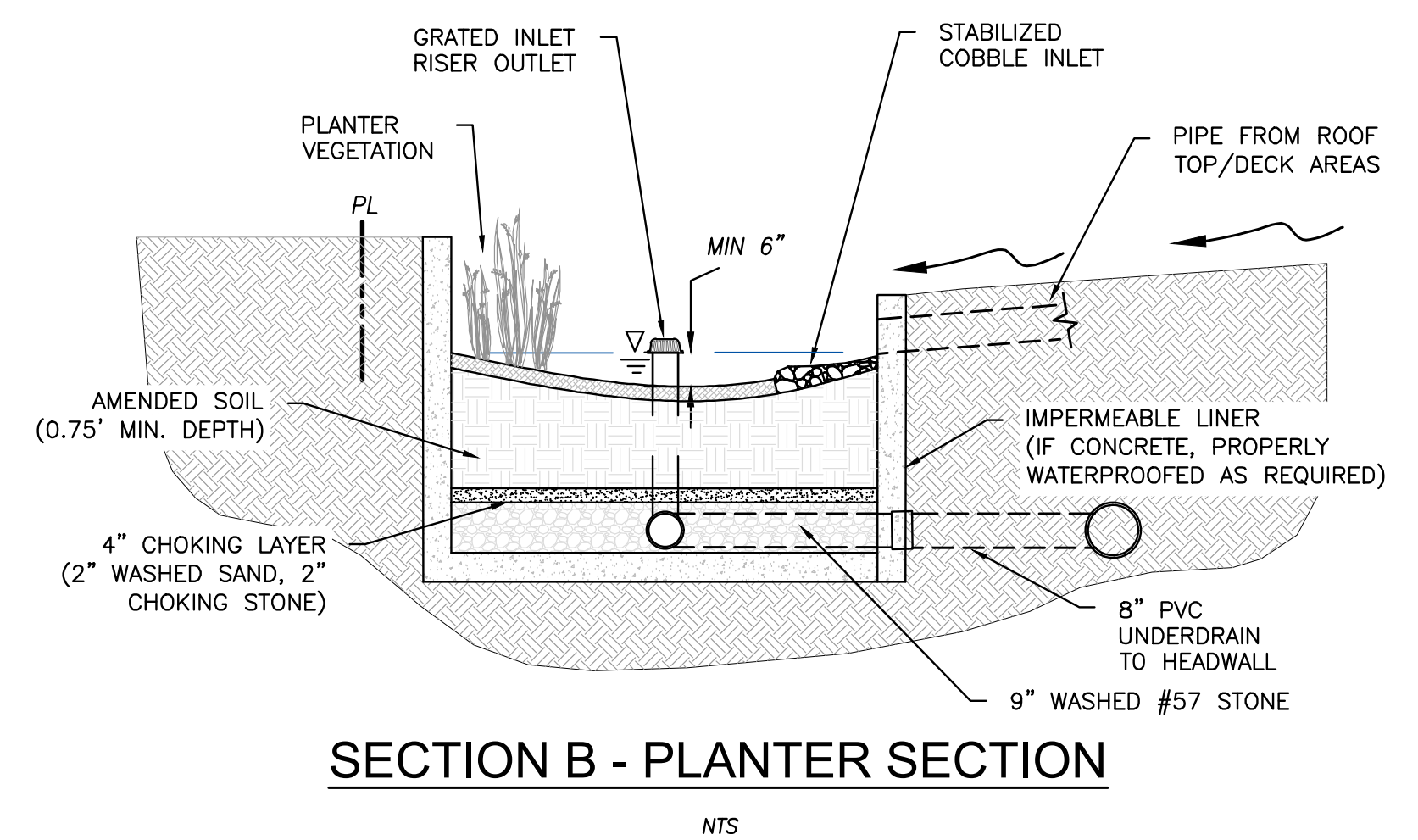
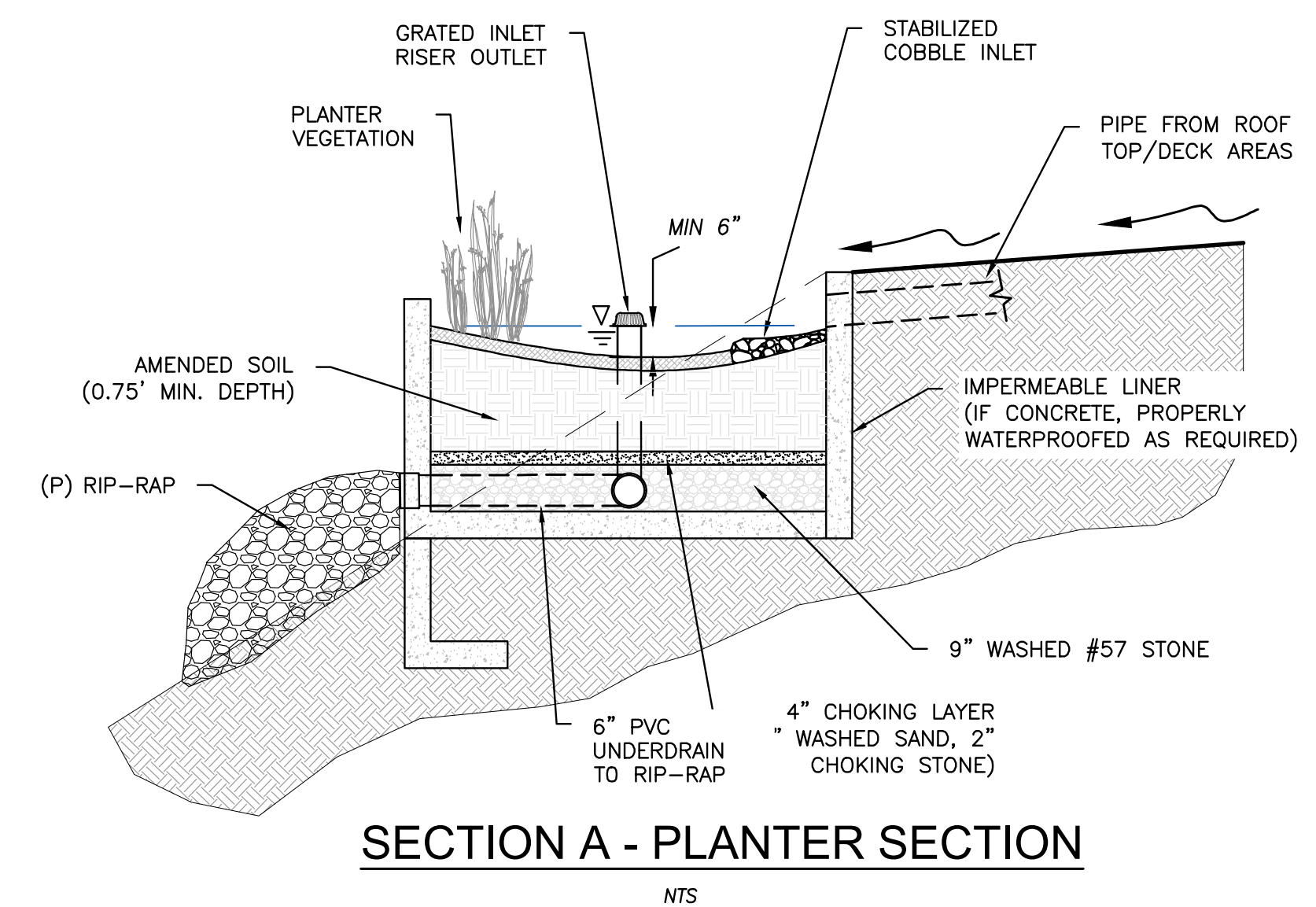
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ADDRESS:

DATE:
12.15.2020
CITY SUBMITTAL:
SAN DIEGO
SCALE:
INDICATE IN DRAW
DRAW:
E.M.
JOB NO.

SHEET TITLE:
DRAINAGE/BM
P PLAN

C-1



POST-CONSTRUCTION BMPS

THIS PROJECT PROPOSES POST-CONSTRUCTION BEST MANAGEMENT PRACTICES AND LID MEASURES REQUIRED UNDER THE CITY OF SAN DIEGO STORM WATER MANAGEMENT, AND DISCHARGE CONTROL ORDINANCE (SECTION 43.03).

LOW IMPACT/SITE DESIGN BMPS

- IMPERVIOUS AREA DISPERSION (SD-5)
THE PROJECT DRAINS ROOF TOP RUNOFF INTO CLOSE BY LAWN AREAS WITH A MINIMUM LENGTH OF 10' AND MAXIMUM GRADE OF 5%.

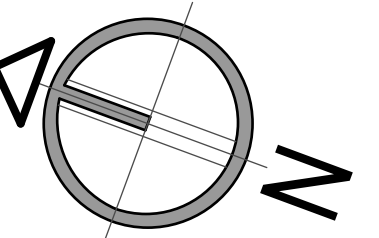
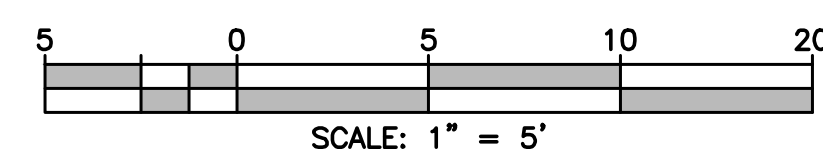
- **DISPERSE RUNOFF TO ADJACENT LANDSCAPING**
THE PROJECT DRAINS WALKWAYS, PATIOS AND DECKS INTO ADJACENT LANDSCAPED AREAS.

SOURCE CONTROL BMPS

- * EMPLOY INTEGRATED PEST MANAGEMENT PRINCIPLES (SC-6)
 - IPM EDUCATIONAL MATERIALS SHOULD BE DISTRIBUTED TO FUTURE SITE RESIDENTS AND TENANTS. THESE EDUCATIONAL MATERIALS SHOULD ADDRESS THE FOLLOWING:
 - USE OF BARRIERS, SCREENS, AND CAULKING TO KEEP PESTS OUT OF BUILDINGS AND LANDSCAPING.
 - a. PHYSICAL PEST ELIMINATION TECHNIQUES, SUCH AS WEEDING, WASHING, OR TRAPPING PESTS.
 - b. RELYING ON NATURAL ENEMIES TO ELIMINATE PESTS.
 - c. PROPER USE OF PESTICIDES AS A LAST LINE OF DEFENSE.

- **USE NON-TOXIC ROOFING MATERIALS WHERE FEASIBLE:** THE PROJECT WILL AVOID THE USE OF GALVANIZED STEEL OR COPPER FOR ROOFS, GUTTERS, AND DOWNSPOUTS. THE PROJECT WILL AVOID COMPOSITE ROOFING MATERIALS THAT CONTAIN COPPER.

SECTION C-C WALL SECTION



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

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ADDRESS:

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TY SUBMITTAL.

SAN DIEGO

SCALE.

DRAW

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E.M.

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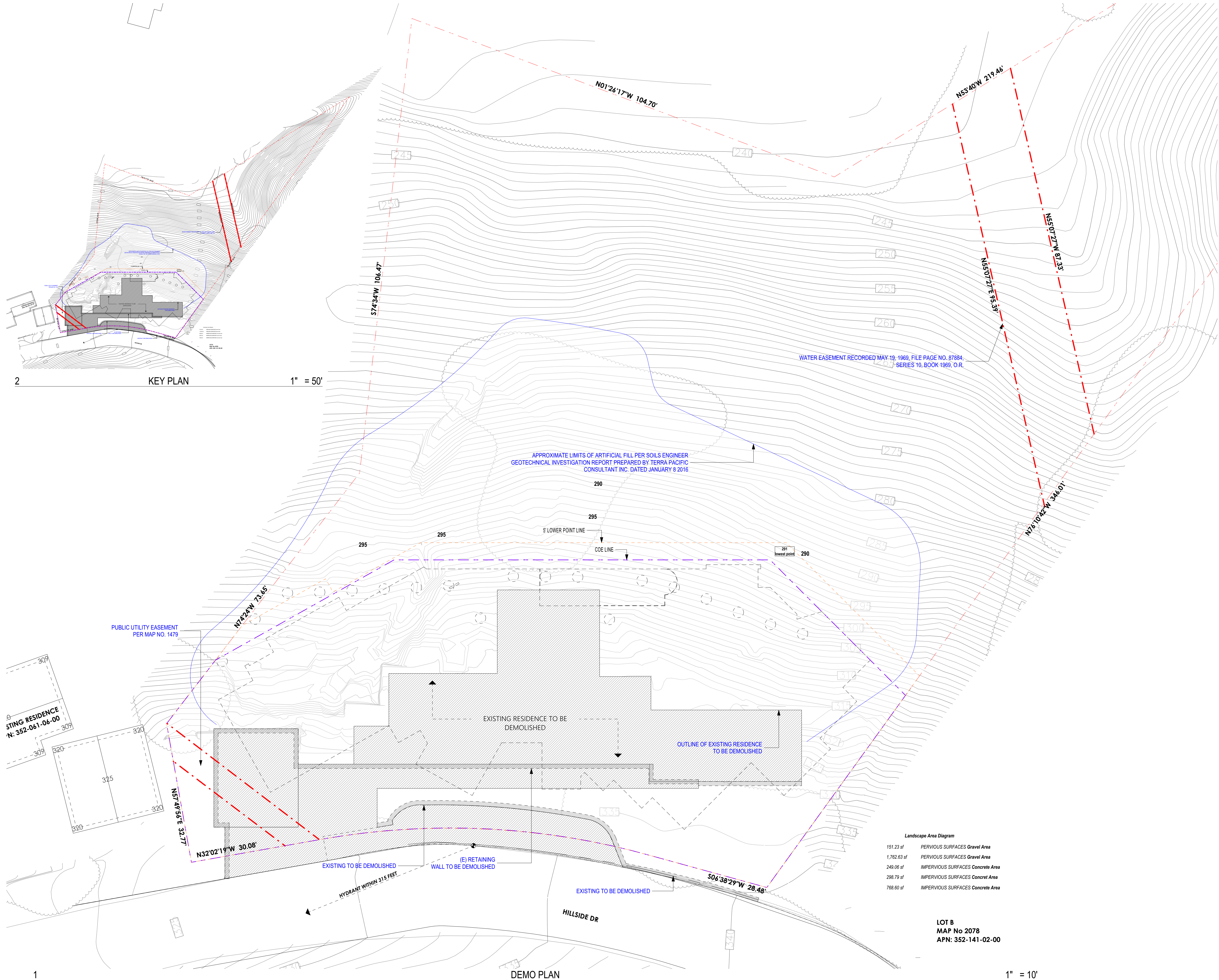
SHEET TITLE:

SHEET TITLE:

DRAINAGE/BM

P PLAN

C-2



2 KEY PLAN 1" = 50'

1 DEMO PLAN 1" = 10'

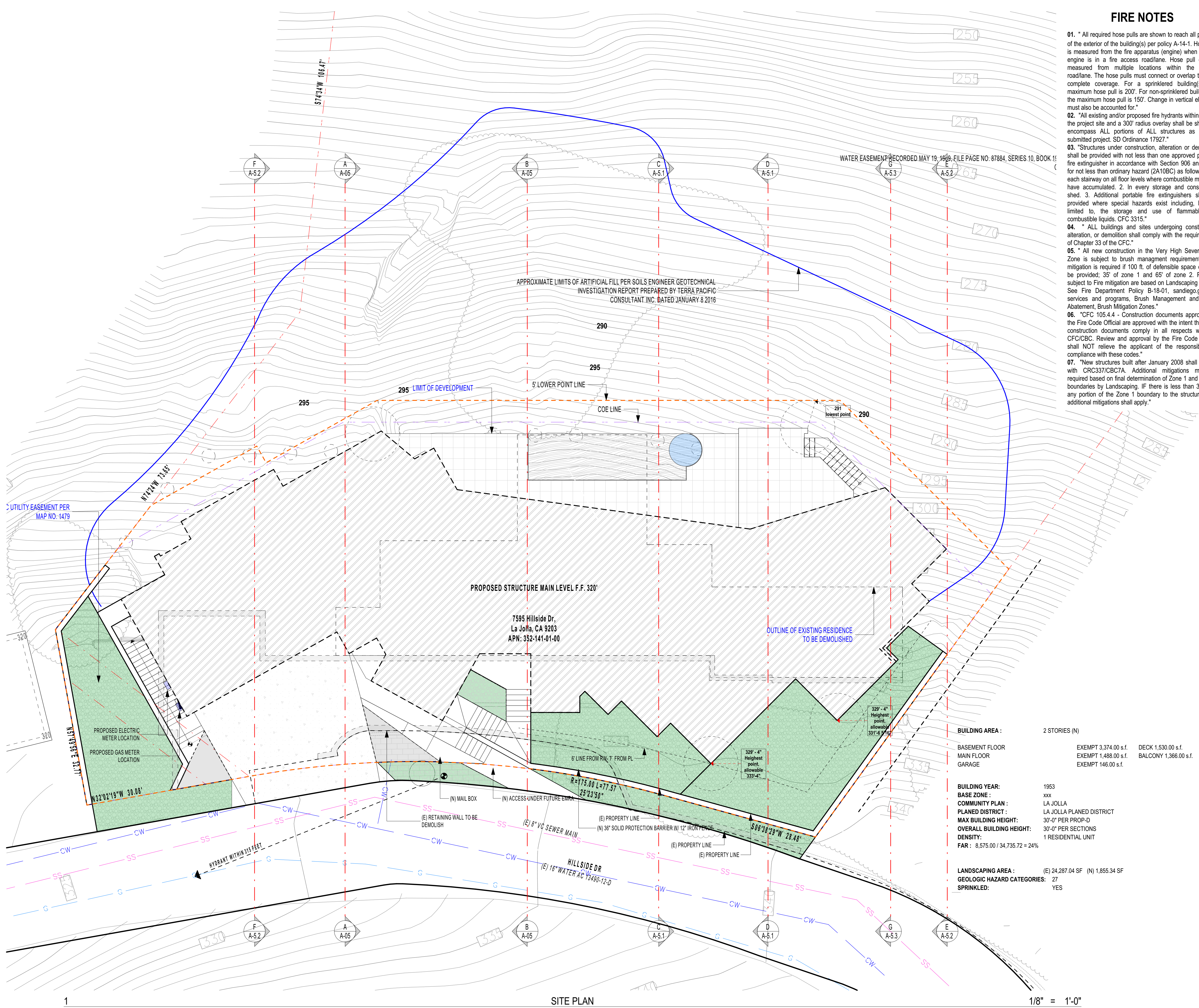
CONTRACTOR NOTE

CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK NOTIFY ARCHITECT OF ANY DISCREPANCIES.

- LEGEND
- NEW RETAINING WALL
 - NEW FRAMING WALLS
 - (E) FRAMING WALLS
 - EXISTING WALLS TO BE DEMOLISHED
 - EXISTING RETAINING WALLS
 - EXISTING GRADE
 - MAIN FLOOR AREA TO EXEMPT
 - MAIN FLOOR AREA TO FAR

GENERAL NOTES

PROPOSED BUILDING HEIGHT PER SAN DIEGO MUNICIPAL CODE 113.0270 (a) (6); THE OVERALL STRUCTURE HEIGHT IS MEASURED FROM THE LOWEST POINT OF EXISTING GRADE OR PROPOSED GRADE WITHIN 5 FEET OF THE STRUCTURE'S PERIMETER (BUILDING WALL, BALCONY, BAY WINDOW, OR SIMILAR ARCHITECTURAL PROJECTION) OR AT THE PROPERTY LINE WHICHEVER IS CLOSER, TO THE HIGHEST POINT OF THE STRUCTURE, PROJECTED HORIZONTALLY TO DIRECTLY ABOVE THIS LOWEST POINT OF GRADE, EXCEPT AS SPECIFIED IN SECTION 113.0270 (a) (6) THE OVERALL STRUCTURE HEIGHT SHALL NOT EXCEED THE MAXIMUM PERMITTED STRUCTURE HEIGHT OF THE APPLICABLE ZONE PLUS AN AMOUNT EQUAL TO EITHER THE MAXIMUM GRADE DIFFERENTIAL WITHIN THE STRUCTURE'S FOOTPRINT OR 10 FEET, WHICHEVER IS LESS. IN NO CASE MAY THE STRUCTURE HEIGHT EXCEED THE MAXIMUM ALLOWED BY THE APPLICABLE ZONE AT ANY ONE POINT MEASURED PURSUANT TO SECTION 113.0270 (a) (3); 113.0270 (a) (7); STRUCTURE HEIGHT IS MEASURED SEPARATELY FOR EACH STRUCTURE THAT IS SEPARATED FROM ANOTHER STRUCTURE ON THE PREMISES BY 6 FEET OR MORE. 103.030A (K) MAXIMUM BUILDING HEIGHT: NO BUILDING OR STRUCTURE SHALL BE ERECTED, CONSTRUCTED, ALTERED, MOVED OR ENLARGED TO A GREATER HEIGHT THAN THIRTY (30) FEET.



FIRE NOTES

01. " All required hose pulls are shown to reach all portions of the exterior of the building(s) per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access road/lane. Hose pull can be measured from multiple locations within the access road/lane. The hose pulls must connect or overlap to show complete coverage. For a sprinklered building(s); the maximum hose pull is 200'. For non-sprinklered building(s); the maximum hose pull is 150'. Change in vertical elevation must also be accounted for."
02. "All existing and/or proposed fire hydrants within 600' of the project site and a 300' radius overlay shall be shown to encompass ALL portions of ALL structures as part of submitted project. SD Ordinance 17927."
03. "Structures under construction, alteration or demolition shall be provided with not less than one approved portable fire extinguisher in accordance with Section 906 and sized for not less than ordinary hazard (2A10BC) as follows: 1. At each stairway on all floor levels where combustible materials have accumulated. 2. In every storage and construction shed. 3. Additional portable fire extinguishers shall be provided where special hazards exist including, but not limited to, the storage and use of flammable and combustible liquids. CFC 3315."
04. " ALL buildings and sites undergoing construction, alteration, or demolition shall comply with the requirements of Chapter 33 of the CFC."
05. " All new construction in the Very High Severity Fire Zone is subject to brush management requirements. Fire mitigation is required if 100 ft. of defensible space can not be provided; 35' of zone 1 and 65' of zone 2. Projects subject to Fire mitigation are based on Landscaping review. See Fire Department Policy B-18-01, sandiego.gov/fire, services and programs, Brush Management and Weed Abatement, Brush Mitigation Zones."
06. "CFC 105.4.4 - Construction documents approved by the Fire Code Official are approved with the intent that such construction documents comply in all respects with the CFC/CBC. Review and approval by the Fire Code Official shall NOT relieve the applicant of the responsibility of compliance with these codes."
07. "New structures built after January 2008 shall comply with CRC337/CBC7A. Additional mitigations may be required based on final determination of Zone 1 and Zone 2 boundaries by Landscaping. IF there is less than 35' from any portion of the Zone 1 boundary to the structure, then additional mitigations shall apply."

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LEGEND

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- NEW FRAMING WALLS
- (E) FRAMING WALLS
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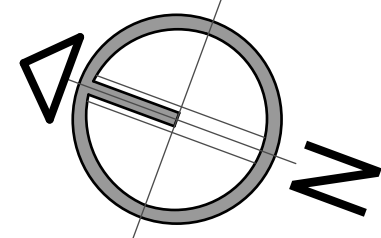
GENERAL NOTES

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NEW NOTES

01. SEE SHEET C-1 (GRADING & DRAINAGE) FOR ALL EXISTING AND PROPOSED UTILITIES ON THE SITE OR IN THE ADJACENT RIGHT OF WAY.
02. PROVIDE BUILDING ADDRESS NUMBER VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
03. NO EXISTING BUS STOP.
04. FIRE HYDRANTS WITHIN 315 FEET.
05. DECK NOTE: IGNITION-RESISTANT MATERIALS THAT COMPLIES WITH THE PERFORMANCE REQUIREMENTS OF BOTH SFM STANDARD 12-7A-4 ANS SFM STANDARD 12-7A-5.
06. AN EMRA WILL BE REQUIRED FOR THE NON-STANDAR DRIVEWAY, LANDSCAPING, CRUSHED ROCK, AND PAVERS WITHIN THE HILLSIDE DRIVE RIGHT-OF-WAY.
07. THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREA.
08. AT THE STORM WATER DISCHARGE LOCATION, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
09. NO ADDITIONAL RUN-OFF IS PROPOSED FOR THE DISCHARGE LOCATION.
10. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITH VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
11. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
12. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATION.
13. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN. THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
14. ALL NEW RUNOFF TO BE DIRECTED AWAY FROM THE STEEP HILLSIDE AND INTO A PUBLIC STORM DRAIN OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM, SECTION 143.0142(i).
15. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

BUILDING AREA :		2 STORIES (N)	
BASEMENT FLOOR		EXEMPT 3,374.00 s.f.	DECK 1,530.00 s.f.
MAIN FLOOR		EXEMPT 1,488.00 s.f.	BALCONY 1,366.00 s.f.
GARAGE		EXEMPT 146.00 s.f.	
BUILDING YEAR:		1953	
BASE ZONE :		xxx	
COMMUNITY PLAN :		LA JOLLA	
PLANNED DISTRICT :		LA JOLLA PLANNED DISTRICT	
MAX BUILDING HEIGHT:		30'-0" PER PROP-D	
OVERALL BUILDING HEIGHT:		30'-0" PER SECTIONS	
DENSITY:		1 RESIDENTIAL UNIT	
FAR : 8,575.00 / 34,735.72 = 24%			
LANDSCAPING AREA :		(E) 24,287.04 SF (N) 1,855.34 SF	
GEOLOGIC HAZARD CATEGORIES:		27	
SPRINKLED:		YES	



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

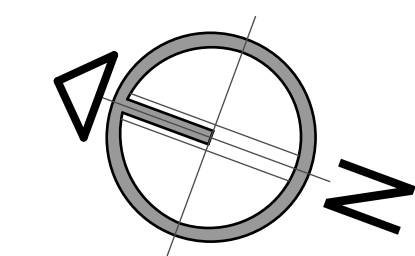
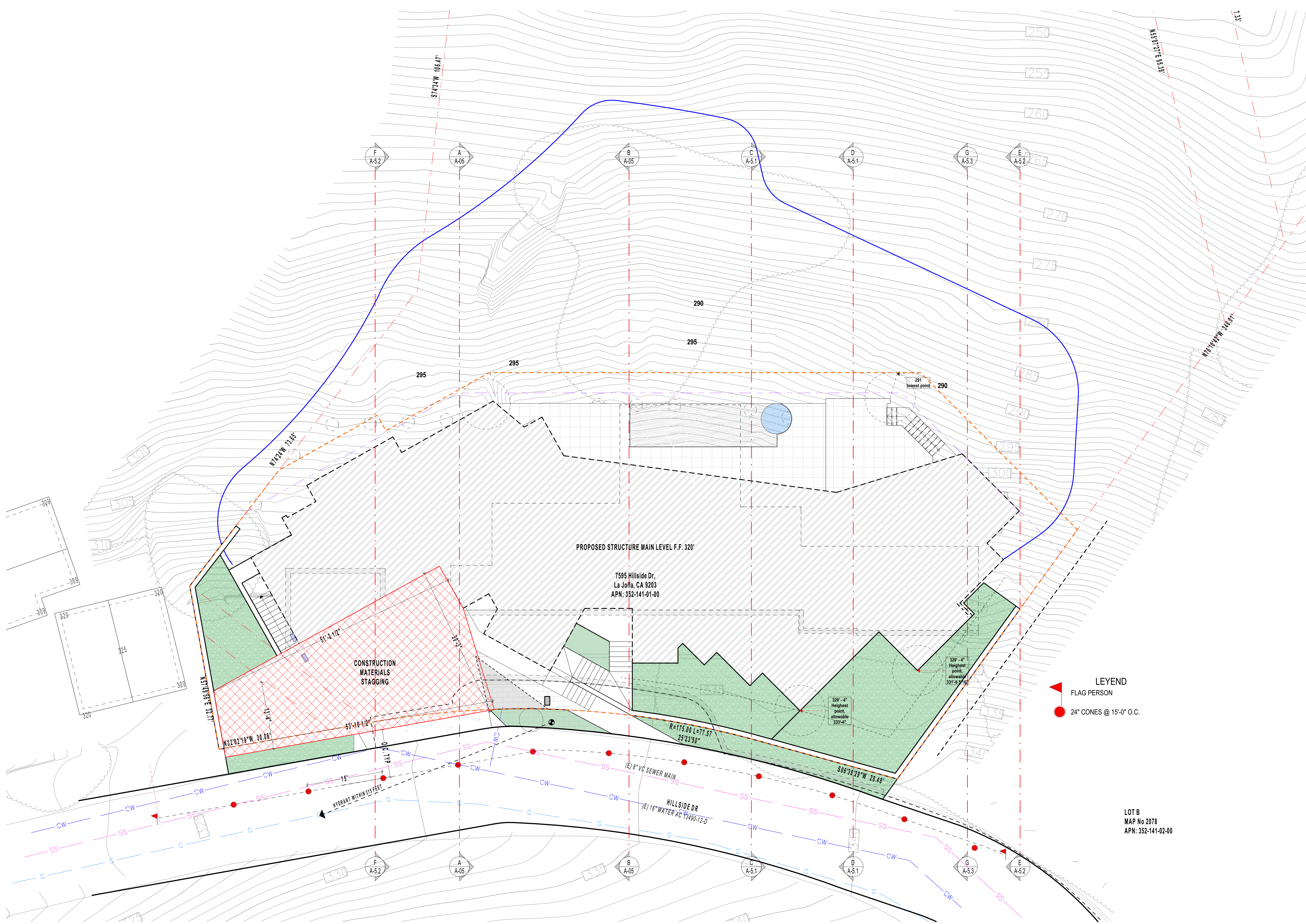
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ADDRESS:

DATE:
12.15.2020
CITY SUBMITTAL:
SAN DIEGO
SCALE:
INDICATE IN DRAW
DRAW:
E.M.
JOB NO.

SHEET TITLE:
SITE PLAN

A.01



NORTH
2nd review - 5.19.2020
3rd review - 5.28.2020
4th review - 10.14.2020

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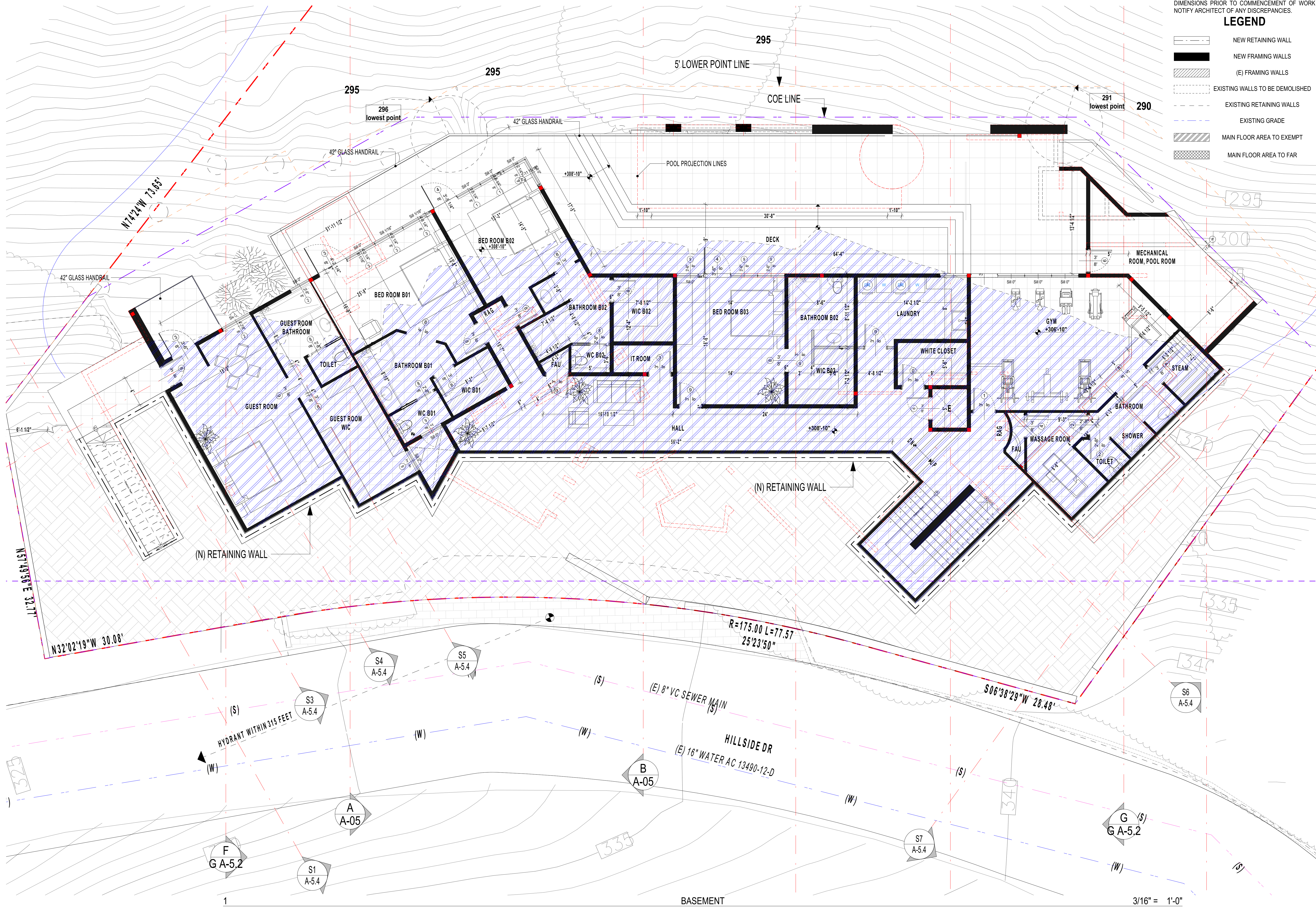
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INDICATE IN DRAW
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JOB NO.

SHEET TITLE:
MATERIALS AND TRAFFIC CONTROL EXHIBIT

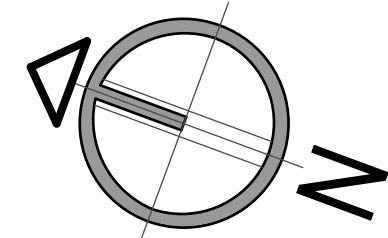
A.01.1



CONTRACTOR NOTE
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

- NEW RETAINING WALL
- NEW FRAMING WALLS
- (E) FRAMING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- EXISTING RETAINING WALLS
- EXISTING GRADE
- MAIN FLOOR AREA TO EXEMPT
- MAIN FLOOR AREA TO FAR



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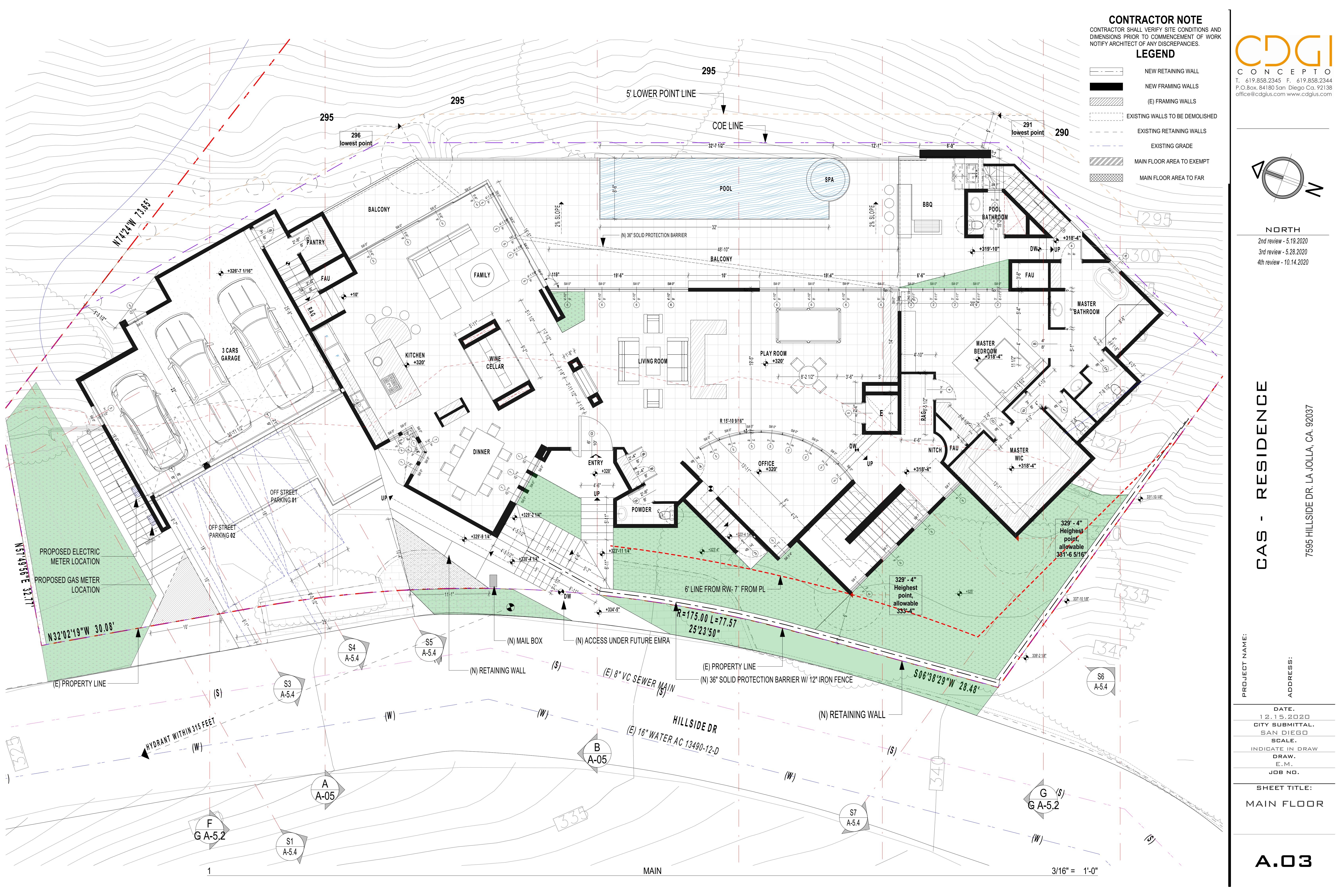
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DATE.
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CITY SUBMITTAL.
SAN DIEGO
SCALE.
INDICATE IN DRAW
DRAW.
E.M.
JOB NO.

SHEET TITLE:
GROUND FLOOR

A.02



CONTRACTOR NOTE
CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

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- NEW FRAMING WALLS
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CDGI
CONCEPTO
T. 619.858.2345 F. 619.858.2344
P.O. Box. 84180 San Diego Ca. 92138
office@cdgius.com www.cdgius.com

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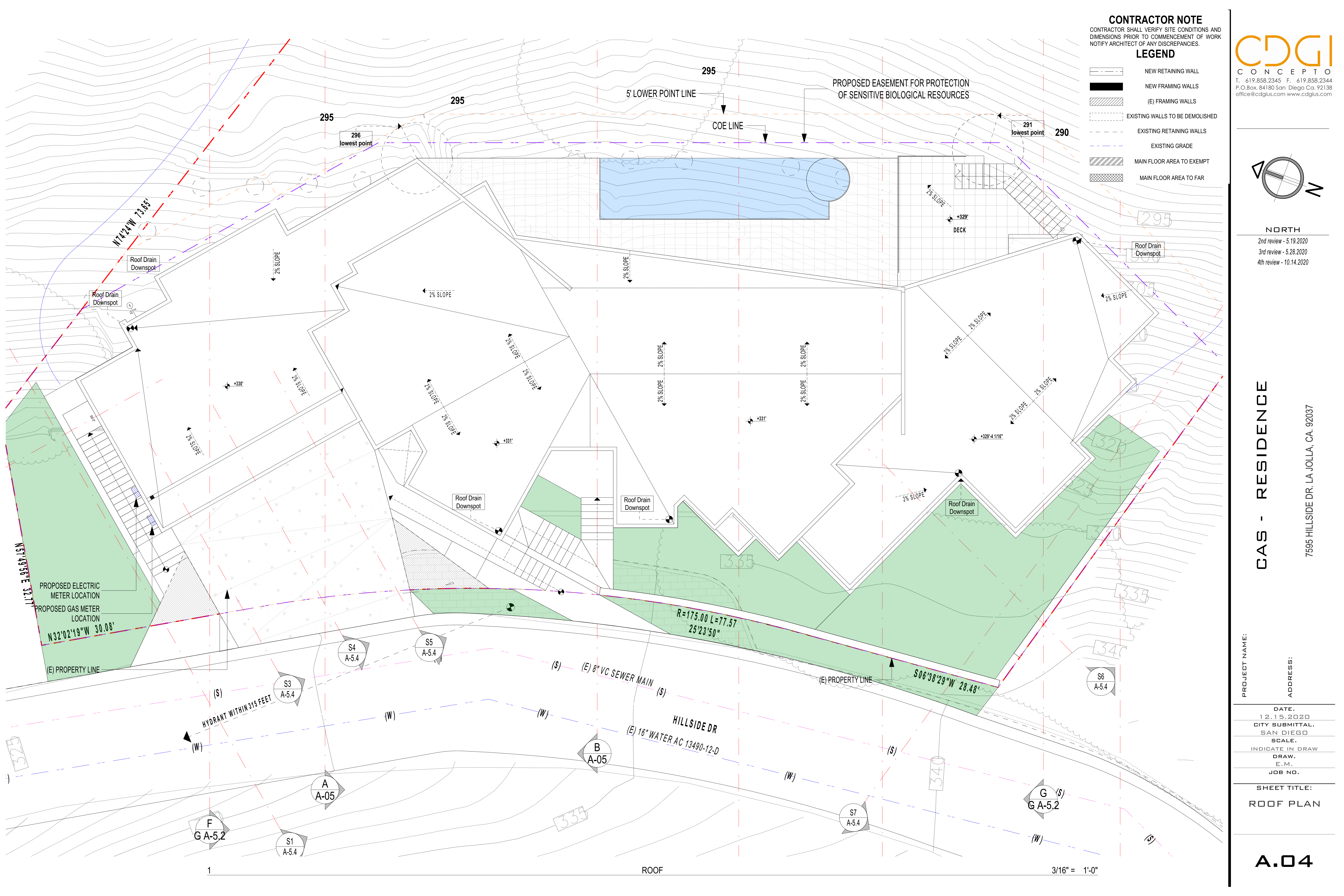
CAS - RESIDENCE
7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:
ADDRESS:

DATE:
12.15.2020
CITY SUBMITTAL.
SAN DIEGO
SCALE:
INDICATE IN DRAW
DRAW.
E.M.
JOB NO.

SHEET TITLE:
MAIN FLOOR

A.03



CONTRACTOR NOTE

CONTRACTOR SHALL VERIFY SITE CONDITIONS AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

LEGEND

NEW RETAINING WALL

NEW FRAMING WALLS

(E) FRAMING WALLS

EXISTING WALLS TO BE DEMOLISHED

EXISTING RETAINING WALLS

EXISTING GRADE

MAIN FLOOR AREA TO EXEMPT

MAIN FLOOR AREA TO FAR

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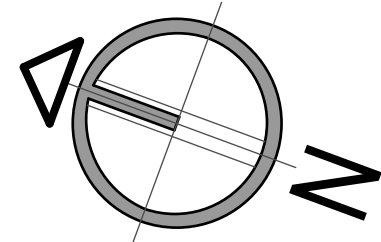
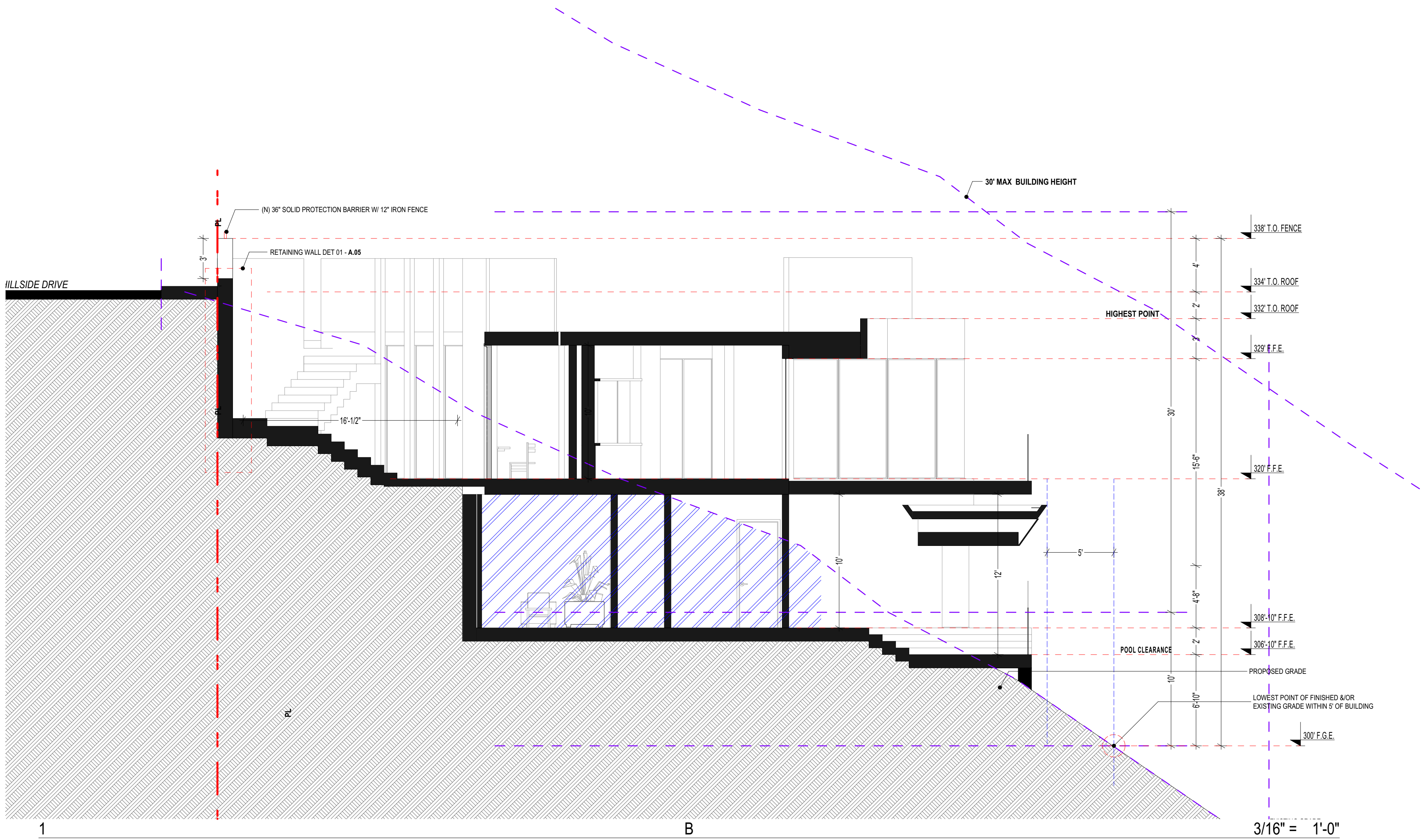
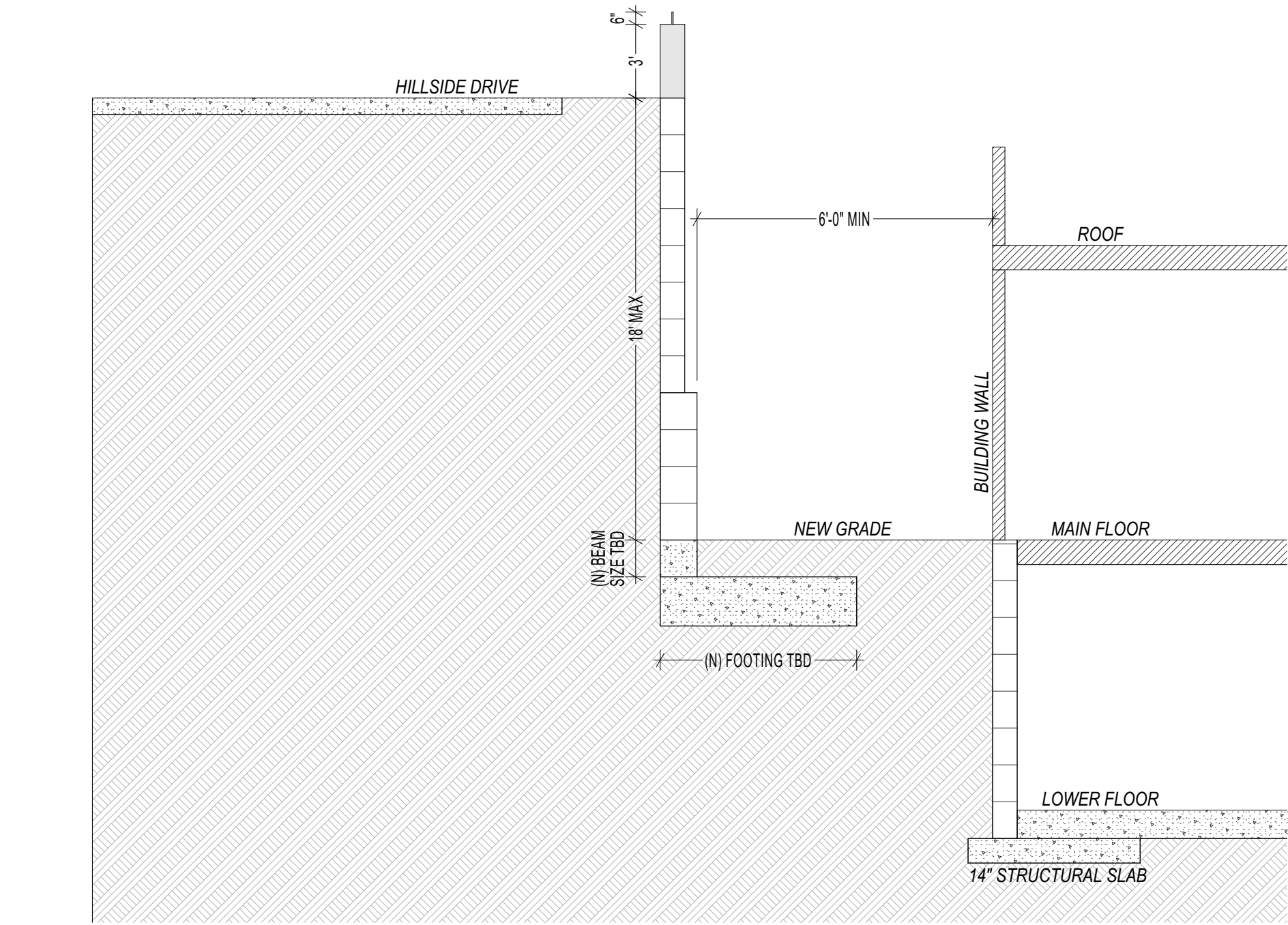
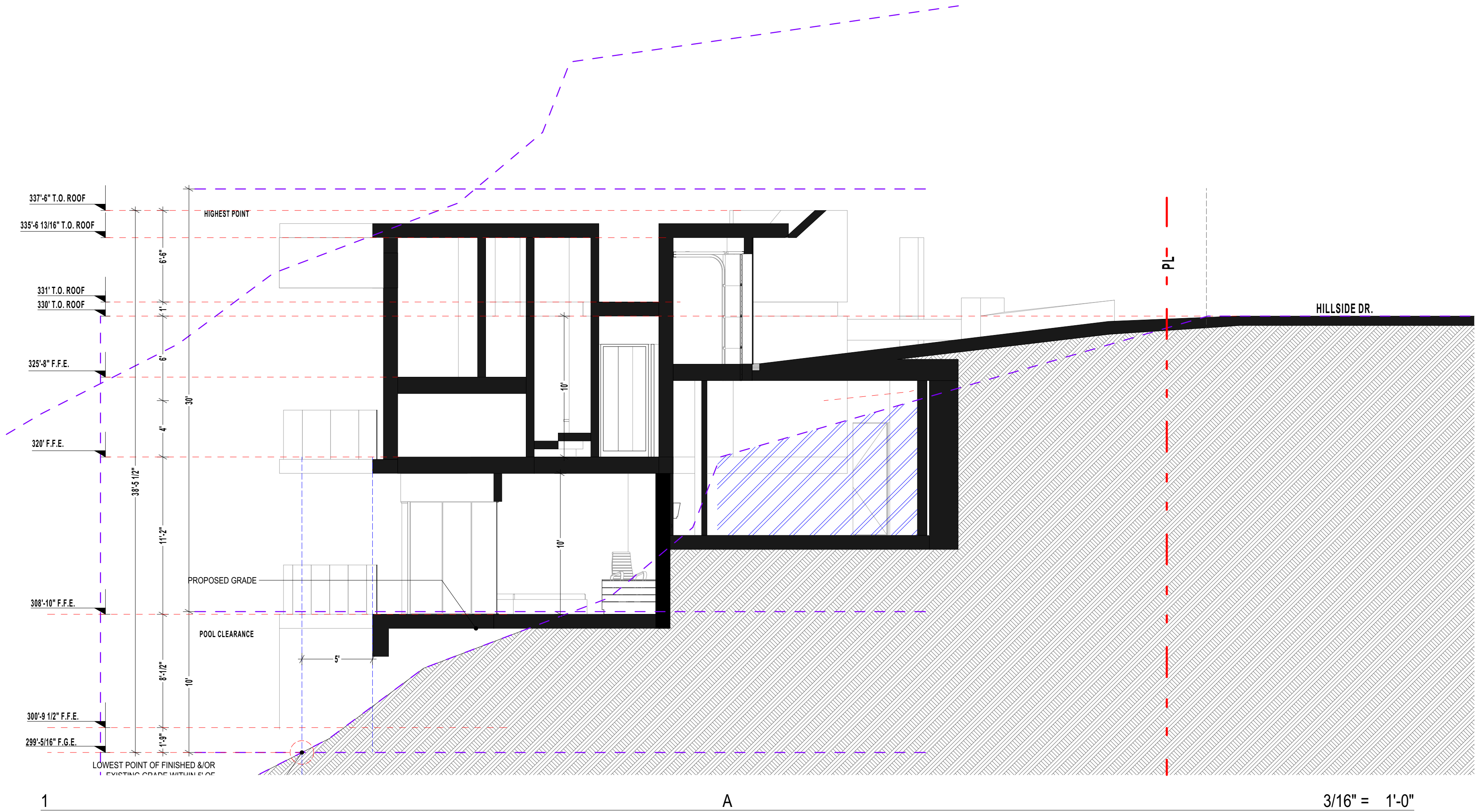
PROJECT NAME:

ADDRESS:

DATE.
12.15.2020
CITY SUBMITTAL.
SAN DIEGO
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DRAW.
E.M.
JOB NO.

SHEET TITLE:
ROOF PLAN

A.04



NORTH
2nd review - 5.19.2020
3rd review - 5.28.2020
4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

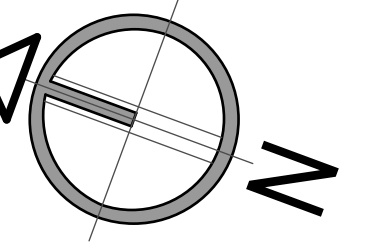
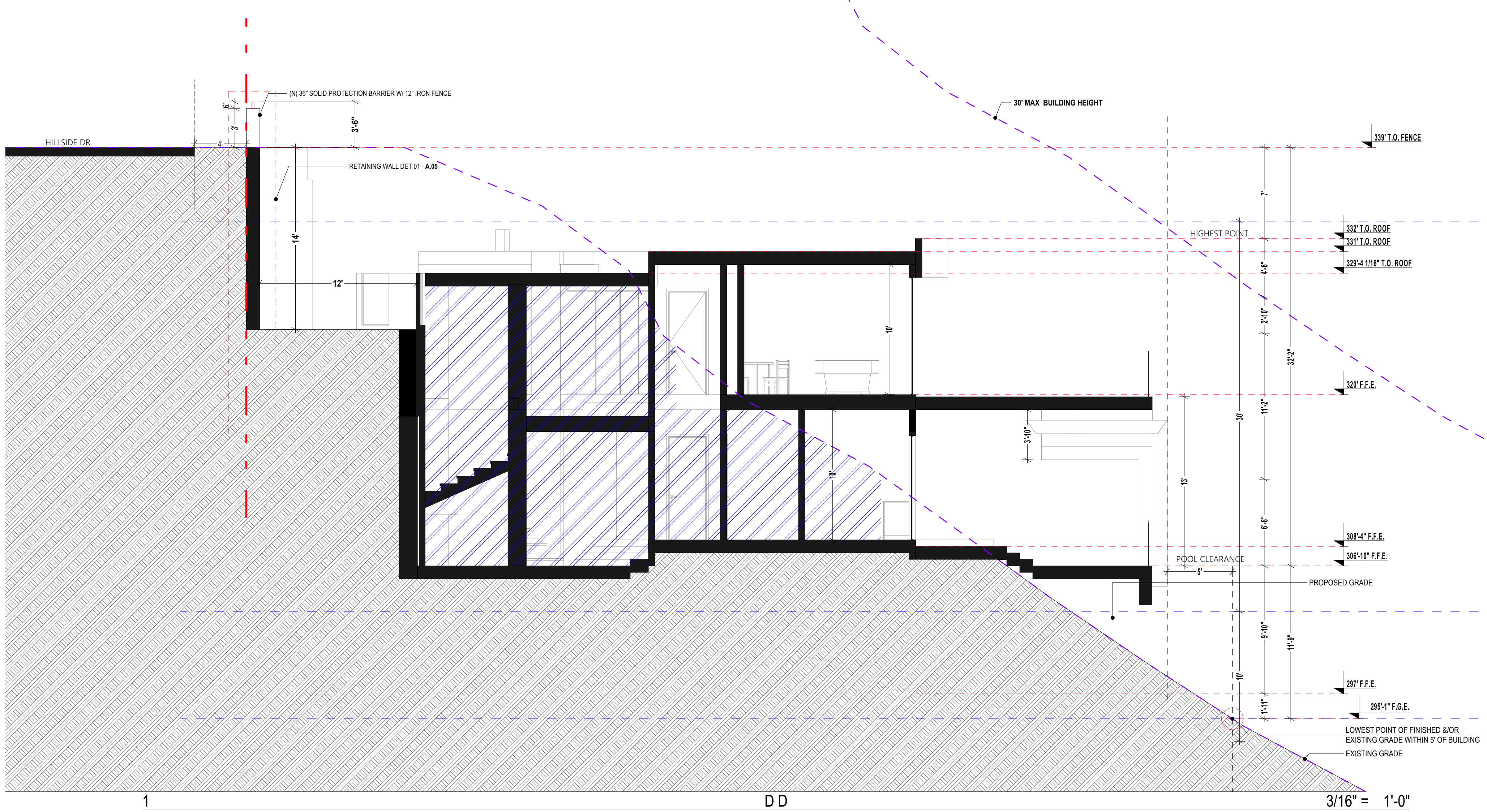
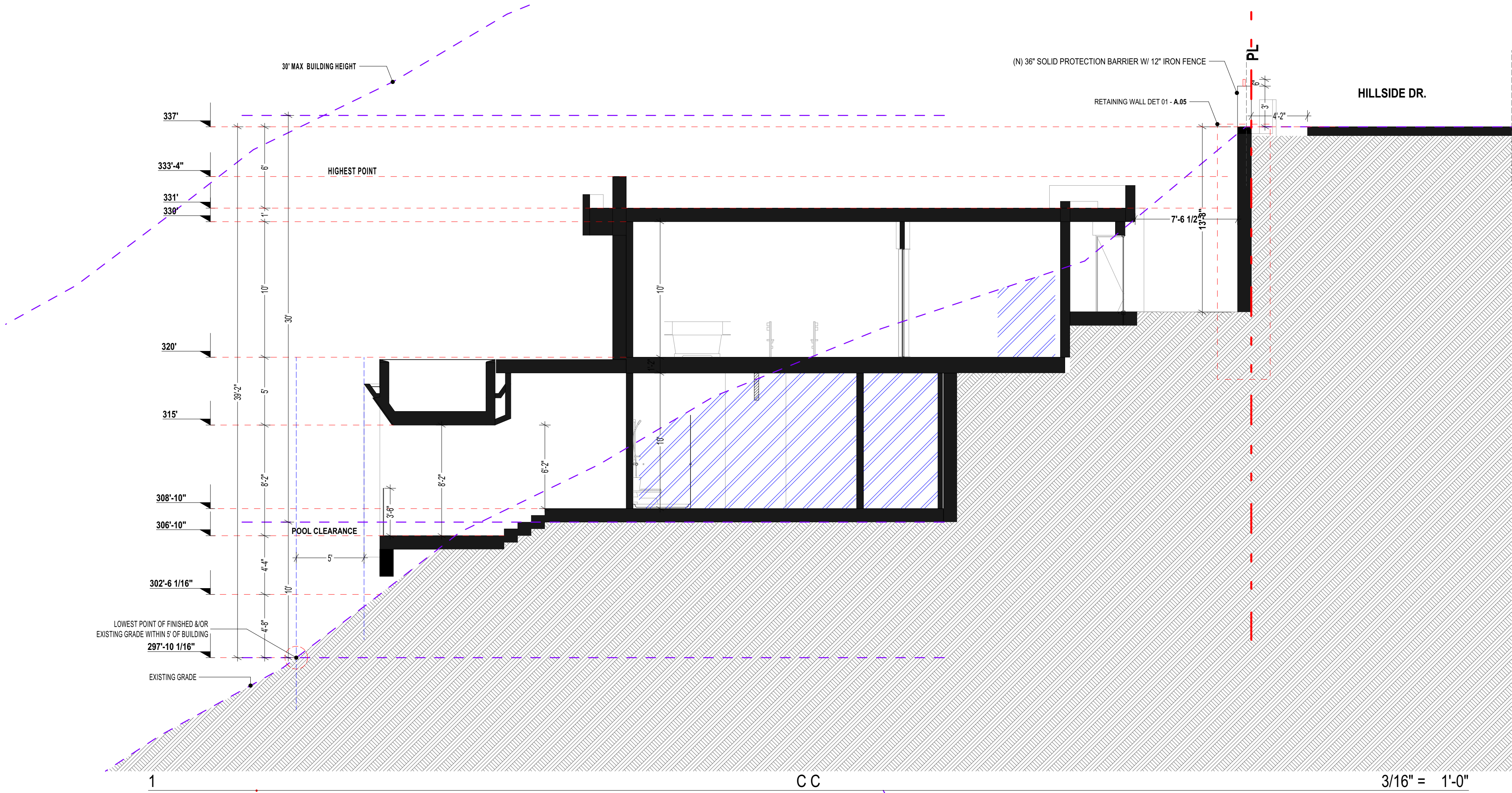
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E.M.
JOB NO.

SHEET TITLE:
**SECTIONS A-
B**

A.05



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

DATE:

12.15.2020

CITY SUBMITTAL.

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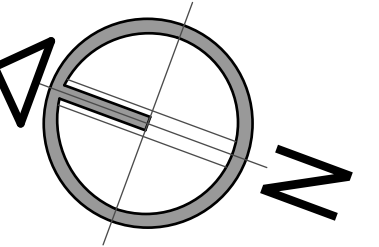
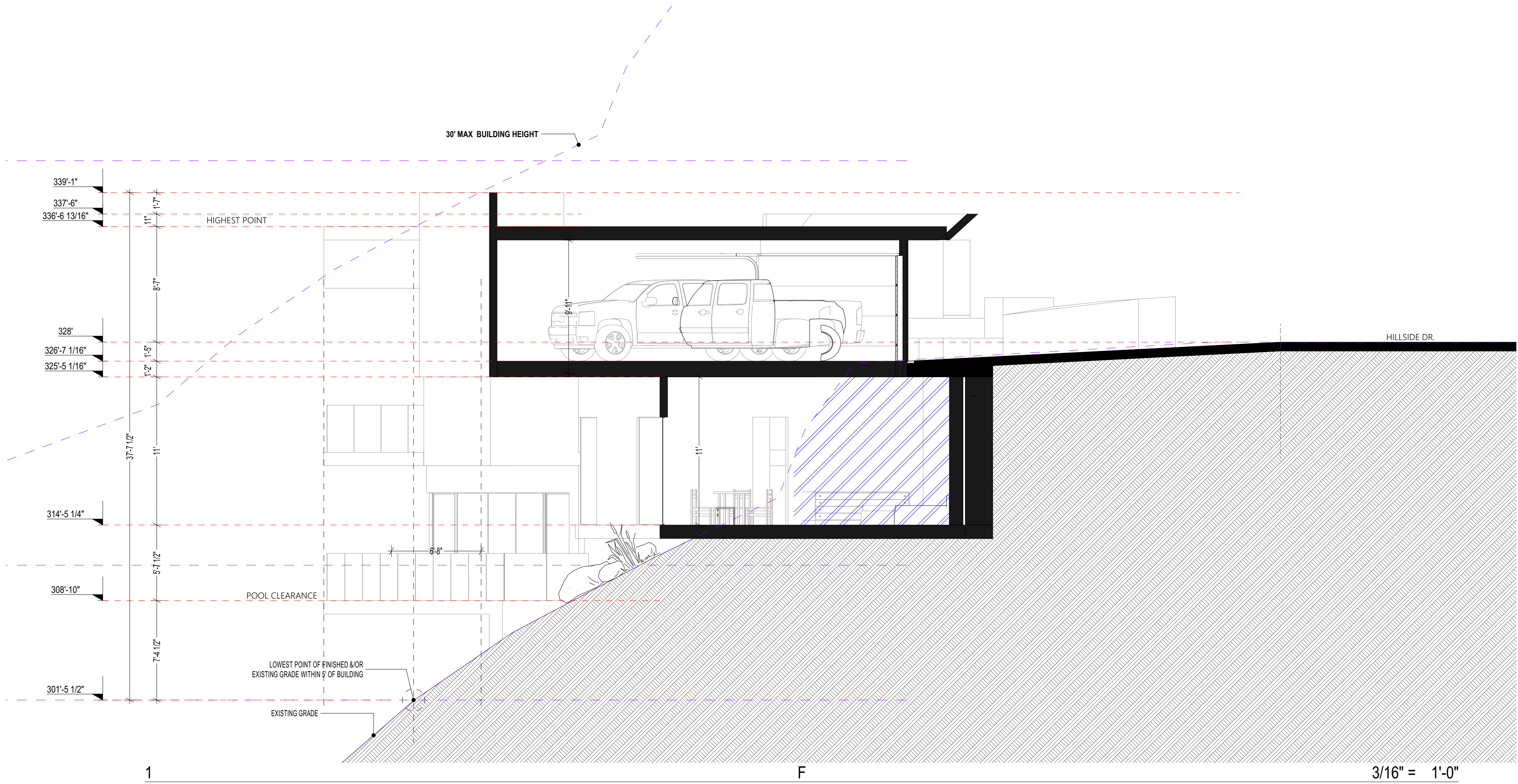
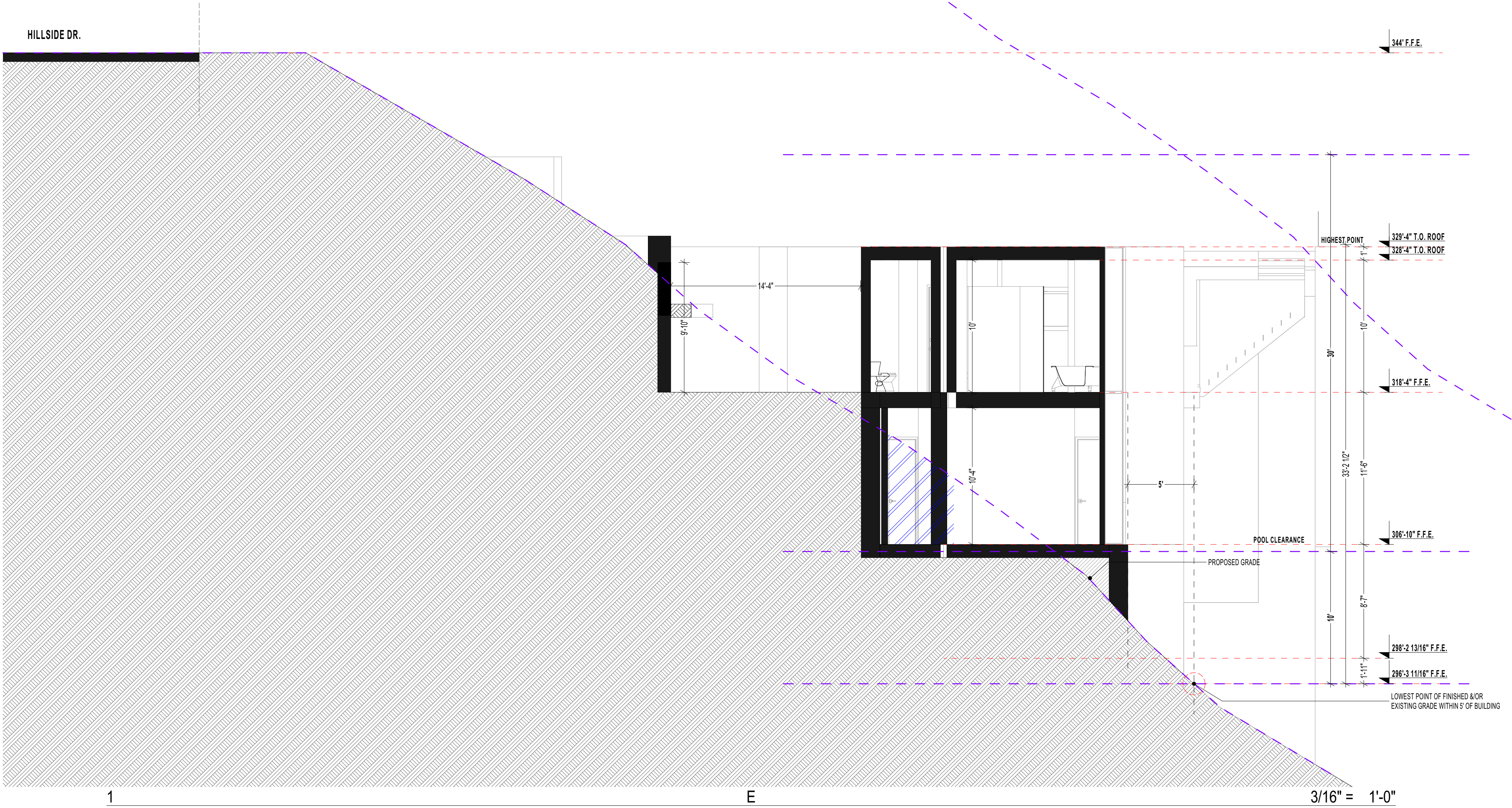
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JOB NO.

SHEET TITLE:

SECTIONS C-D

A.05.1



NORTH

2nd review - 5.19.2020
3rd review - 5.28.2020
4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

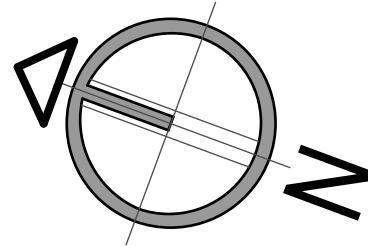
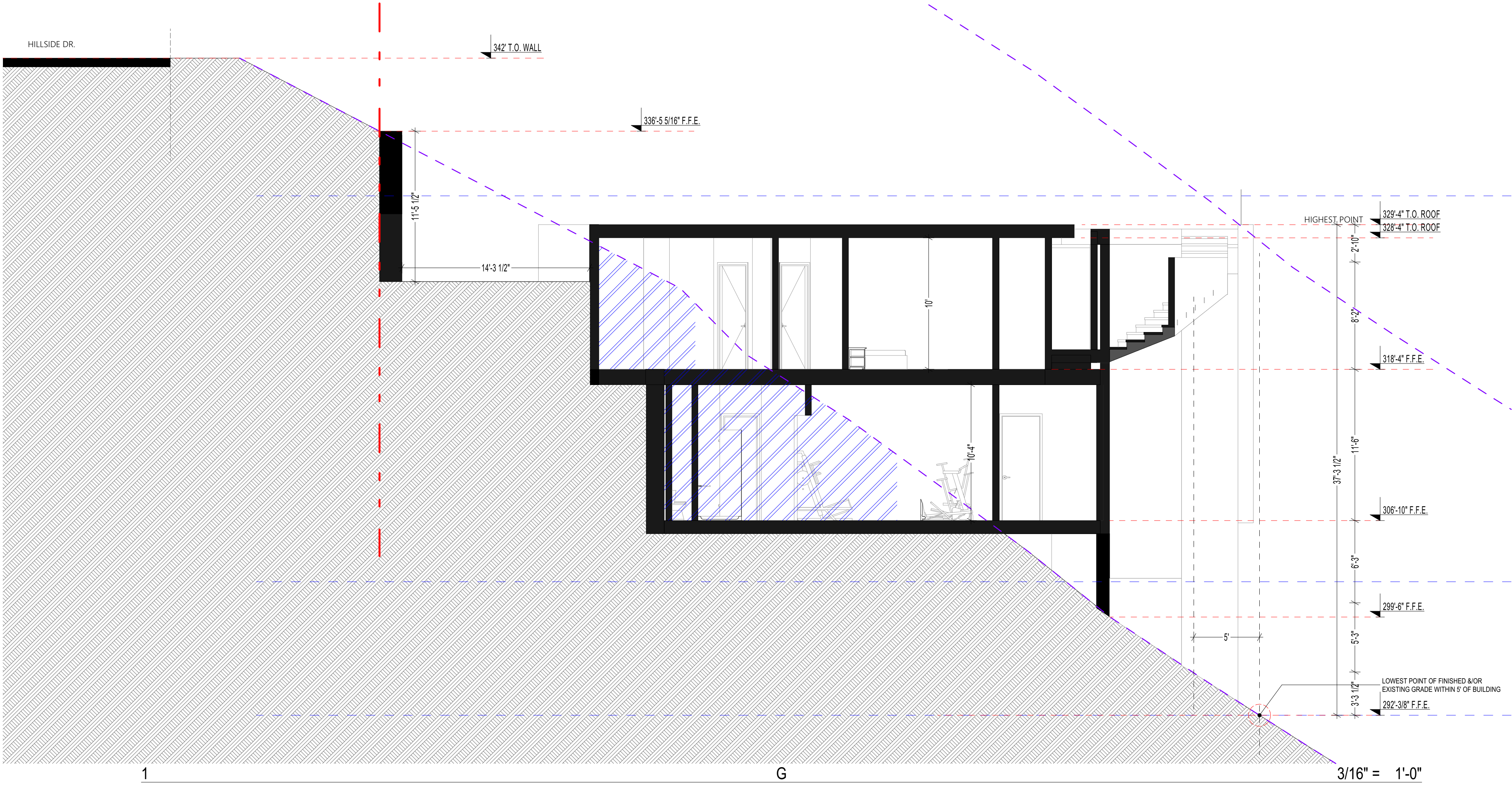
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DATE.
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SCALE.
INDICATE IN DRAW
DRAW.
E.M.
JOB NO.

SHEET TITLE:
SECTIONS E-F

A.05.2



NORTH

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4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

DATE.

12.15.2020

CITY SUBMITTAL.

SAN DIEGO

SCALE.

INDICATE IN DRAW

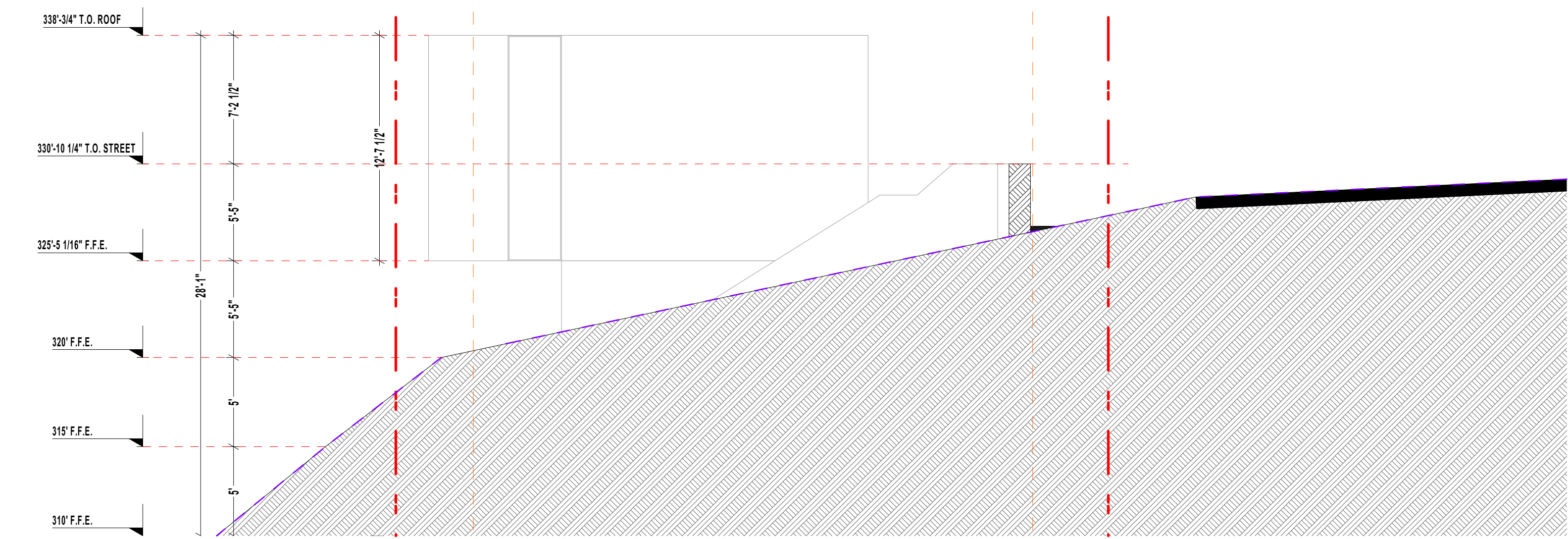
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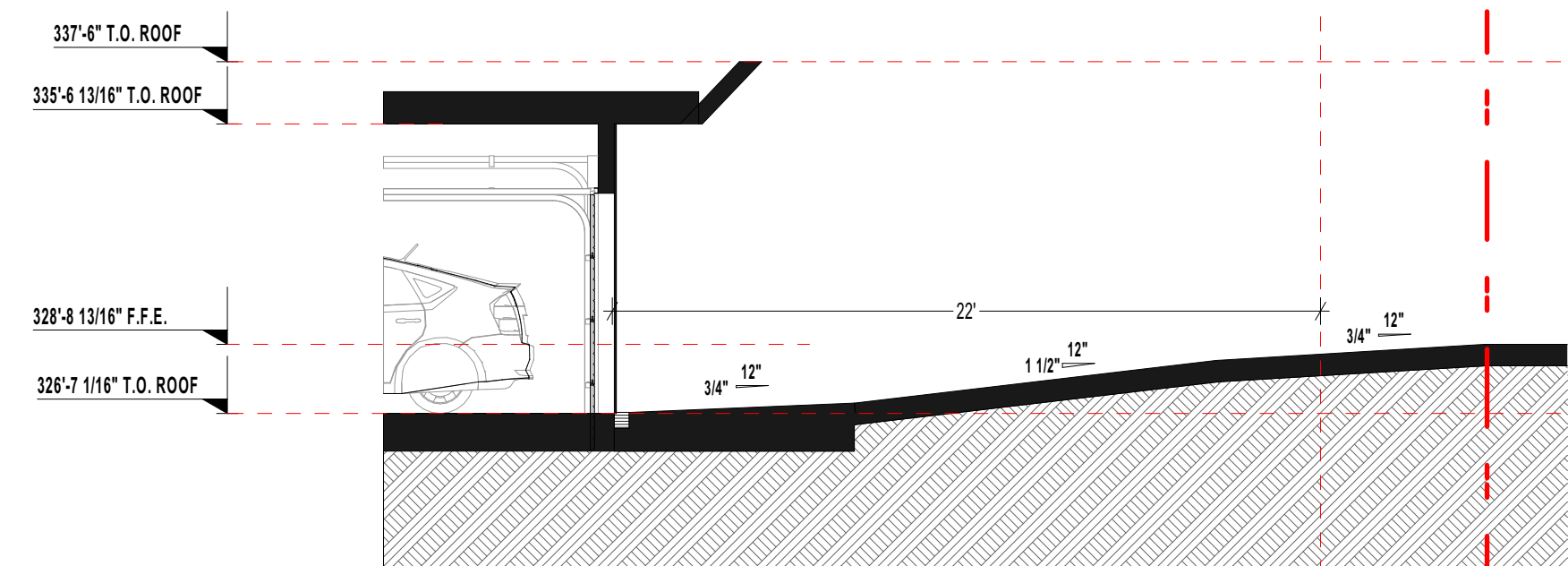
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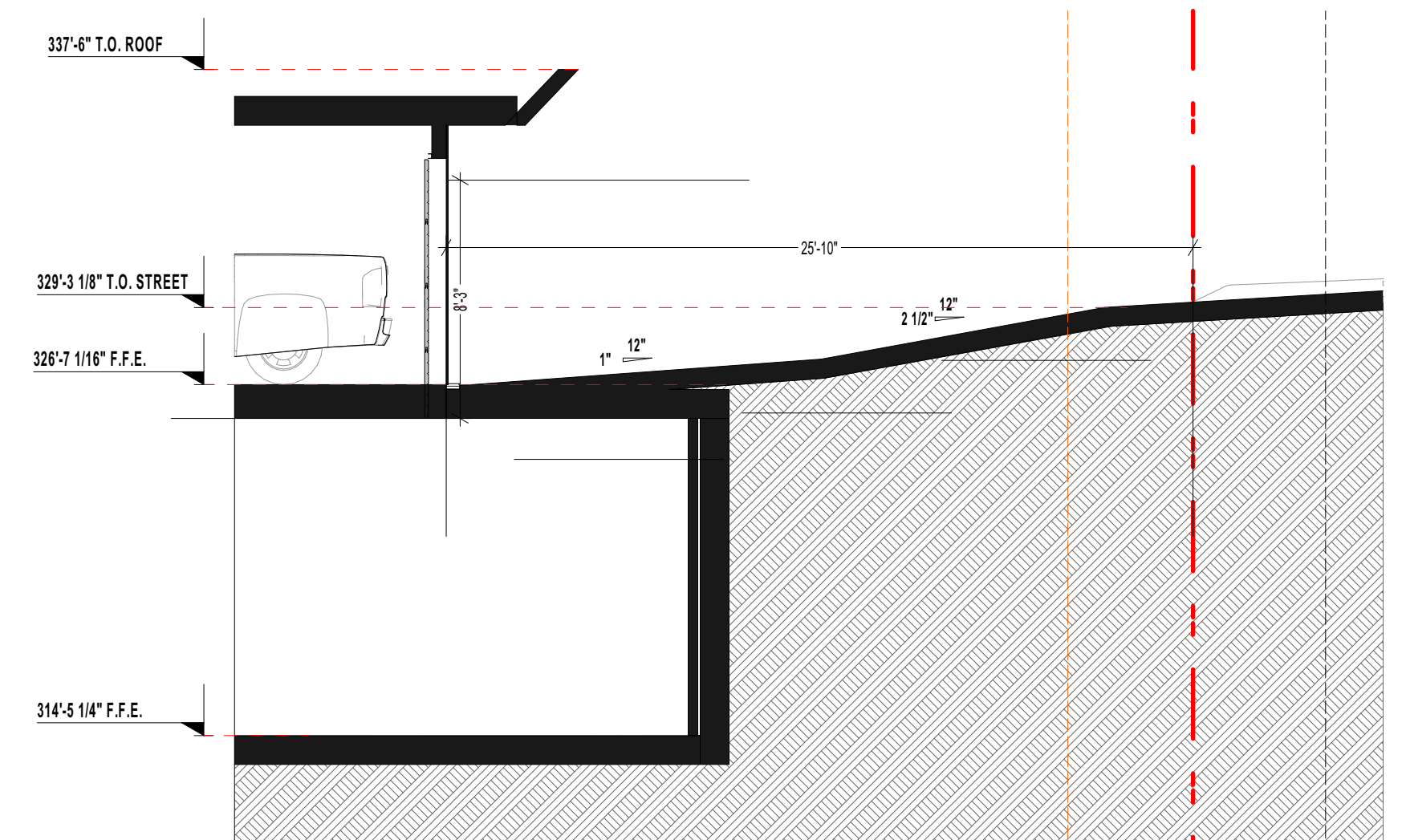
SECTIONS G



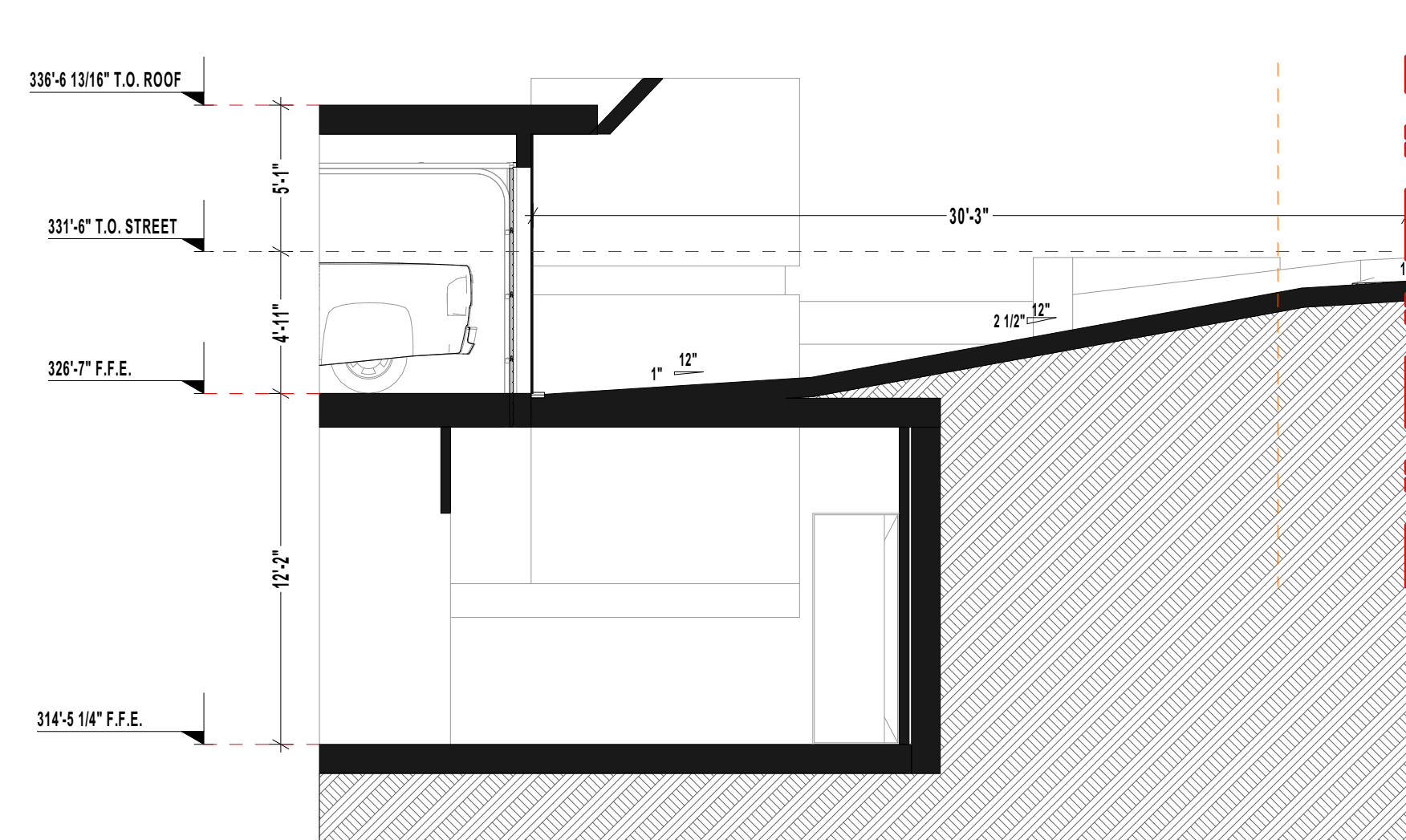
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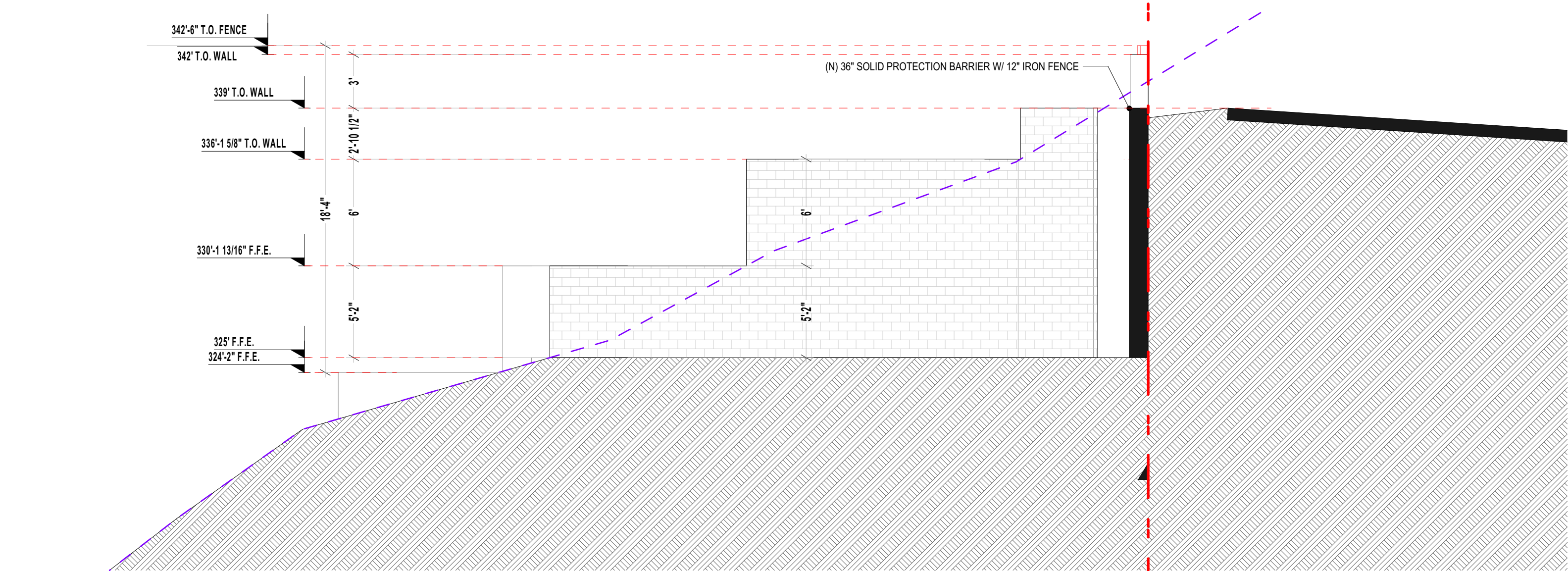
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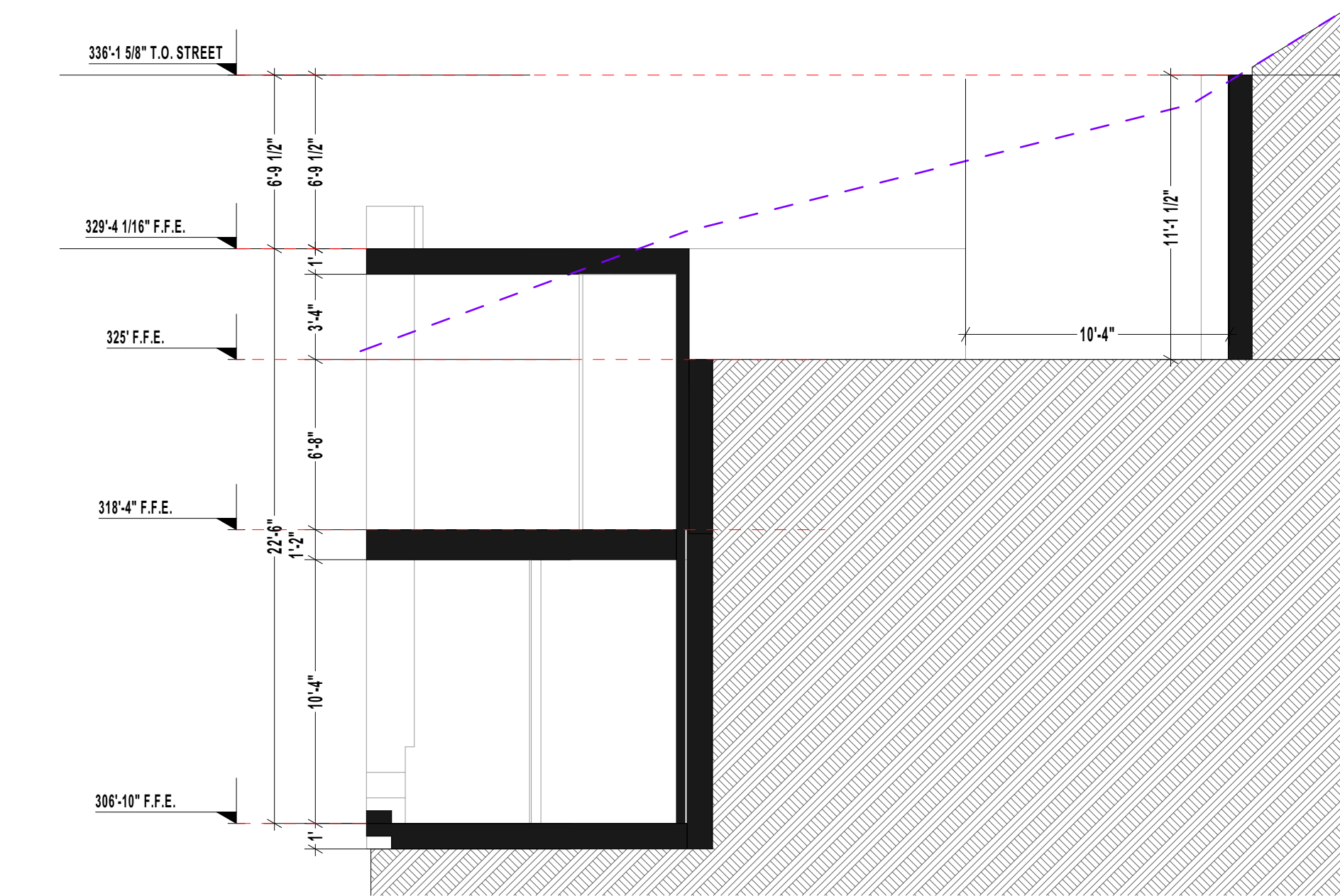
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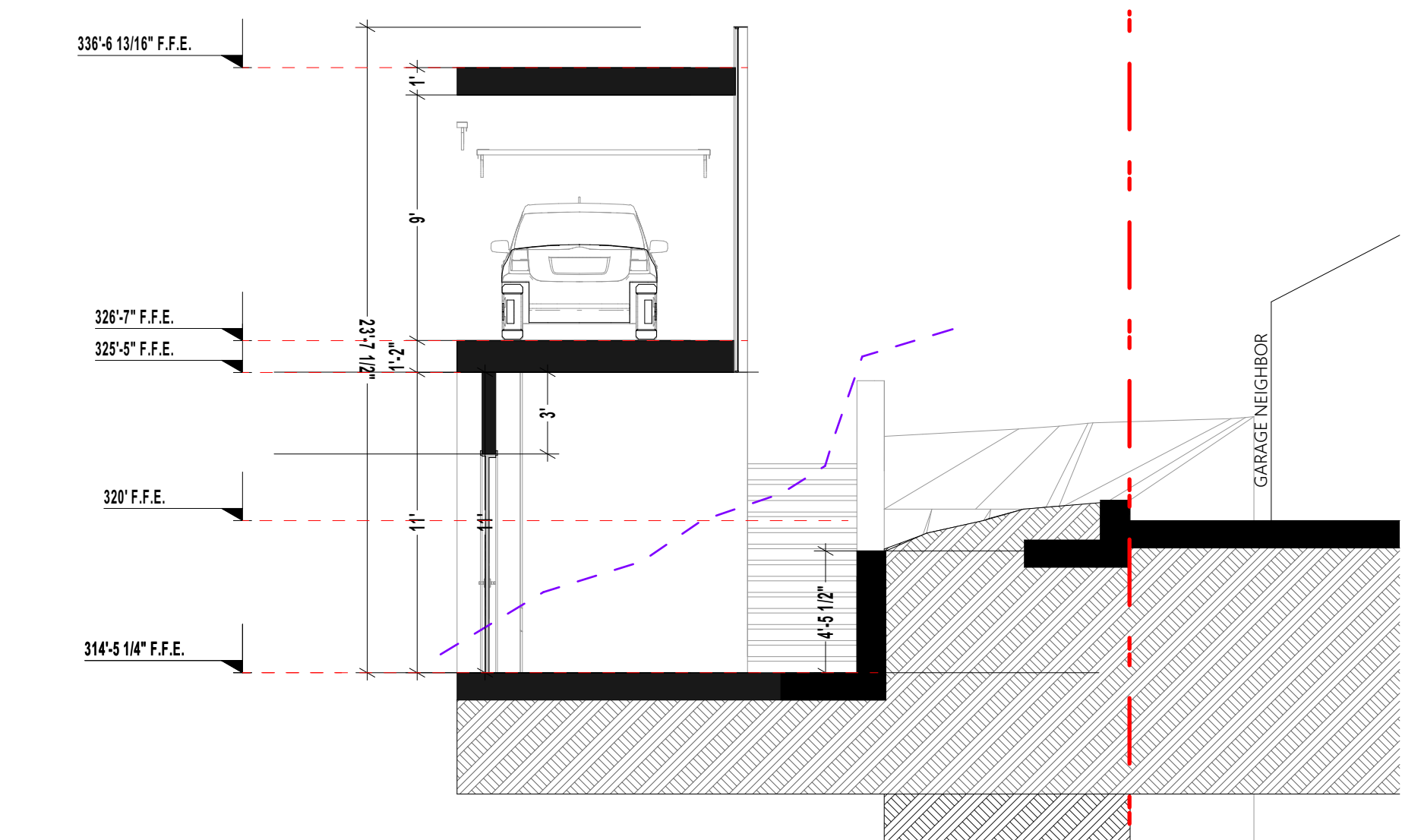
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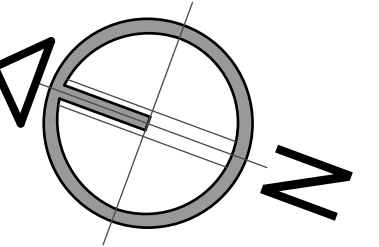
1 S7 3/16" = 1'-0"



1 S6 3/16" = 1'-0"



1 S2 - 3/16" = 1'-0"



NORTH

2nd review - 5.19.2020
3rd review - 5.28.2020
4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

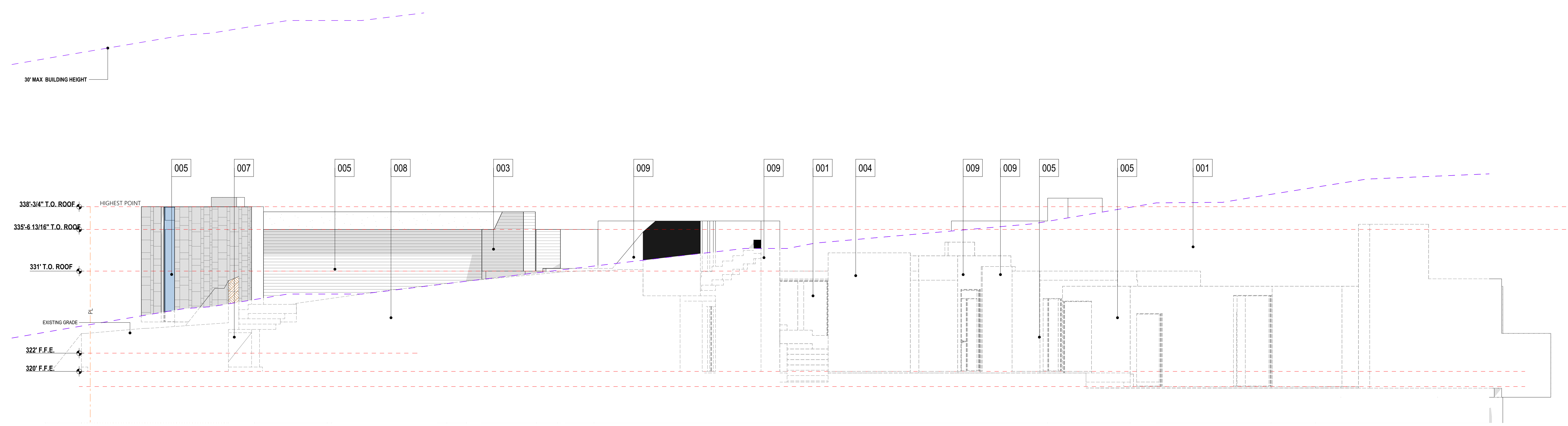
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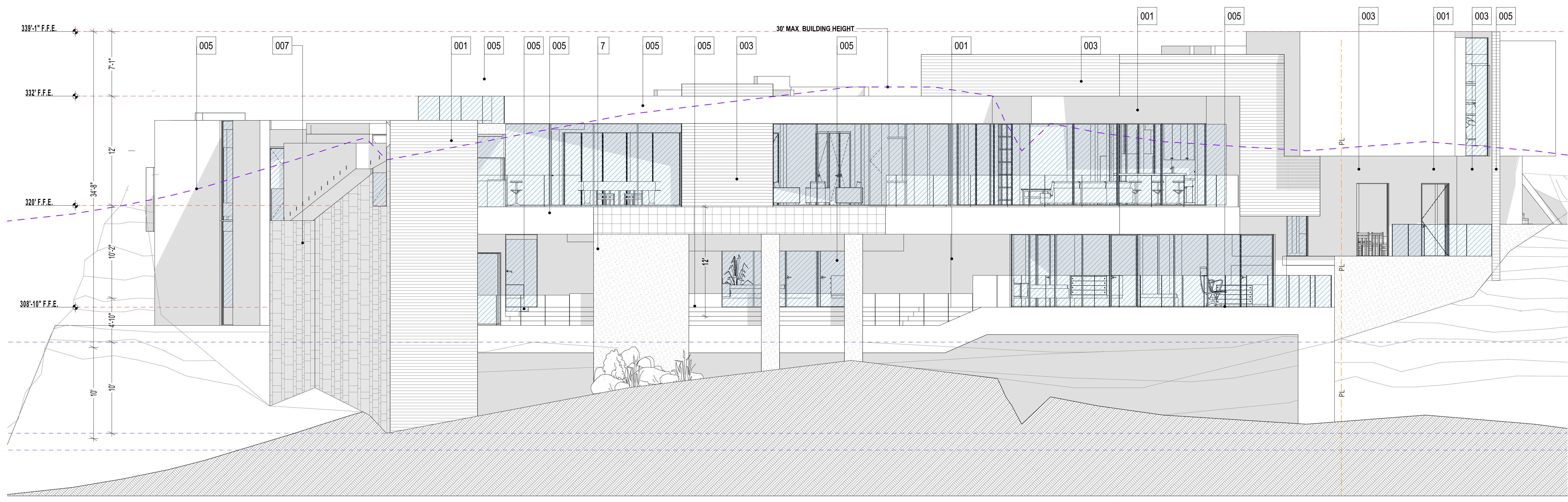
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SAN DIEGO
SCALE.
INDICATE IN DRAW
DRAW.
E.M.
JOB NO.

SHEET TITLE:
SECTIONS S1
- S7

A.05.4



1 01 SOUTH 3/16" = 1'-0"



1 02 NORTH 3/16" = 1'-0"

GENERAL NOTES	KEY NOTES
1. REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N. 2. METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N. 3. INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19. 4. WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED. 5. PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. 12" HIGH NUMERALS WITH 1/12" WIDE STROKE WIDTH U.O.N.	001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD 002. STANDING SEAM ROOF 003. TREATED WOOD 004. FLAT STONE CLADDING 005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD 006. GLASS RAILING 007. CONCRETE CLADDING TEXTURE TBD 008. GARAGE DOOR WITH TREATED WOOD COLOR TBD 009. WHITE GRANITE

CDGI
CONCEPTO
T. 619.858.2345 F. 619.858.2344
P.O.Box. 84180 San Diego Ca. 92138
office@cdgius.com www.cdgius.com

NORTH
2nd review - 5.19.2020
3rd review - 5.28.2020
4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

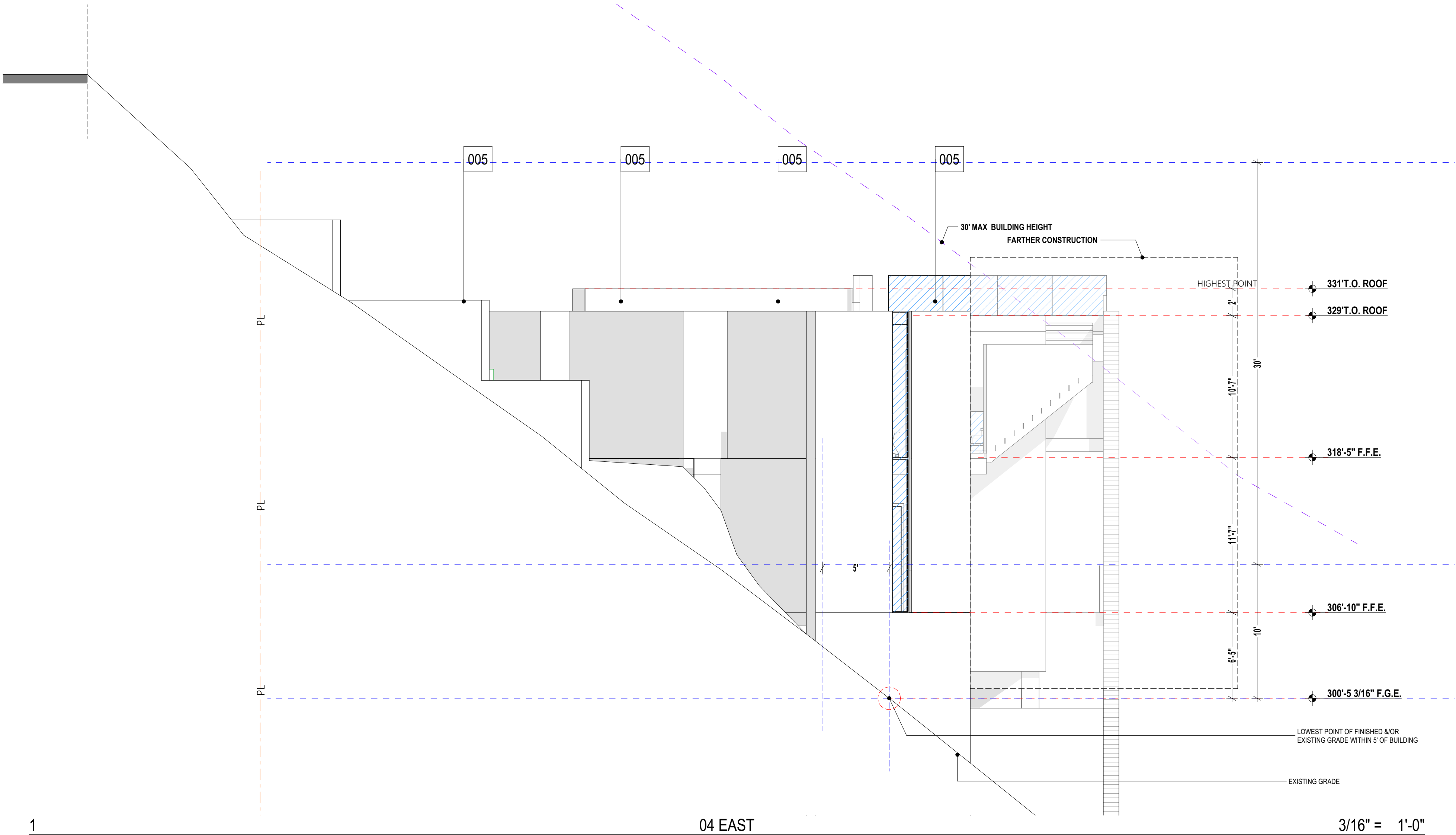
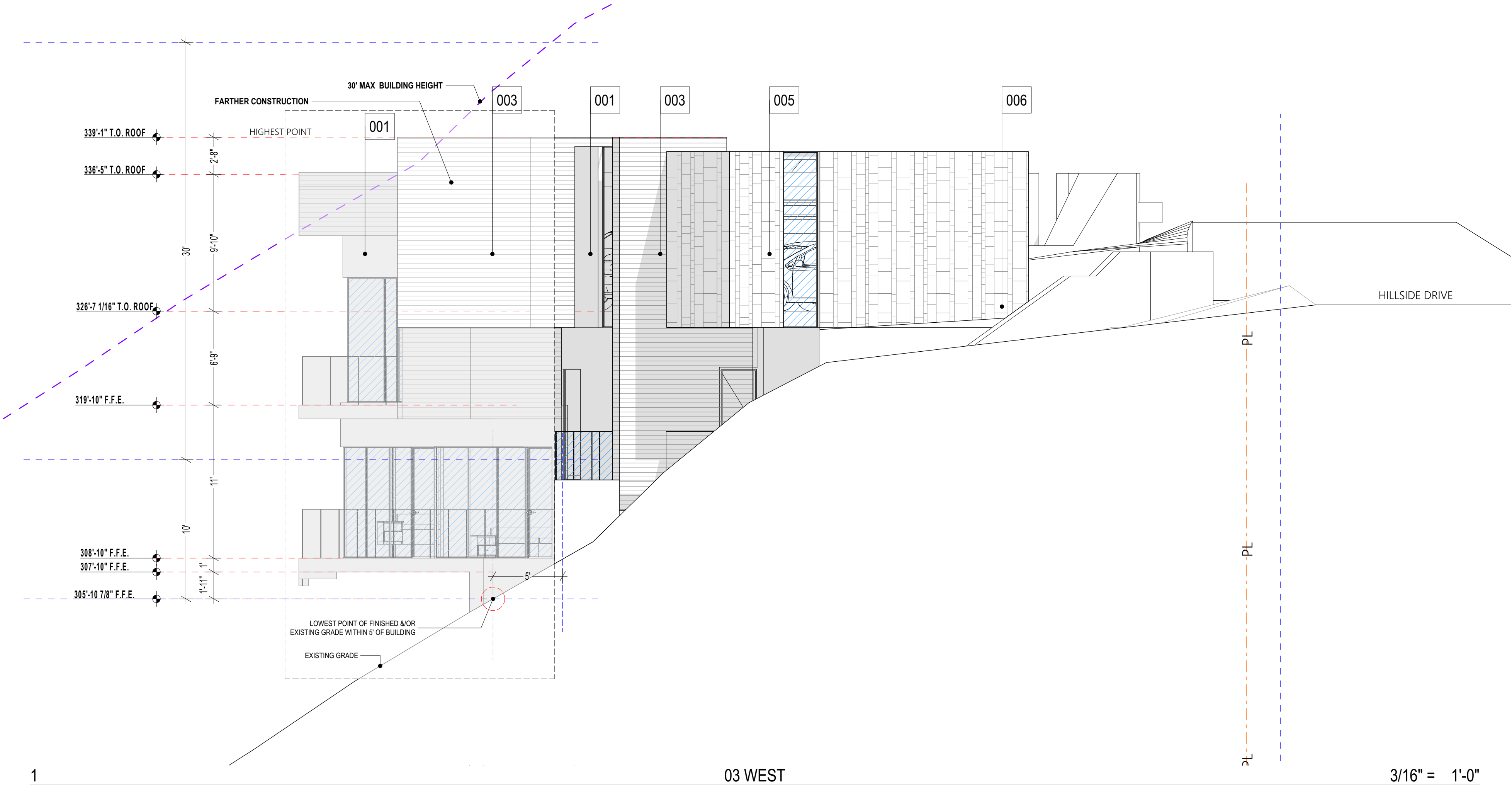
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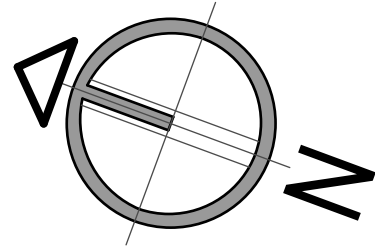
DATE.
12.15.2020
CITY SUBMITTAL.
SAN DIEGO
SCALE.
INDICATE IN DRAW
DRAW.
E.M.
JOB NO.

SHEET TITLE:
ELEVATIONS

A.06



GENERAL NOTES	KEY NOTES
<div>1. REFERENCE POINTS: VERTICAL DIMENSIONS ARE TO TOP OF JOINTS AND REVEALS, U.O.N.</div> <div>2. METAL FINISHES: ALL EXTERIOR STEEL AND MISCELLANEOUS METALS SHALL BE HOT DIP GALVANIZED AND PAINTED, U.O.N.</div> <div>3. INSULATION: PROVIDE THE FOLLOWING R-VALUES AT EXTERIOR WALLS AND ROOF CONSTRUCTION SURROUNDING CONDITIONED SPACES IN THE BUILDING ENVELOPE U.O.N., ROOFS: R-30, WALLS: R-19, FLOOR OVERHANGS: R-19.</div> <div>4. WEATHER-TIGHTNESS: ALL EXTERIOR JOINTS AND OPENINGS IN THE BUILDING ENVELOPE THAT ARE OBSERVABLE SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED, OR OTHERWISE SEALED.</div> <div>5. PREMISES IDENTIFICATION: ADDRESS NUMERALS SHALL BE PLACED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 12" HIGH NUMERALS WITH 1 1/2" WIDE STROKE WIDTH U.O.N.</div>	<div>001. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: DARK GRAY TBD</div> <div>002. STANDING SEAM ROOF</div> <div>003. TREATED WOOD</div> <div>004. FLAT STONE CLADDING</div> <div>005. EXTERIOR STUCCO - MICRO SAND FINISH, COLOR: WHITE TBD</div> <div>006. GLASS RAILING</div> <div>007. CONCRETE CLADDING TEXTURE TBD</div> <div>008. GARAGE DOOR WITH TREATED WOOD COLOR TBD</div> <div>009. WHITE GRANITE</div>



NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

PROJECT NAME:

ADDRESS:

DATE.

12.15.2020

CITY SUBMITTAL.

SAN DIEGO

SCALE.

INDICATE IN DRAW

DRAW.

E.M.

JOB NO.

SHEET TITLE:

ELEVATIONS

A.06.1

[illegible]

I HEREBY DECLARE THAT I AM THE LANDSCAPE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTIONS 5615 THROUGH 5683 OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF THE PROJECT PLANS AND SPECIFICATIONS BY THE CITY OF MORENO VALLEY IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS LANDSCAPE ARCHITECT OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL ADEQUACY OF THE DESIGN OF THESE IMPROVEMENTS. THESE PLANS AND SPECIFICATIONS HAVE BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH ALL SPECIAL CONDITIONS OF APPROVAL RELATED TO PROJECT LANDSCAPE IMPROVEMENTS, INCLUDING THE APPROVED LANDSCAPE CONCEPT PLAN.

LANDSCAPE ARCHITECT'S NAME: SEAN R. CLARKE

ADDRESS: 110 COPPERWOOD WAY #, OCEANSIDE, CA 92058

TELEPHONE NO.: 760-400-1040

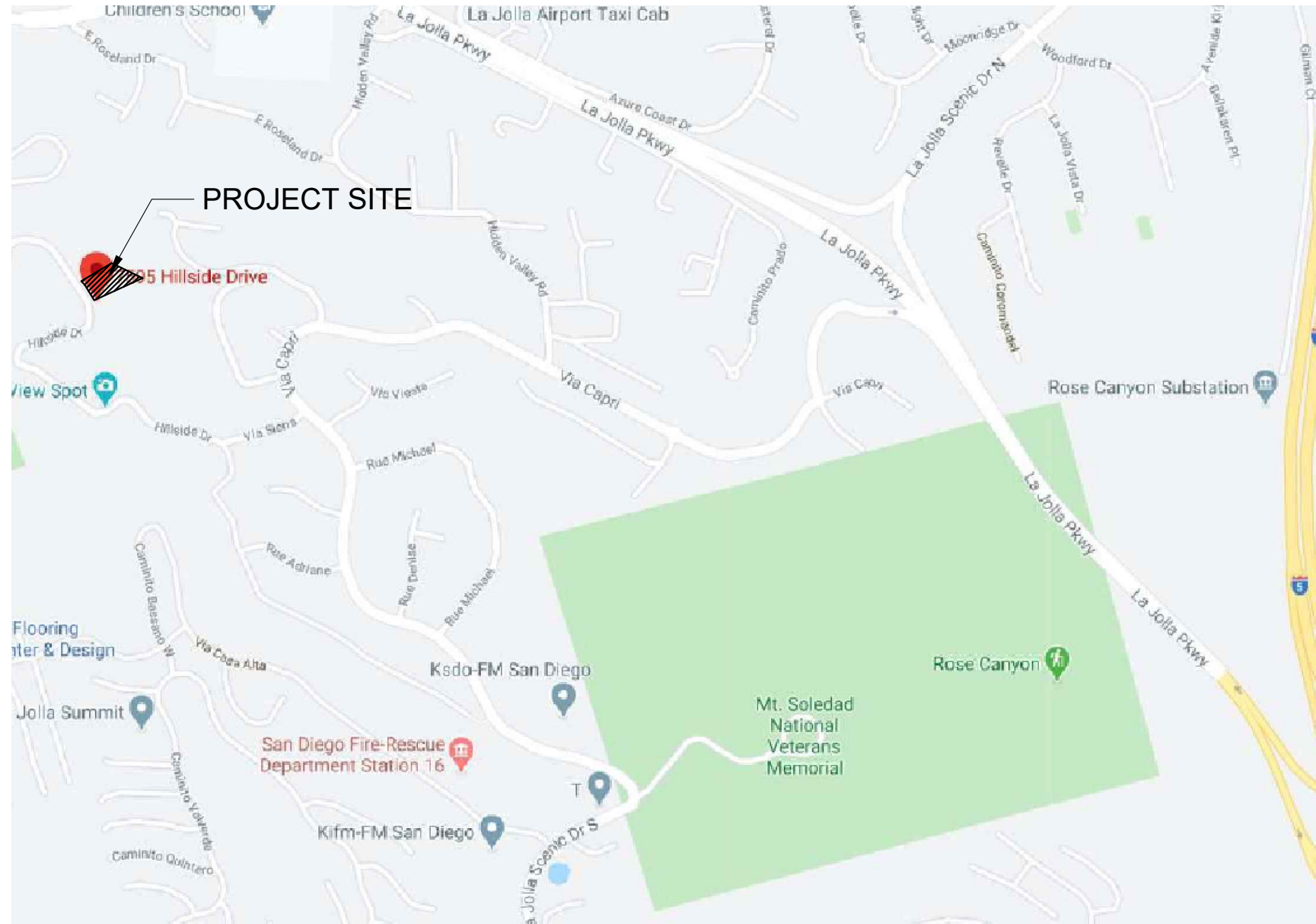
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THESE LOCATIONS ARE APPROXIMATE AND SHALL BE CONFIRMED IN FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT ANY UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

7595 HILLSIDE DRIVE
SAN DIEGO, CA

CASS KOOKLANI
MMK MANAGEMENT GROUP, LLC
P.O. BOX 1555
LA JOLLA, CA 92038

C.D.G.I.
P.O. BOX 84180
SAN DIEGO, CA 92138
619-858-2345

S.R. CLARKE LANDSCAPE ARCHITECT AND DEVELOPMENT
110 COPPERWOOD WAY SUITE #P
OCEANSIDE, CA 92058
760-716-3100



VICINITY MAP 
N.T.S.

SITE MAP



 $1'' = 30$

SHEET INDEX

SHEET NO.	DESCRIPTION
L-1.....	COVER SHEET
L-2.....	IRRIGATION SPECS.
L-3.....	PLANTING SPECS
L-4.....	IRRIGATION PLAN
L-5.....	IRRIGATION DETAILS
L-6.....	PLANTING PLAN
L-7.....	PLANTING DETAILS
L-8.....	BRUSH MANAGEMENT PLAN

NO WORK SHALL BE DONE ON THIS
SITE UNTIL BELOW AGENCY IS NOTIFIED
OF INTENTION TO GRADE OR EXCAVATE.
TWO WORKING DAYS BEFORE YOU DIG



Call: TOLL FREE
1-800
227-2600
WWW.CALL811.COM

Underground Service Alert

THE LANDSCAPE/OR IMPROVEMENT PLANS ARE APPROVED FOR A PERIOD OF TWO (2) YEARS FROM THE DATE SIGNED BY THE CITY ENGINEER. AFTER THE TWO (2) YEAR PERIOD HAS LAPSED, THE ENGINEER OF RECORD MAY BE REQUIRED TO SUBMIT AND PROCESS FOR CITY ENGINEER APPROVAL, UPDATED PLANS THAT COMPLY WITH THE MOST CURRENT CITY STANDARDS, PRACTICES AND POLICIES.



110 COPPERWOOD WAY #P
OCEANSIDE CA 92058
760-716-3100
CA. LLA#5299, C-27#944955

PRIVATE CONTRACT <h1 style="margin: 0;">PLANTING SPECIFICATIONS</h1> <h2 style="margin: 10px 0 0 0;">CASS RESIDENCE</h2> <p style="margin: 0;">7595 HILLSIDE DRIVE SAN DIEGO, CA 92037-3943</p>					
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET <u>11</u> OF 8 SHEETS					PROJECT NO. _____
_____ FOR CITY ENGINEER _____ DATE _____					V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED	
AS-BUILTS					NAD83 COORDINATES
					LAMBERT COORDINATES
CONTRACTOR _____		DATE STARTED _____			
INSPECTOR _____		DATE COMPLETED _____			

PLANT LEGEND					
STREET TREES					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	WU-COLS
M	MELALEUCA QUINQUENERVIA	CAJPUT TREE	24" BOX	2	LOW
KP	ARCHONTOPHOENIX CUNNINGH.	KING PALM	24" BOX	1	MOD.
TREES					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
K	ARCHONTOPHOENIX CUNNINGH.	KING PALM	14" B.T.H.	1	MOD.
P	PHOENIX ROEBELENI	PYGMY DATE PALM	4" B.T.H.	4	MOD.
PP	PHOENIX ROEBELENI	PYGMY DATE PALM DOUBLE TRUNK	5" B.T.H.	2	MOD.
SHRUBS					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
A	AGAVE 'SILVER LINING'	CEDROS ISLAND AGAVE	1 GAL.	16	LOW
R	KNIPHOFIA UVARIA	RED HOT POKER	1 GAL.	65	LOW
C	CALANDRINIA 'SHINNING PINK'	ROCK PURSLANE	5 GAL.	22	LOW
J	JUNCUS PATENS	CALIFORNIA GRAY RUSH	5 GAL.	16	MOD.
LB	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.	16	LOW
GROUNDCOVER					
SYM	BOTANICAL NAME	COMMON NAME	SIZE	SQFT	
	4-8" BAJA CRESTA RUBBLE (BY SOUTHWEST BOULDER).			730	LOW
	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL. 12" O.C.	50	MOD.
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	1 GAL. 30" O.C.	50	LOW
MISC.					
SYM	DESCRIPTION				
	BRUSH MANAGEMENT ZONE 1				
	BRUSH MANAGEMENT ZONE 2				

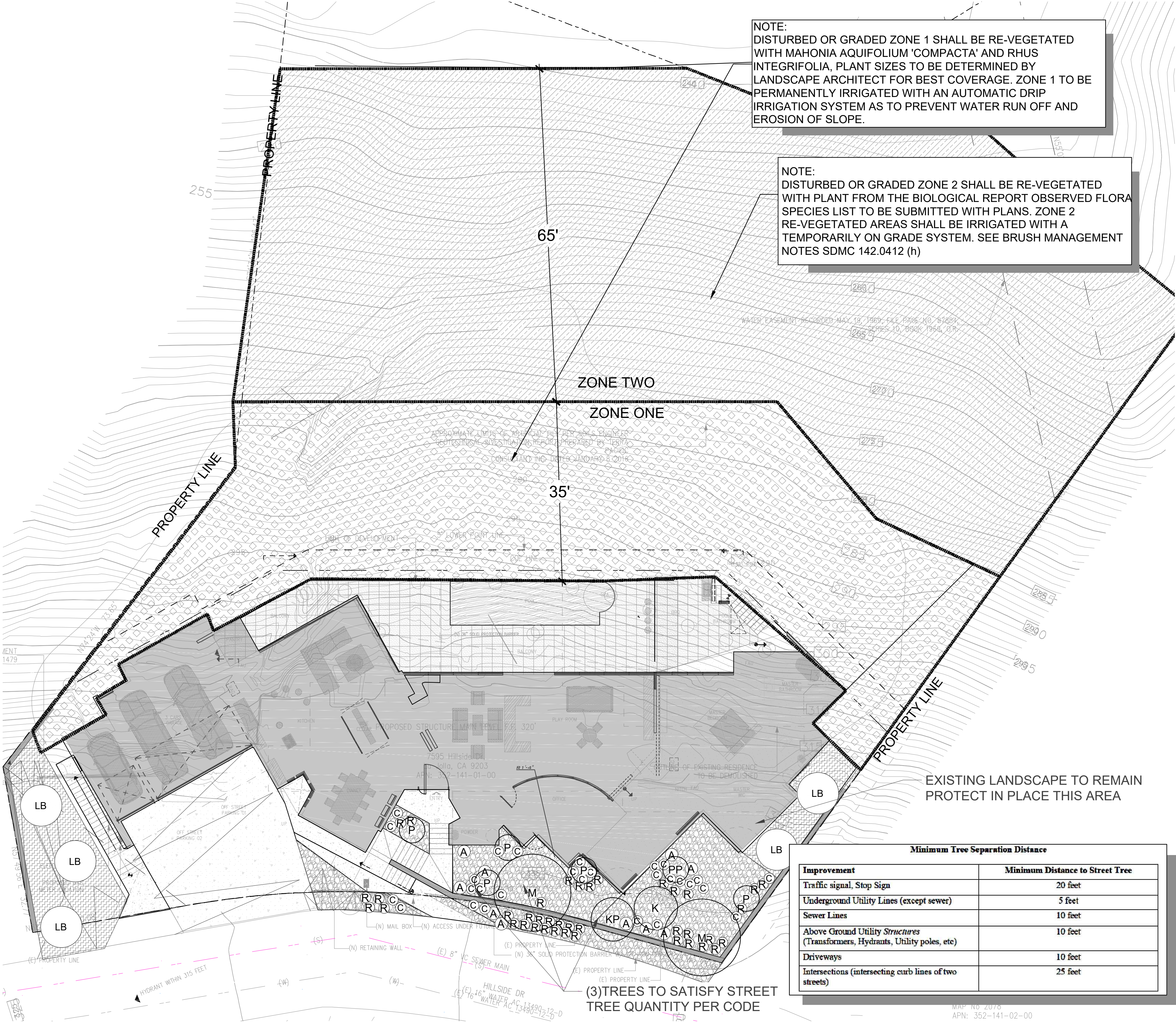
LANDSCAPE NOTES:

- ALL LANDSCAPE AND IRRIGATION SHALL BE IN CONFORMANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS MANUAL ORDINANCE AND REQUIREMENTS OF THE JOLLA SHORES PLANNED DISTRICT ORDINANCE.
- THIS PROJECTS ZONE 1 SHALL BE IRRIGATED BY A PERMANENT AUTOMATED SYSTEM WITH ALL VALVES AND PIPING INSTALLED BELOW GRADE. ZONE 2 TO USE ABOVE GROUND TEMPORARY IRRIGATION IN DISTURBED AND RE-VEGATED AREAS.
- THE SYSTEM WILL BE PROGRAMMED AND OPERATED TO MAXIMIZE THE EFFICIENCY OF THE SYSTEM AND LIMIT THE WATER CONSUMPTION. THE SYSTEM WILL BE DESIGNED TO ACHIEVE 100% COVERAGE.
- ALL PLANTING AREAS ARE TO RECEIVE A 3" LAYER OF ECO-MULCH.
- THE PROPERTY OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT LANDSCAPE AND IRRIGATION SYSTEMS.
- THIS PROJECT IS LOCATED IN A VERY HIGH FIRE HAZARD ZONE THIS PROJECT PROPOSES TO PROVIDE A 35' WIDE ZONE 1, AND FROM ZONE 1 TO PROPERTY LINE OR 65' ZONE 2.

ZONE-1: EXISTING LANDSCAPE SHALL HAVE AN AVERAGE MAXIMUM MATURE HEIGHT OF 24" OR LESS, OR WILL BE MAINTAINED AT 24" OR LESS.

ZONE-2: INDIVIDUAL NON-IRRIGATED PLANT GROUPINGS OVER 18" IN HEIGHT MAY BE RETAINED, PROVIDED THEY DO NOT EXCEED 400 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 30% OF THE TOTAL ZONE-2 AREA. SHRUBS IN NEW PLANTING AREAS (IF NEEDED) SHALL HAVE AVERAGE MAXIMUM MATURE HEIGHT OF 24" OR LESS OR WILL BE MAINTAINED @ 24" OR LESS.

- REPLANTING OF EXISTING SLOPES: RE-VEGETATE ANY DISTURBED SLOPE ACCORDING TO LANDSCAPE PLAN SHEET L1.
- ALL LANDSCAPE PROVIDED TO MEET THE 30% AREA REQUIREMENTS SHALL BE INSTALLED AS REQUIRED BY THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE; ALL REQUIRED LANDSCAPE INSPECTIONS MUST BE OBTAINED PRIOR TO ISSUANCE OF THE FINAL INSPECTION.
- REFER TO THE CITY OF SAN DIEGO LDC, SECTION 142.0412 (g) & (h) FOR ADDITIONAL BRUSH MANAGEMENT REQUIREMENTS.
- NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE, NO-IRRIGATED AREAS ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
- GRADES / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDROSEEDING TO PREVENT EROSION, IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITH 30 DAYS OF GRADING. HYDROSEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
- MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) 10 FEET
INTERSECTION (INTERSECTING CURB LINES OF TO STREET) -25 FEET
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED IN ZONE 1, ZONE 2 TO BE PERMANENTLY REVEGETATED AND A TEMPORARY IRRIGATION SYSTEM SHALL BE INSATLLED, AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARD IN THE SAN DEIGO MUNICIPAL CODE, SECTION 142.0411. ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 90 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCES.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREAS SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- MAINTENANCE: AL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OFF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(b)(10).
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICE DEPARTMENT WITHIN 30 DAYS OF DAMAGE.



NOTE:
DISTURBED OR GRADED ZONE 1 SHALL BE RE-VEGETATED WITH MAHONIA AQUIFOLIUM 'COMPACTA' AND RHUS INTEGRIFOLIA, PLANT SIZES TO BE DETERMINED BY LANDSCAPE ARCHITECT FOR BEST COVERAGE. ZONE 1 TO BE PERMANENTLY IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM AS TO PREVENT WATER RUN OFF AND EROSION OF SLOPE.

NOTE:
DISTURBED OR GRADED ZONE 2 SHALL BE RE-VEGETATED WITH PLANT FROM THE BIOLOGICAL REPORT OBSERVED FLORA SPECIES LIST TO BE SUBMITTED WITH PLANS. ZONE 2 RE-VEGETATED AREAS SHALL BE IRRIGATED WITH A TEMPORARILY ON GRADE SYSTEM. SEE BRUSH MANAGEMENT NOTES SDMC 142.0412 (h)

EXISTING LANDSCAPE TO REMAIN
PROTECT IN PLACE THIS AREA

Minimum Tree Separation Distance

Improvement	Minimum Distance to Street Tree
Traffic signal, Stop Sign	20 feet
Underground Utility Lines (except sewer)	5 feet
Sewer Lines	10 feet
Above Ground Utility Structures (Transformers, Hydrants, Utility poles, etc)	10 feet
Driveways	10 feet
Intersections (intersecting curb lines of two streets)	25 feet

(3) TREES TO SATISFY STREET
TREE QUANTITY PER CODE

SHEET INDEX

SHEET NO.	DESCRIPTION
L-1	LANDSCAPE PLAN
L-2	BRUSH MANAGEMENT PLAN
L-3	LANDSCAPE AREA DIAGRAM

SITE ADDRESS

7595 HILLSIDE DRIVE
SAN DIEGO, CA

OWNER:

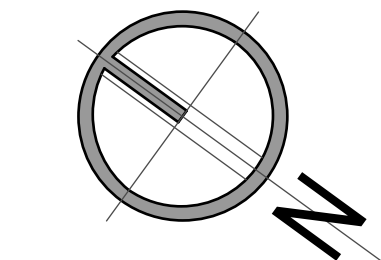
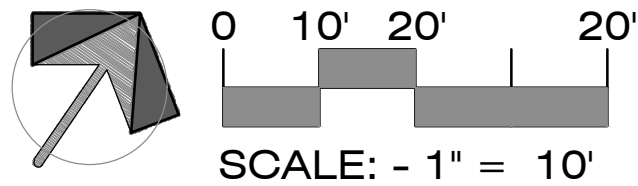
CASS KOOKLANI
MMK MANAGEMENT GROUP, LLC
P.O. BOX 1555
LA JOLLA, CA 92038

ARCHITECT

C.D.G.I.
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LANDSCAPE ARCHITECT

S.R. CLARKE LANDSCAPE ARCHITECTURE AND DEVELOPMENT
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NORTH

2nd review - 5.19.2020

3rd review - 5.28.2020

4th review - 10.14.2020

CAS - RESIDENCE

7595 HILLSIDE DR. LA JOLLA, CA. 92037

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LANDSCAPE
PLAN

L1 - 3

BRUSH MANAGEMENT NOTES (SDMC142.0412):

(g) ZONE ONE REQUIREMENTS

- (1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
- (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
- (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
- (4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
- (5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
- (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
- (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

(h) ZONE TWO REQUIREMENTS

- (1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
- (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
- (3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
- (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
- (5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - (C) ALL NEW ZONE TWO PLANTING SHALL BE IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVER SPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEM SHALL BE REMOVED UPON APPROVED ESTABLISHED OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
 - (E) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
 - (F) EXCEPT AS PROVIDED IN SECTION 142.0412(I), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

MISC. BRUSH MANAGEMENT NOTES:

1. CONDUCT REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE TO MINIMIZE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES, EROSION AND SLOPE FAILURE. EACH PROPERTY IS UNIQUE THEREFORE PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.
2. THIS IS THE MOST CRITICAL AREA FOR FIRE SAFETY. KEEP ALL ORNAMENTAL PLANTS WELL WATERED. CLEAN RAIN GUTTERS AND DRAINAGE PIPES REGULARLY AND REMOVE ALL LEAVES FORM ROOFTOPS BEFORE THE FIRE SEASON BEGINS. PRUNE ALL TREES AND SHRUBS ON A REGULAR BASIS TO REDUCE COMBUSTIBLE MATERIAL AND PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. REMOVE DEAD WOODY PLANTS AND WEEDS. TO RETAIN SOIL WHEN REMOVING DEAD PLANT OR WEEDS. TRIM TO A WHEN SHORT STUBBLE RATHER THAN EXCAVATING PLANT BY THE ROOTS. PRUNE NATIVE SHUBS IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE FUEL. INSPECT DRAINAGE DEVICES ON SLOPES AFTER EACH STORM TO KEEP CLEAR OF DEBRIS AND SOIL. PERIODICALLY SHEAR GROUNDCOVERS AND REMOVE THATCH. PRUNE DEAD WOOD FORM SHRUBS AND TREES.
4. DUE TO RECENT FIRES, THE BRUSH MANAGEMENT ZONES ARE SUBJECT TO CHANGE. THE FIRE CHIEF MAY REQUIRE ADDITIONAL ZONE WIDTHS OR ARCHITECTURAL TREATMENT TO THE STRUCTURE.
5. NON-NATIVE PLANTS READILY CAPABLE OF REPRODUCING AND SPREADING INTO NATIVE NON-IRRIGATED AREA ARE PROHIBITED IN ALL TRANSITIONAL LANDSCAPES.
6. GRADED / DISTURBED PAD AND SLOPE AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION. IN THE EVENT THAT CONSTRUCTION OF THE BUILDING DOES NOT OCCUR WITHIN 30 DAYS OF GRADING HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH
7. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASONS OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING BE CONSISTENT WITH THE CONDITIONS OF THE SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN.

NOTES:

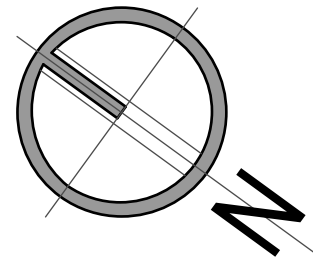
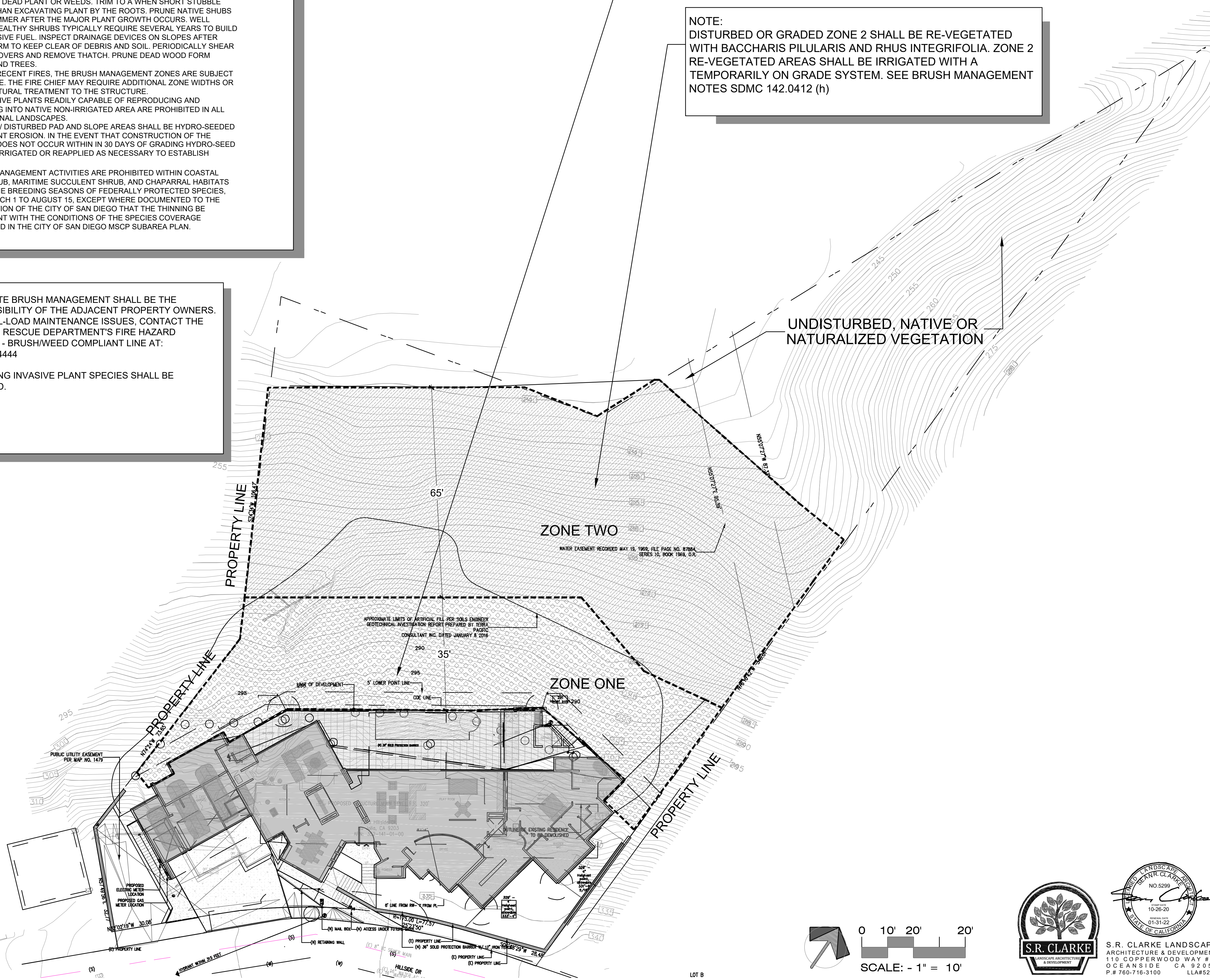
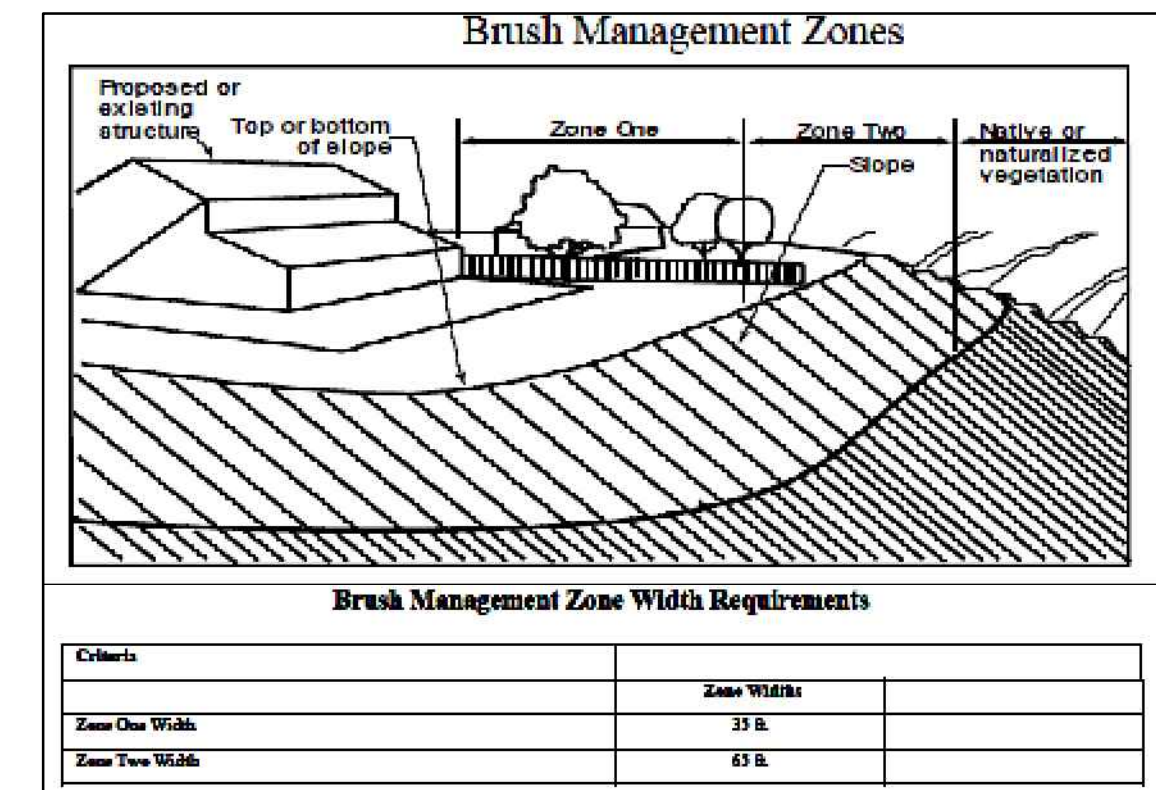
1. OFF-SITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE AND RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEED COMPLIANT LINE AT: (619)533-4444
2. EXISTING INVASIVE PLANT SPECIES SHALL BE REMOVED.

NOTE:

DISTURBED OR GRADED ZONE 1 SHALL BE RE-VEGETATED WITH MAHONIA AQUIFOLIUM 'COMPACTA' AND RHUS INTEGRIFOLIA, PLANT SIZES TO BE DETERMINED BY LANDSCAPE ARCHITECT FOR BEST COVERAGE. ZONE 1 TO BE PERMANENTLY IRRIGATED WITH AN AUTOMATIC DRIP IRRIGATION SYSTEM AS TO PREVENT WATER RUN OFF AND EROSION OF SLOPE.

NOTE:

DISTURBED OR GRADED ZONE 2 SHALL BE RE-VEGETATED WITH BACCHARIS PILULARIS AND RHUS INTEGRIFOLIA. ZONE 2 RE-VEGETATED AREAS SHALL BE IRRIGATED WITH A TEMPORARILY ON GRADE SYSTEM. SEE BRUSH MANAGEMENT NOTES SDMC 142.0412 (h)



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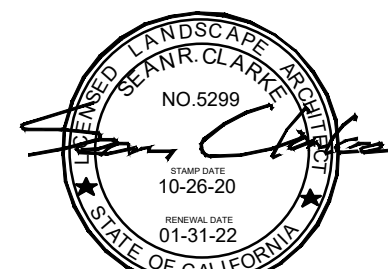
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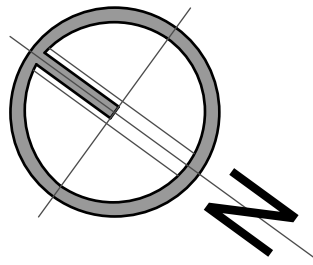
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BRUSH
MANAGEMENT
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L2 - 3



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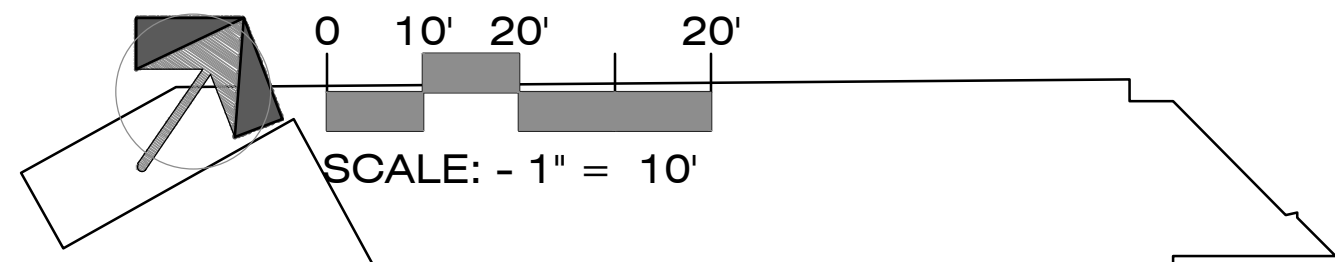
SHEET TITLE:

LANDSCAPE
AREA
DIAGRAM

L3 - 3



SYM	DESCRIPTION	AREA QTY	PERCENT
N/A	SITE	35,415 SF.	100%
	PROP. LA./UNDISTURBED L.A.	9,800 SF.	27.5%
	EXISTING LANDSCAPE TO REMAIN	11510.7 sF.	31%
	PROPOSED HARDSCAPE	2881.52 SF.	8%
	PROPOSED STRUCTURE (INCLUDES BRUSH MANAGEMENT ZONE 1)	11,647SF.	33.5%



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