

PINTAR RESIDENCE COASTAL DEVELOPMENT PERMIT

7342 REMLEY PLACE, LA JOLLA, CA 92037

DEVELOPMENT SUMMARY

SCOPE OF WORK

- DEMOLITION OF EXISTING 1,608 SQ. FT. SINGLE FAMILY RESIDENCE
- NEW SINGLE FAMILY RESIDENCE, 2 STORY OVER BASEMENT.
- PROPOSED CHANGE OF FRONTYARD SETBACK AT REMLEY PLACE TO 15'
- NEW POOL AND SPA

PROJECT TEAM

ARCHITECT

BENNETT + ASSOCIATES
7755 FAY AVE. SUITE C
LA JOLLA, CA 92037
TELE: (858) 454-4555
FAX: (858) 454-9164

STRUCTURAL ENGINEER

CURRY STENGER ENGINEERING
2235 ENCINITAS BLVD, SUITE 208
ENCINITAS, CA 92024
TELE: (760) 230-0808
FAX: (760) 487-1316

LEGAL DESCRIPTION

ALL THAT PORTION OF LOT 4 IN BLOCK "D" OF LA JOLLA COUNTRY CLUB HEIGHTS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1975 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1926 LYING SOUTHERLY OF THE SOUTHERLY LINE OF REMLEY PLACE AS CREATED BY THAT CERTAIN DEED TO THE CITY OF SAN DIEGO, RECORDED ON JULY, 1932 IN BOOK 141, PAGE 128 OF OFFICIAL RECORDS.

ASSESSOR PARCEL NUMBER

352-212-06-00

OWNER

TED AND MARYANNE PINTAR
7342 REMLEY PLACE
LA JOLLA, CA 92037

SITE ADDRESS

7342 REMLEY PLACE
LA JOLLA, CA 92037

EXISTING USE

N/A

PROPOSED USE

SINGLE FAMILY RESIDENCE

ZONING INFO

ZONE: RS-1-4

LOT AREA

8988.22 SF

OVERLAY ZONE DESIGNATION

- COASTAL HEIGHT LIMIT
- COASTAL (CITY)
- FIRE HAZARD SEVERITY ZONE
- PARKING IMPACT (COSTAL)
- FIRE BRUSH ZONE 300' BUFFER

APPROVED DEVELOPMENT PERMITS

NONE

NO. OF STORIES

2 STORIES OVER BASEMENT

HEIGHT OF BLDG.

29' - 3"

GROSS FLOOR AREA - PROPOSED

BASEMENT

CONDITIONED SPACE 940 SQ. FT.

FIRST FLOOR

CONDITIONED SPACE 2,010 SQ. FT.
UNCONDITIONED SPACE (GARAGE 1) 839 SQ. FT.

SECOND FLOOR (MASTER SUITE)

CONDITIONED SPACE 1,135 SQ. FT.

TOTAL CONDITIONED 4,085 SQ. FT.

FLOOR AREA RATIO CALCULATION ANALYSIS

BASEMENT LEVEL (CONDITIONED) 940 SQ. FT.
FIRST FLOOR (CONDITIONED) 2,010 SQ. FT.
GARAGE 1 (NON-CONDITIONED) 839 SQ. FT.
SECOND FLOOR (CONDITIONED) 1,135 SQ. FT.

TOTAL: (N) GROSS SQ. FT. (940 SQ. FT.) + (N) GROSS SQ. FT. (2,010 SQ. FT.) + (N) GROSS SQ. FT. (839 SQ. FT.) + (N) GROSS SQ. FT. (1,135 SQ. FT.) = 4,924 SQ. FT.

FLOOR AREA RATIO = 4,924 SQ. FT. / 8,988.22 SQ. FT. = 0.54 FAR

THE PROPOSED STRUCTURE IS LOCATED WITHIN A VERY HIGH FIRE SEVERITY ZONE. THE MATERIALS AND METHODS OF CONSTRUCTION USED FOR THE STRUCTURE, INCLUDING ATTACHED ACCESSORY BUILDINGS (EG. GARAGES) AND STRUCTURES (EG. PATIO COVERS) SHALL BE IN ACCORDANCE WITH CRC SECTION R327, AS ADOPTED AND AMENDED BY THE CITY OF SAN DIEGO [SDMC 149.0327(a); 55.5001]

DEVELOPMENT REGULATIONS SUMMARY

(CITY OF SAN DIEGO)

Lot Zone	RS-1-4	
	REQUIRED	PROPOSED
MAX permitted density (DU per lot)	1	1
MIN lot area (SF)	10,000	8,988.22 Exist.
MIN lot dimensions		
Lot Width (FT)	65	85' Exist.
Street Frontage (FT)	65	N/A
Lot Width (Corner) (FT)	70	N/A
Lot Depth (FT)	100	106' - 3" Exist.
Setback Requirements		
MIN Front Setback (FT)	20	20' Exist.
MIN Side Setback (Multiplier) (FT)	.08	85' x .08 = 6.8'
MIN Street Side Setback (Multiplier) (FT)	.10	N/A
MIN Rear Setback (FT)	20	20' Exist.
Setback Requirements for resubdivided corner lots		
MAX Structure Height (FT)	24 / 30	COMPLIES
Lot Coverage for Sloping Lots		
MAX Floor Area Ratio	0.56	4,685 SF / 8,988.22 SF = 0.52
MAX Paving/Hardscape	60% FRONT YARD	COMPLIES; REF. SITE PLAN
Accessory Uses and Structures		
Garage Regulations	APPLIES	N/A
Building Spacing		
Max Third Story Dimensions	APPLIES	N/A
Architectural Projections and Encroachments		
Supplemental Requirements	APPLIES	N/A
Bedroom Regulation		
Refuse and Recyclable Material Storage	APPLIES	6 BEDROOMS, MAX. (4 PROVIDED)
Visibility Area	APPLIES	N/A; EXISTING

REF. SITE PLAN

REF. BUILDING ELEVATIONS & SECTIONS

CONDITION OF EXISTING SOIL

-

GEOLOGICAL HAZARD CATEGORY

26

OCCUPANCY CLASSIFICATION

R-3

YEAR CONSTRUCTED OF EXIST

1952

TYPE OF CONSTRUCTION

V-B

APPLICABLE CODES AND STANDARDS:

- 2016 BUILDING ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 C.C.R.
- 2016 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1 & 2, PART 2, TITLE 24 C.C.R.
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
- 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
- 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
- 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
- 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 C.C.R.
- 2016 CALIFORNIA GREEN CODE, PART 11, TITLE 24 C.C.R.
- 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 C.C.R.
- NFPA 13 AUTOMATIC SPRINKLER SYSTEMS 2016 EDITION

LANDSCAPE AREA (SF)

3,596.96 EXIST. 3,596.96 SF / 8,988.22 SF = 40%

TOTAL AREA OF DISTURBANCE

7,970 SF 7,970 SF / 8,988.22 SF = 88.7%

DEFERRED APPROVALS

-NONE-

IT IS UNDERSTOOD THAT PLANS FOR THE PROJECT HAVE, AT THIS TIME, BEEN REVIEWED FOR COMPLIANCE WITH ALL APPLICABLE STATE AND CITY REGULATIONS AND THAT THE PROJECT AS A WHOLE HAS BEEN APPROVED BY THE CITY, WITH THE EXCEPTION OF THE DEFERRED ITEMS LISTED.

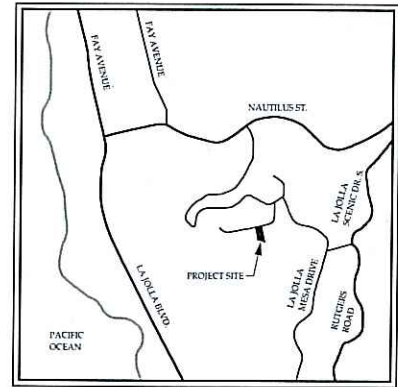
I / WE UNDERSTAND THAT I / WE WILL NOT BE AUTHORIZED ANY INSPECTION OF THE DEFERRED ITEMS PROPOSED PRIOR TO THE SUBMITTAL AND APPROVAL OF PLANS AND/OR CALCULATIONS FOR THOSE DEFERRED ITEMS

STANDARD ABBREVIATIONS

&	AND	MISC.	MISCELLANEOUS
@	AT	MT.	MOUNT
ABV.	ABOVE	MTL.	METAL
ADDL.	ADDITIONAL	M.O.	MASONRY OPENING
ADJ.	ADJACENT	N.I.C.	NOT IN CONTRACT
A.F.F.	ABOVE FINISH FLOOR	N.T.S.	NOT TO SCALE
APPRVD.	APPROVED	O.C.	ON CENTER
ARCH.	ARCHITECT	O.H.	OPPOSITE HAND
BLDG.	BUILDING	OPNG.	OPENING
BTWN.	BETWEEN	PAR.	PARALLEL
BLKG.	BLOCKING	PERIM.	PERIMETER
B.O.	BOTTOM OF	PERP.	PERPENDICULAR
BYND.	BEYOND	P.I.P.	POURED IN PLACE
C.I.P.	CAST IN PLACE	PL	PROPERTY LINE
CLG.	CEILING	PLY	PLYWOOD
CLG.HT.	CEILING HEIGHT	PTD.	PAINTED
CLOS.	CLOSET	PCST.	PRECAST
CONC.	CONCRETE	PREFAB.	PREFABRICATED
CONT.	CONTINUOUS	P.T.	PRESSURE-TREATED
CPT.	CARPET	QTY.	QUANTITY
CTR.	CENTER	R.C.P.	REFLECTED CEILING PLAN
DBL.	DOUBLE	REINF.	REINFORCED
DEMO.	DEMOLISH	REQ'D	REQUIRED
DIAG.	DIAGONAL	R.H.	RIGHT HAND
DIA.	DIAMETER	R.O.	ROUGH OPENING
DN	DOWN	RM.	ROOM
DTL.	DETAIL	SCRN.	SCREEN
DWG.	DRAWING	SIM.	SIMILAR
EA.	EACH	SPEC.	SPECIFICATION
ELEC.	ELECTRICAL	SPKLR.	SPRINKLER
ENG.	ENGINEER	SS.	STAINLESS STEEL
EQ	EQUAL	STD.	STANDARD
EQUIP.	EQUIPMENT	STRUCT.	STRUCTURAL
E.W.	EACH WAY	STOR.	STORAGE
EXCAV.	EXCAVATE	T.G.	TONQUE AND GROOVE
EXT.	EXTERIOR	T.B.D.	TO BE DETERMINED
FDN.	FOUNDATION	TEMP.	TEMPORARY
F.F.E.	FINISH FLOOR ELEVATION	TEL.	TELEPHONE
F.G.	FINISH GRADE	THK.	THICKNESS
FIN.	FINISH	TOL.	TOLERANCE
FLR.	FLOOR	T.O.S.	TOP OF SLAB
F.O.F.	FACE OF FINISH	T.O.W.	TOP OF WALL
GALV.	GALVANIZED	TYP.	TYPICAL
G.C.	GENERAL CONTRACTOR	U.N.O.	UNLESS NOTED OTHERWISE
GEN.	GENERAL	VAR.	VARIES
GST.	GUEST	VENT.	VENTILATE
GYP. BD.	GYPHUM WALLBOARD	VERT.	VERTICAL
HDWR.	HARDWARE	VEST.	VESTIBULE
HORZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HT.	HEIGHT	W.	WITH
HVAC	HEATING, VENTILATION INSULATION	W/O	WITHOUT
INSUL.	INSULATION	W.C.	WATER CLOSET
INT.	INTERIOR	W.I.	WROUGHT IRON
L.H.	LEFT HAND	WD	WOOD
L.V.	LOW VOLTAGE	W.P.	WEATHERPROOF
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		

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SURVEY		
C.0	TOPOGRAPHIC SURVEY	SHEET 20 OF 20



VICINITY MAP

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PINTAR RESIDENCE

NEW RESIDENCE

COASTAL DEVELOPMENT PERMIT

7342 REMLEY PLACE
LA JOLLA, CA 92037

ISSUE / REVISION SCHEDULE		
#	DATE	DESCRIPTION
1	10/06/2019	COASTAL DEVELOPMENT PERMIT COMPLETION REVIEW
2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL

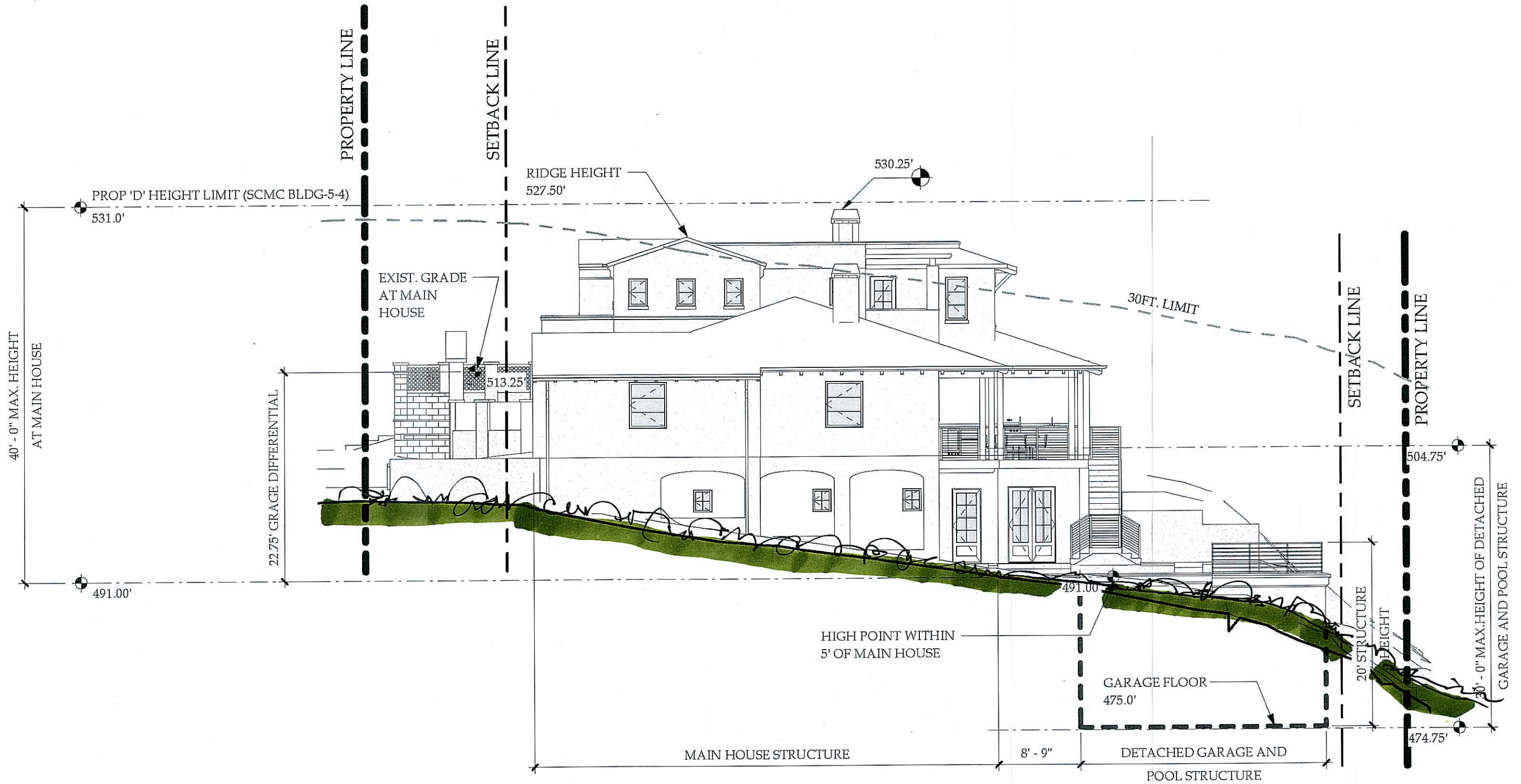
PROJECT #	DATE
2019-004	05/01/2020
SHEET TITLE	
TITLE SHEET	
SHEET NUMBER	
T-100	
SHEET 1 OF 20	

NOTICE TO THE CONTRACTOR / BUILDER / INSTALLER / SUB-CONTRACTOR / OWNER-BUILDER

BY USING THIS PERMITTED SET OF DRAWINGS FOR CONSTRUCTION / INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFFSITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

NOTICE TO THE APPLICANT / OWNER / OWNER'S AGENT / ARCHITECT OR ENGINEER

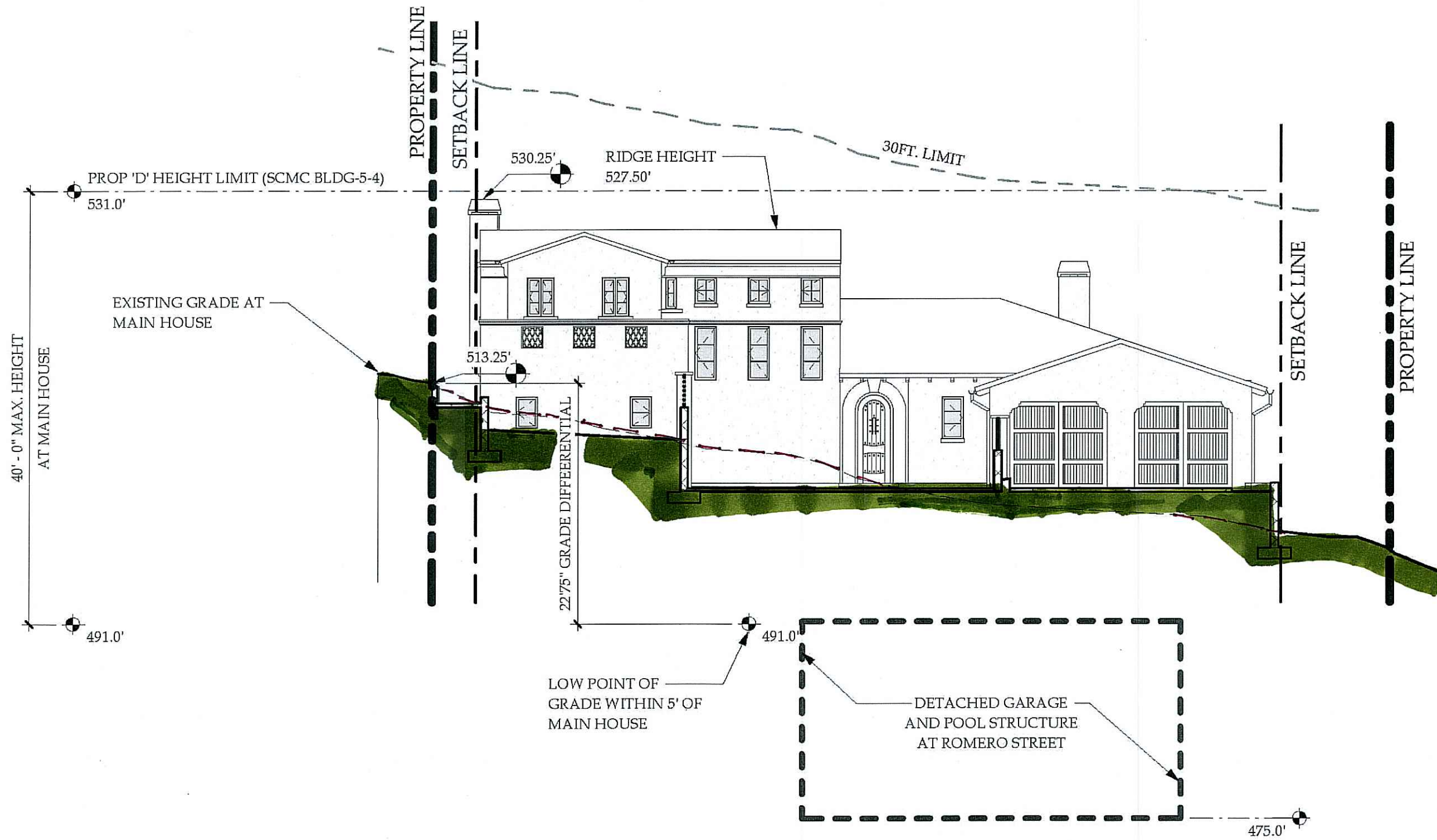
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SITE SECTION A

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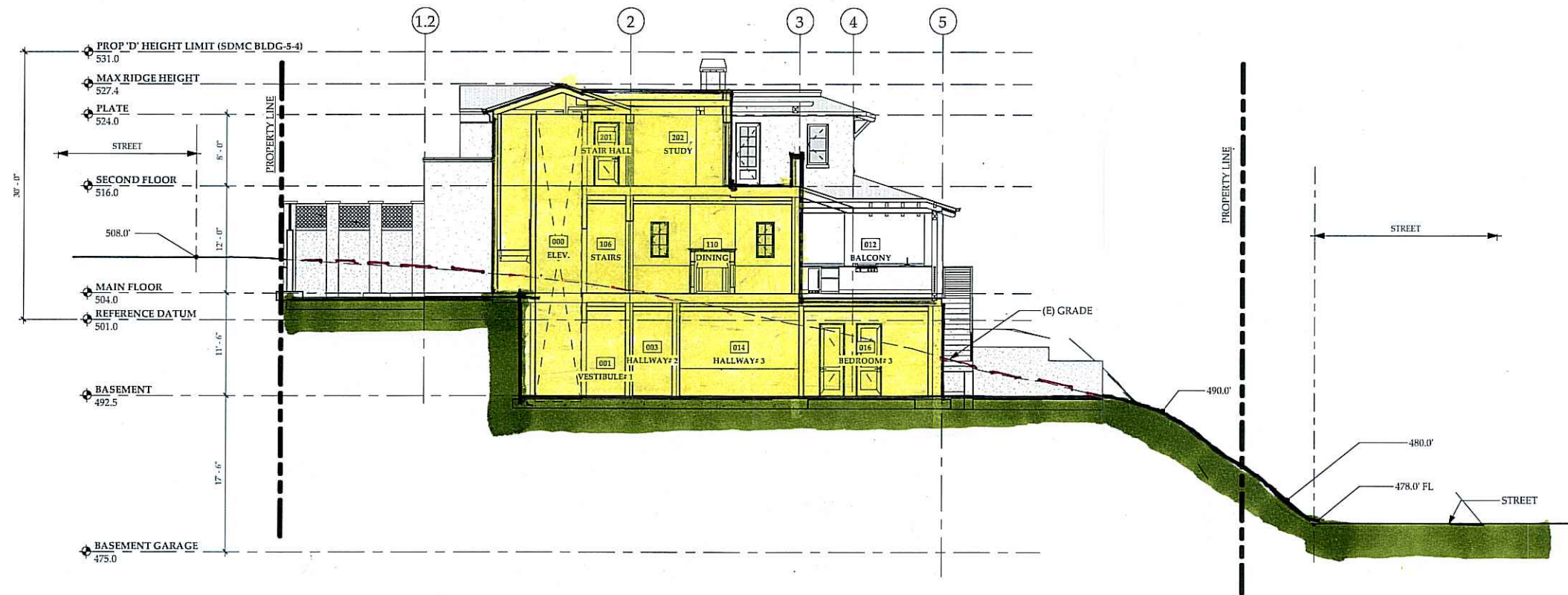
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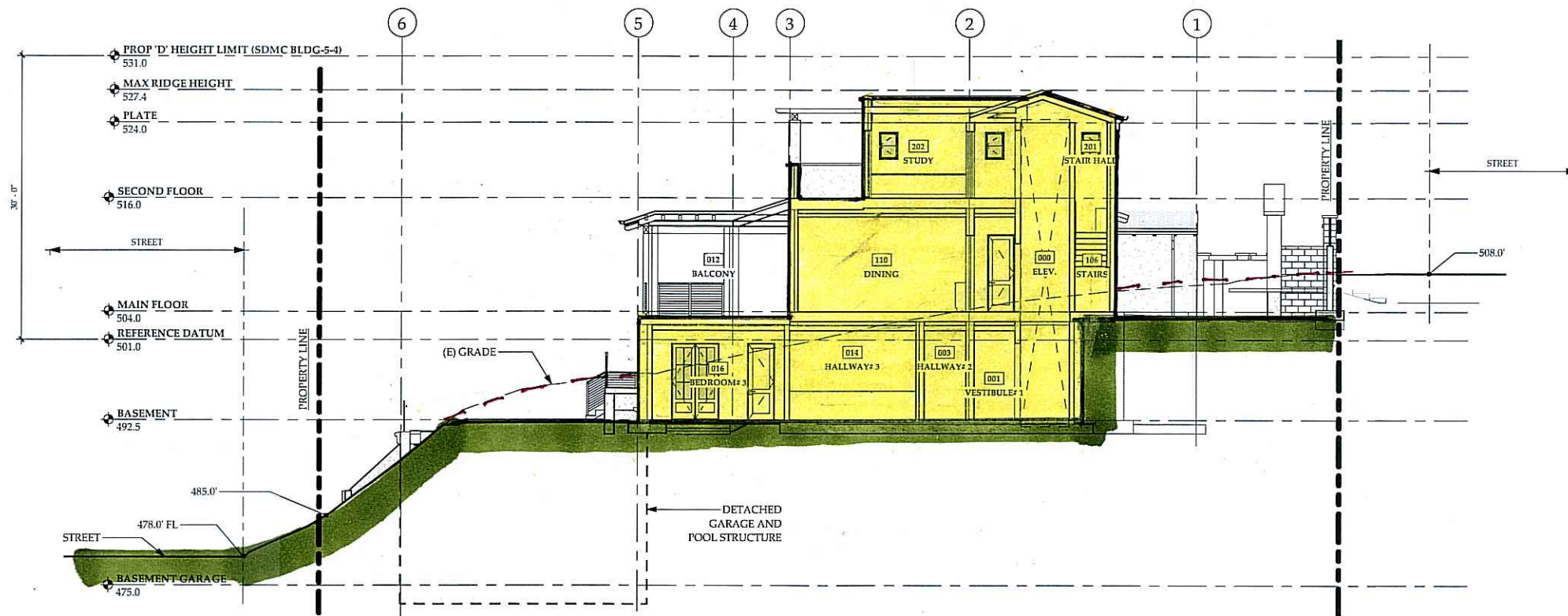
SITE SECTION B

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SECTION 'E'
1/8" = 1'-0"



SECTION 'F'
1/8" = 1'-0"

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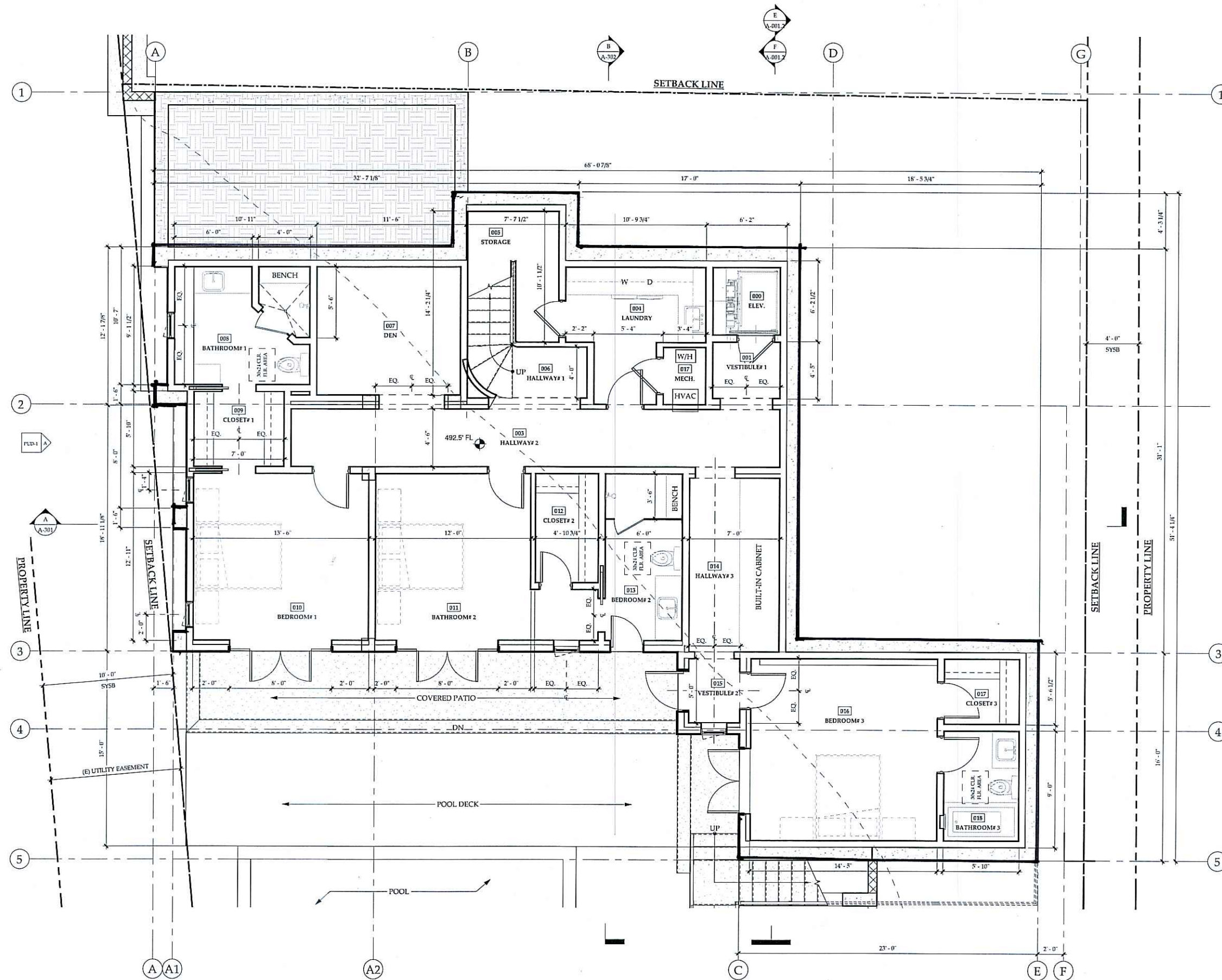


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LA JOLLA, CA 92037**

ISSUE / REVISION SCHEDULE		PROJECT #	DATE
#	DATE	2019-004	05/01/2020
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL	

SHEET TITLE:	SITE SECTIONS
SHEET NUMBER:	A-001.2
	SHEET 4 OF 20

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1 BASEMENT FLOOR PLAN
1/4" = 1'-0"



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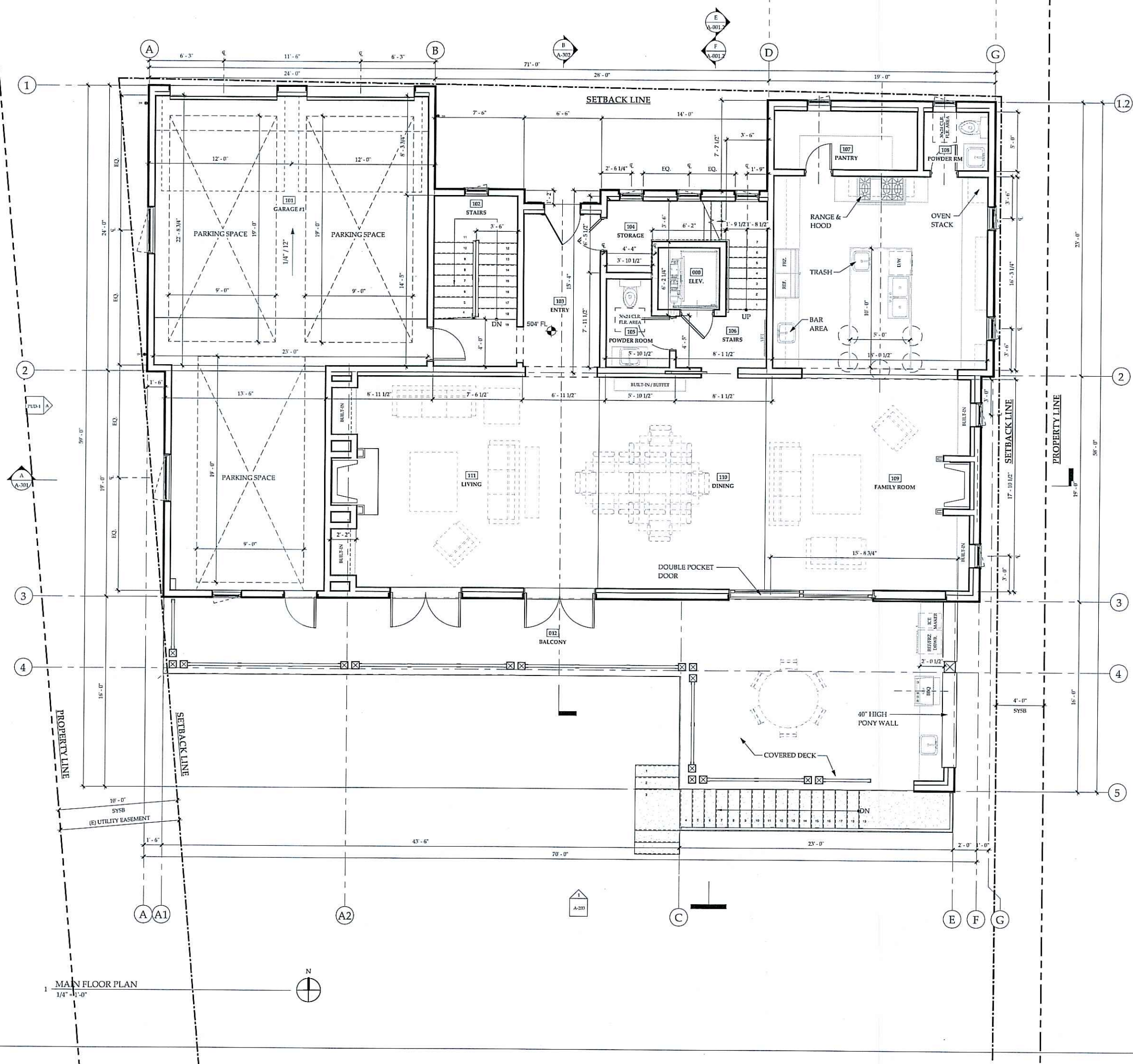
ISSUE / REVISION SCHEDULE		PROJECT #	DATE
4	DATE	2019-004	05/01/2020
1	DESCRIPTION		
1	10/01/2019	COASTAL DEVELOPMENT PERMIT COMPLETE DESIGN REVIEW	
2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL	
3	05/01/2020	COASTAL DEVELOPMENT PERMIT FE SUBMITTAL	

SHEET TITLE:
BASEMENT FLOOR PLAN

SHEET NUMBER:
A-101

SHEET 6 OF 20

6



1 MAIN FLOOR PLAN
1/4" = 1'-0"

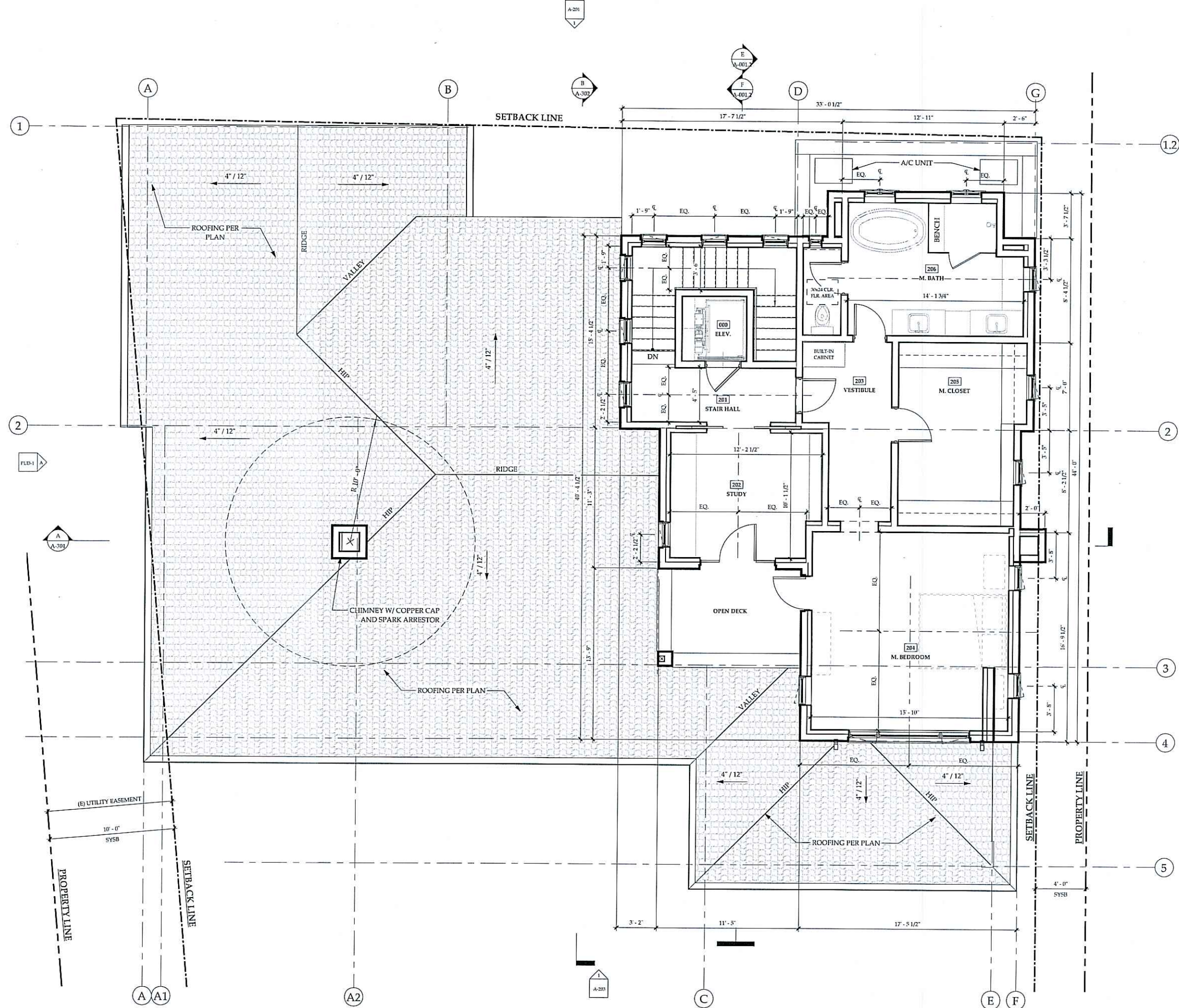
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ISSUE / REVISION SCHEDULE		PROJECT #	DATE
1	10/09/2019	2019-004	05/01/2020
2	10/30/2019		
3	05/01/2020		

SHEET TITLE: MAIN FLOOR PLAN
 SHEET NUMBER: A-102
 SHEET 7 OF 20

1 X-107
7



1 SECOND FLOOR PLAN
1/4" = 1'-0"

- ROOF PLAN NOTES**
- ROOF OVERHANG TO BE 1'-6" U.O.N.
 - ROOFING TO SATISFY REQUIREMENTS FOR ASTM C1167 & ASTM E108
 - ROOFING TYPE
 - A. MANUFACTURER: REDLAND CLAY TILE
 - B. MODEL / TYPE: BAJA MISSION I CONC./CLAY TILE
 - C. COLOR: TERRA COTTA BLEND
 - ATTIC VENTILATION
 - A. MANUFACTURER: O'HAGIN FIRE & ICE (ICC-ES ESR-1965A)
 - B. MODEL / TYPE: BAJA MISSION (MATCH ROOF TILE)
 - C. COLOR: MATCH ROOF TILE
 - DRIP EDGE
 - A. 2" x 6" COPPER (16 OZ.)
 - GUTTER
 - A. 6" HALF ROUND COPPER
 - DOWNSPOUT
 - A. 3" ROUND COPPER

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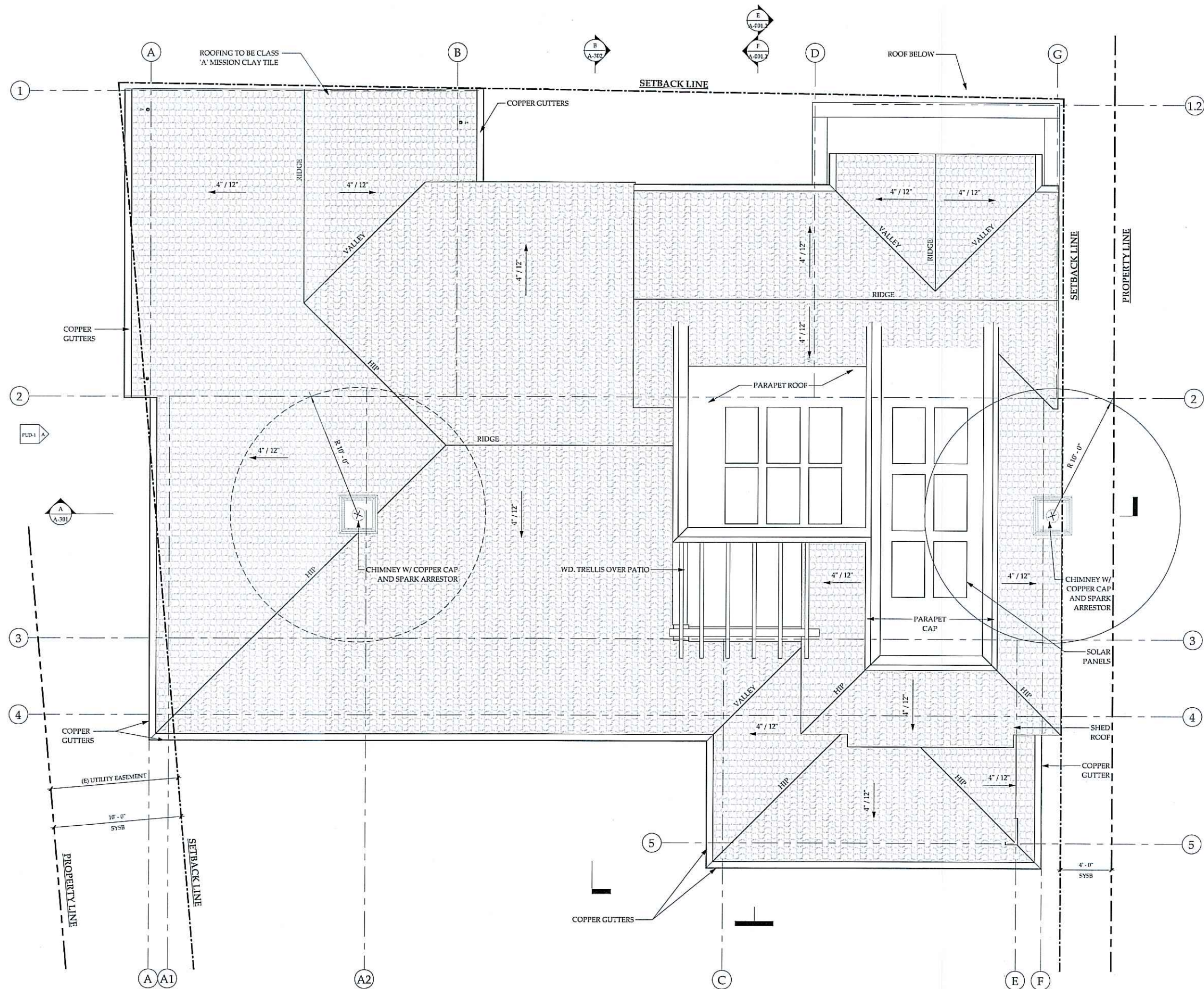
ISSUE / REVISION SCHEDULE			PROJECT #:	DATE:
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1	10/09/2019	COASTAL DEVELOPMENT PERMIT COMPLETENESS REVIEW		
2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL		
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL		

SHEET TITLE:
MASTER SUITE PLAN

SHEET NUMBER:
A-103

SHEET 8 OF 20

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1 ROOF PLAN
1/4" = 1'-0"

- ROOF PLAN NOTES**
- ROOF OVERHANG TO BE 1'-6" U.O.N.
 - ROOFING TO SATISFY REQUIREMENTS FOR ASTM C1167 & ASTM E108
 - ROOFING TYPE
 - A. MANUFACTURER: REDLAND CLAY TILE
 - B. MODEL / TYPE: BAJA MISSION I CONC./CLAY TILE
 - C. COLOR: TERRA COTTA BLEND
 - ATTIC VENTILATION
 - A. MANUFACTURER: O'HAGIN FIRE & ICE (ICC-ES E885-01)
 - B. MODEL / TYPE: BAJA MISSION (MATCH ROOF TILE)
 - C. COLOR: MATCH ROOF TILE
 - DRIP EDGE
 - A. 2" x 6" COPPER (16 OZ.)
 - GUTTER
 - A. 6" HALF ROUND COPPER
 - DOWNSPOUT
 - A. 3" ROUND COPPER

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3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL		

SHEET TITLE:	ROOF PLAN
SHEET NUMBER:	A-104
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PINTAR RESIDENCE

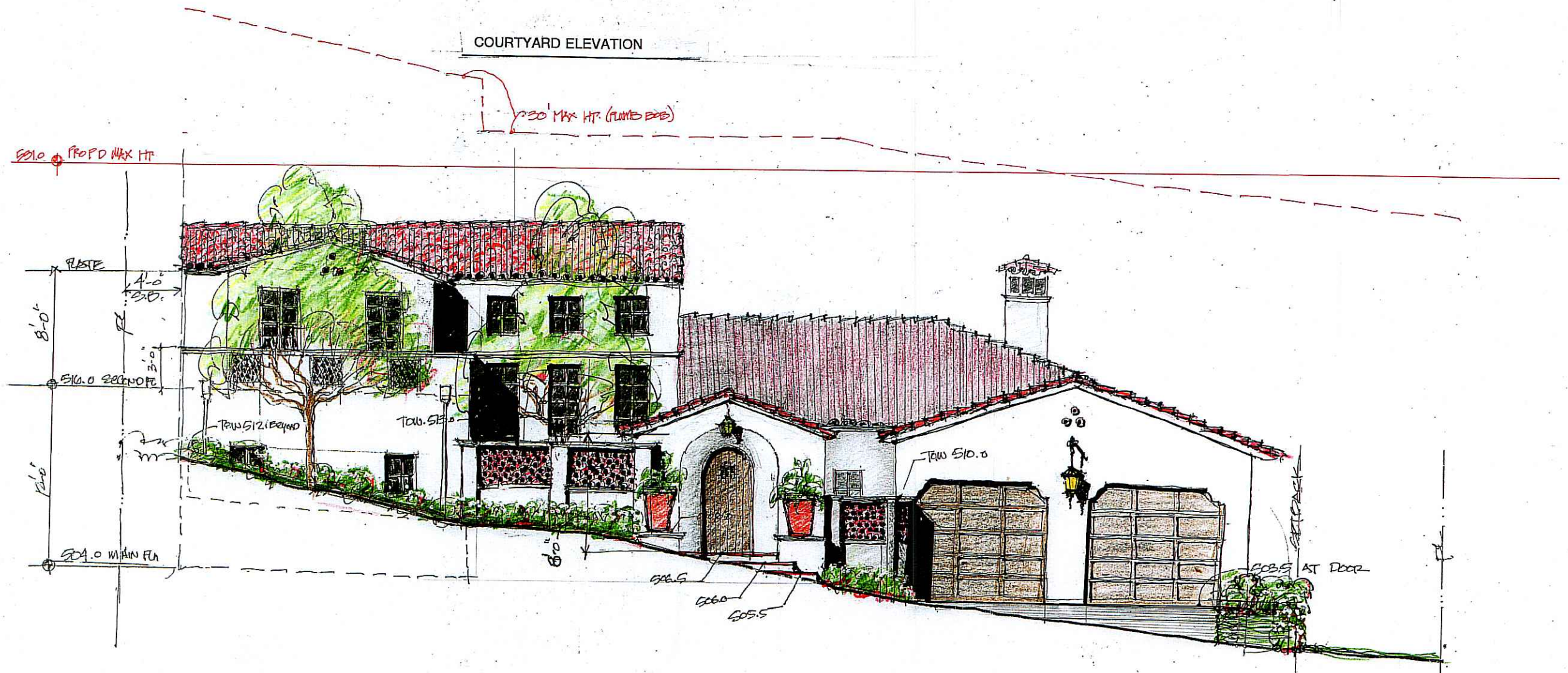
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ISSUE / REVISION SCHEDULE		PROJECT #	DATE
#	DATE	DESCRIPTION	
1	10/07/2019	COASTAL DEVELOPMENT PERMIT COMPLETENESS REVIEW	
2	10/23/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL	

SHEET TITLE	2019-004
SHEET NUMBER	
SHEET OF:	



COURTYARD ELEVATION



STREET ELEVATION



1 EAST BUILDING ELEVATION
1/4" = 1'-0"

ELEVATION NOTES
 1. [SDMC 132.0505] - THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

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3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL		

SHEET TITLE:
BUILDING ELEVATIONS

SHEET NUMBER:
A-202

SHEET 12 OF 20



1 WEST BUILDING ELEVATION
1/4" = 1'-0"

ELEVATION NOTES
 1. [SDMC 132.0505] - THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

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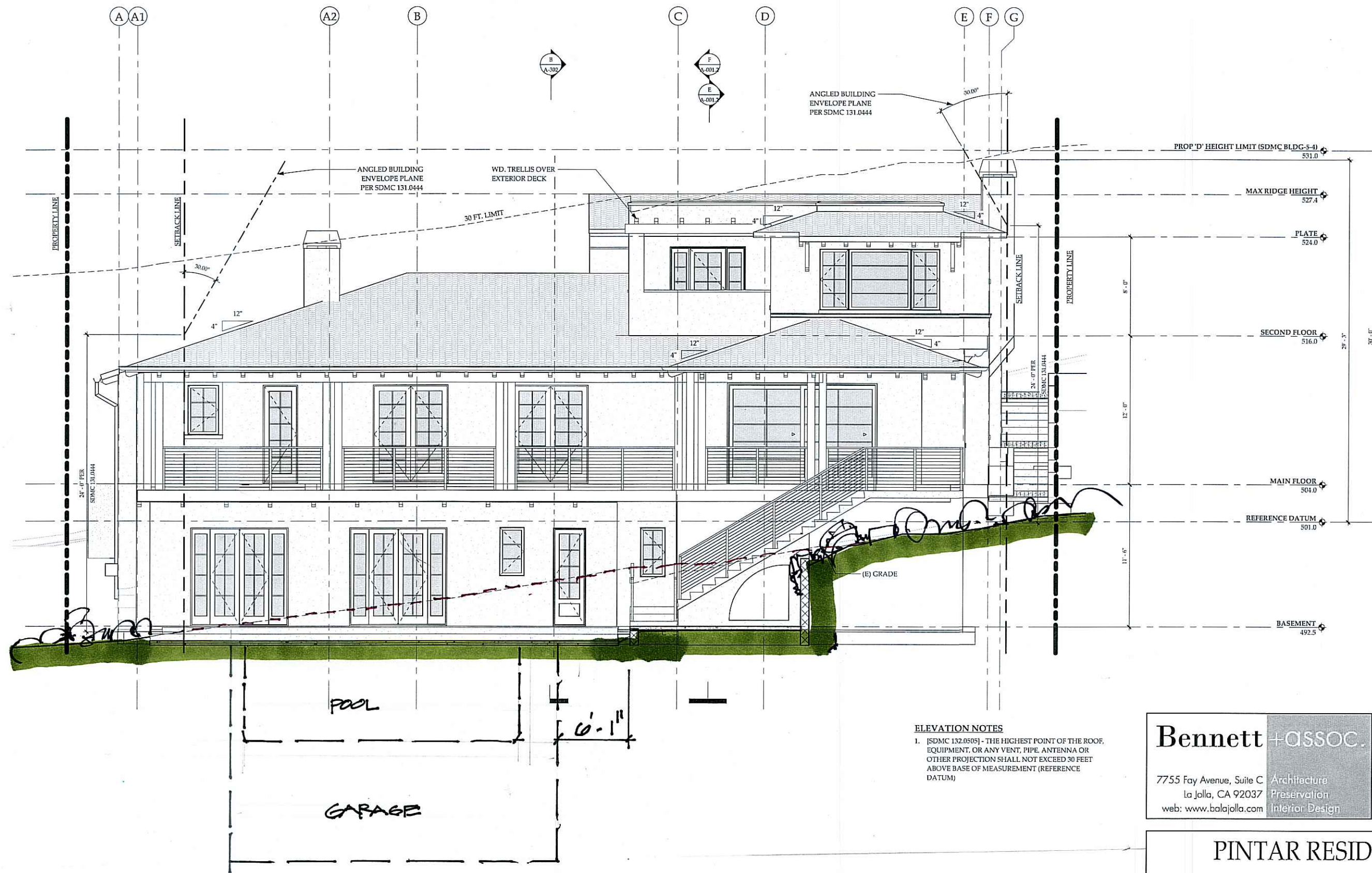


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ISSUE / REVISION SCHEDULE		
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1	10/09/2019	COASTAL DEVELOPMENT PERMIT COMPLETENESS REVIEW
2	10/20/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL

PROJECT #	DATE
2019-004	05/01/2020
SHEET TITLE	
BUILDING ELEVATIONS	
SHEET NUMBER	
A-204	
SHEET 14 OF 20	

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SOUTH BUILDING ELEVATION
1/4" = 1'-0"

ELEVATION NOTES
 1. [SDMC 132.0505] - THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

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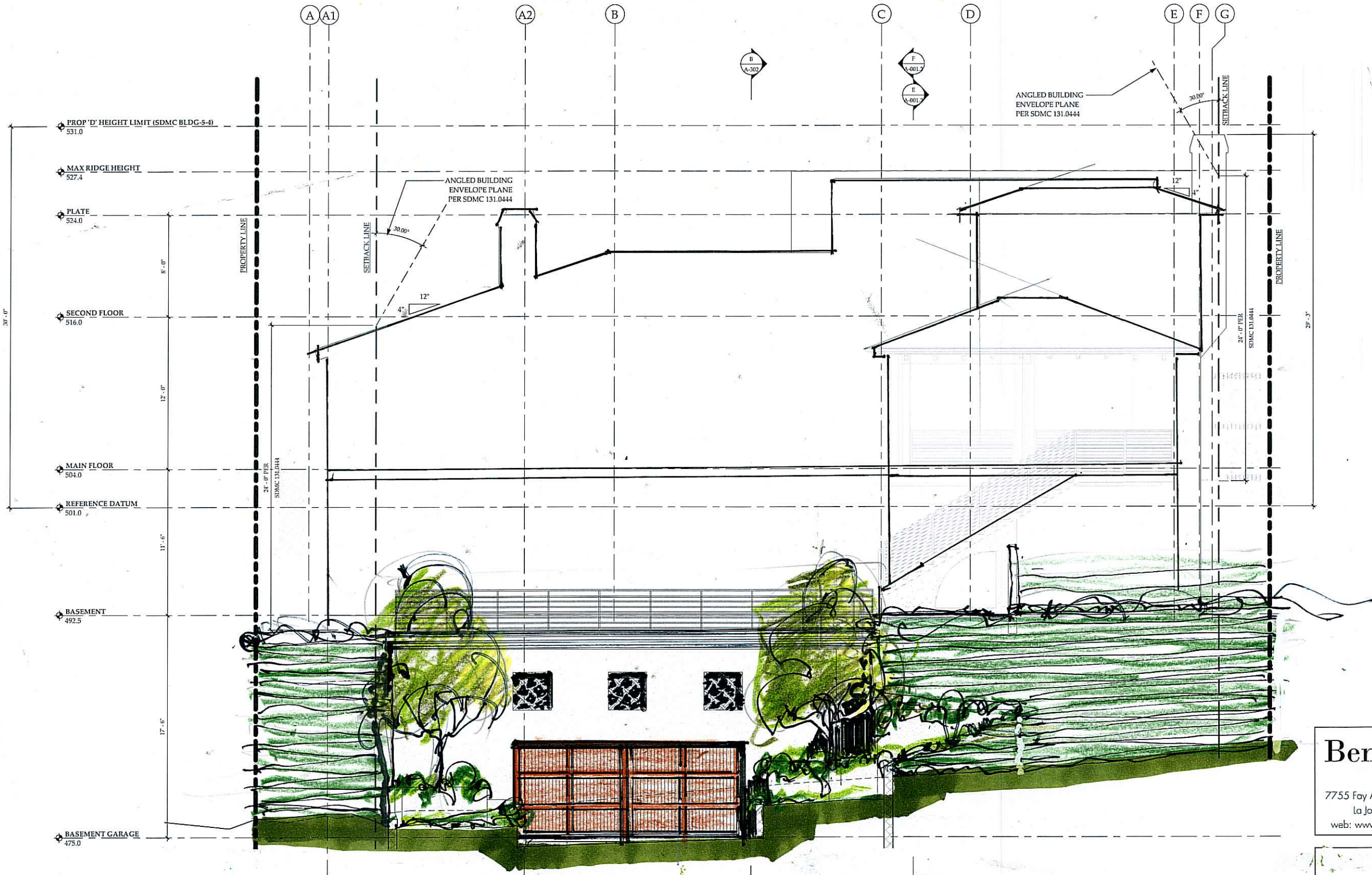


**PINTAR RESIDENCE
 NEW RESIDENCE
 COASTAL DEVELOPMENT PERMIT
 7342 REMLEY PLACE
 LA JOLLA, CA 92037**

ISSUE / REVISION SCHEDULE		
#	DATE	DESCRIPTION
1	10/09/2019	COASTAL DEVELOPMENT PERMIT COMPLETENESS REVIEW
2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL

PROJECT #	DATE
2019-004	05/01/2020
SHEET TITLE	
BUILDING ELEVATIONS	
SHEET NUMBER	
A-203	
SHEET 13 OF 20	

13

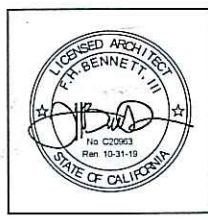


1 SOUTH BUILDING ELEVATION - LOWER GARAGE
1/4" = 1'-0"

- ELEVATION NOTES**
- [SDMC 132.0505] - THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM)

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 7342 REMLEY PLACE
 LA JOLLA, CA 92037**

ISSUE / REVISION SCHEDULE		
#	DATE	DESCRIPTION
1	10/01/2019	COASTAL DEVELOPMENT PERMIT COMPLETENESS REVIEW
2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RE-SUBMITTAL

PROJECT #	DATE
2019-004	05/01/2020
SHEET TITLE:	
BUILDING ELEVATION	
SHEET NUMBER:	
A-205	
SHEET 15 OF 20	



REMLEY PLACE

ROMERO DR.

AERIAL IMAGE - LOOKING NORTH-EAST

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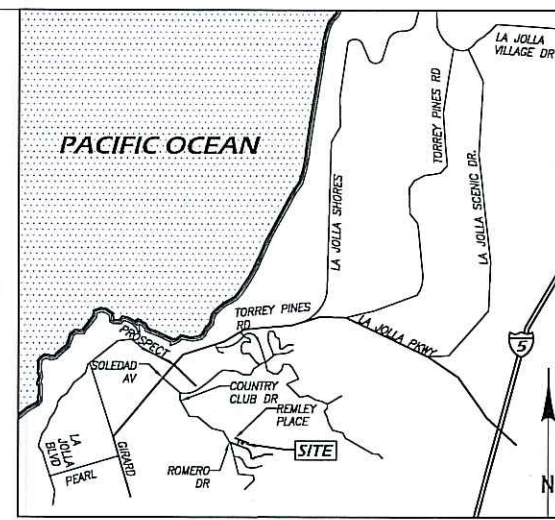
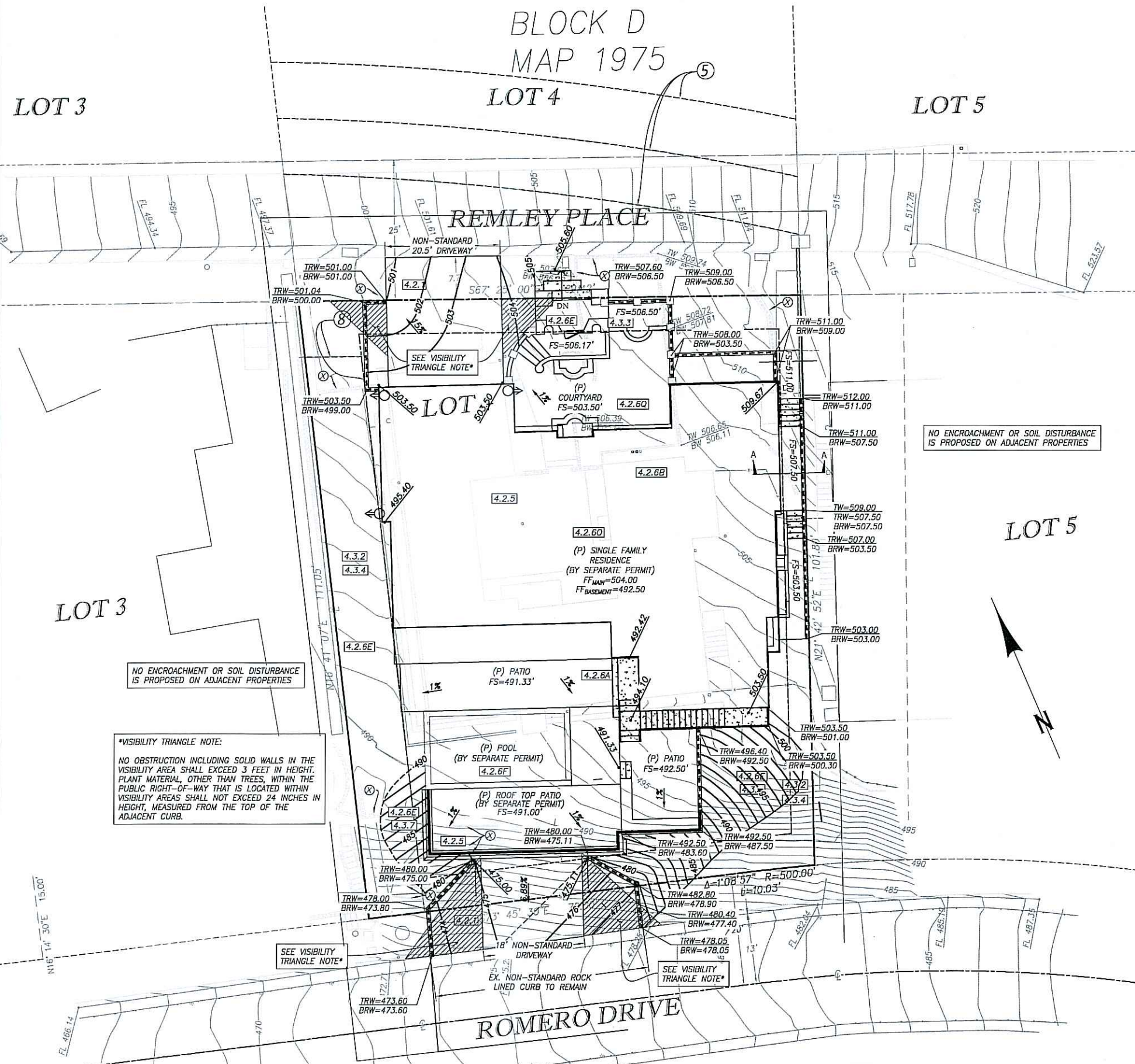
ISSUE / REVISION SCHEDULE	
#	DATE

PROJECT #	DATE
2019-004	
SHEET TITLE	
AERIAL IMAGE	
SHEET NUMBER	
EX-3	

GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED: 7,970	% OF TOTAL SITE: 88.7%
AMOUNT OF CUT: 1,800 CUBIC YARDS	MAXIMUM DEPTH OF CUT: 9.0 FEET
AMOUNT OF FILL: 300 CUBIC YARDS	MAXIMUM DEPTH OF FILL: 4.8 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S): N/A FEET	SLOPE RATIO: N/A
MAXIMUM HEIGHT OF CUT SLOPE(S): 20 FEET	SLOPE RATIO: 2:1
AMOUNT OF IMPORT/EXPORT SOIL: 1,500 CUBIC YARDS	MAXIMUM HEIGHT: 5.0 FEET
RETAINING/ CRIB WALLS: LENGTH 200 FEET	MAX FILL DEPTH OUTSIDE THE BUILDING FOOTPRINT: 4.7 FEET
MAX CUT DEPTH UNDER THE BUILDING FOOTPRINT: 15.0 FEET	
MAX CUT DEPTH OUTSIDE THE BUILDING FOOTPRINT: 9.0 FEET	

THE PROJECT PROPOSES TO EXPORT 1,500 CUBIC YARDS OF MATERIAL FROM THIS SITE. ANY AND ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
 THE GRADING QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMIT PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY DUE TO COMPACTION, EXPANSION, FOOTING EXCAVATIONS, DEBRIS, VEGETATION, INTERPRETATION OF USE OF MATERIALS, AND OTHER FACTORS. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING TAKE-OFFS FOR THE GRADING WORK SHOWN HEREON.



VICINITY MAP
 THOMAS BROS. MAP 1227-G7
 NO SCALE

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPERTY LINE		N45°45'45"W
ROW CENTERLINE		—C—
EASEMENT LINE		---
(PVT.) BUILDING FOOTPRINT		[Symbol]
PROPOSED CONTOUR		—90—
(PVT.) CMU RETAINING WALL BY SEPARATE PERMIT		[Symbol]
PROPOSED SPOT ELEVATION		100.00
DRAINAGE SWALE OR DIRECTION OF FLOW		→
EXISTING FEATURE TO BE REMOVED		(X)

SOURCE CONTROL BMPs

DESCRIPTION	SYMBOL
PREVENTION OF ILLICIT DISCHARGES	4.2.1
PROTECT TRASH STORAGE AREAS	4.2.3
ON-SITE STORM DRAIN INLETS	4.2.6A
INTERIOR ELEVATOR SHAFT PUMPS	4.2.6B
LANDSCAPE/OUTDOOR PESTICIDE USE	4.2.6C
POOLS, SPAS, PONDS, FOUNTAINS, AND OTHER WATER	4.2.6F
FIRE SPRINKLER TEST WATER	4.2.6G
PLAZAS, SIDEWALKS, DRIVEWAYS	4.2.6H

SITE DESIGN (LID) BMPs

CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	4.3.2
MINIMIZE IMPERVIOUS AREA	4.3.3
MINIMIZE SOIL COMPACTION	4.3.4
IMPERVIOUS AREA DISPERSION	4.3.5
NATIVE OR DROUGHT TOLERANT VEGETATION	4.3.7

SITE DESIGN & SOURCE CONTROL (LID) BMPs PER THE CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL 2018

TOPOGRAPHY SOURCE

COFFEY ENGINEERING, INC.
 9566 BUSINESSPARK AVE., SUITE 210
 SAN DIEGO, CA 92131
 TOPO SOURCE METHOD: FIELD SURVEY
 DATED MAY 2019
BENCHMARK
 NWBP, ROMERO DRIVE & ROMERO COURT
 ELEV = 462.695 ; DATUM: NAD83; CITY OF SAN DIEGO VERTICAL BENCHMARK BOOK.

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

UTILITY NOTE

THE LOCATIONS OF UTILITIES, IF ANY, SHOWN ON THIS PLAN ARE GENERATED FROM RECORDS PROVIDED BY UTILITY/GOVERNING AGENCIES AND/OR FIELD DATA COLLECTED DURING THE SURVEY. THE PLOTTING OF UTILITIES ON THIS PLAN DOES NOT CONSTITUTE A GUARANTEE OF THEIR LOCATION, DEPTH, SIZE, OR TYPE.

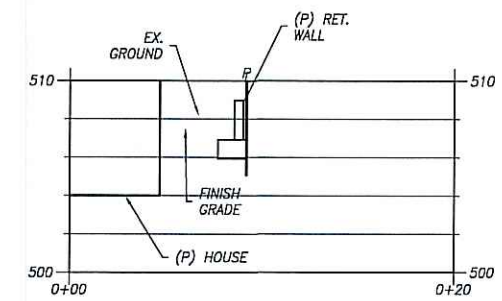
CONSTRUCTION PERMIT NOTES:

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

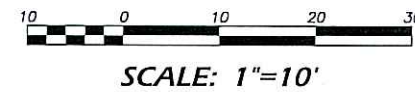
EASEMENTS

EASEMENTS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE PER THE TITLE REPORT TITLED, "PRELIMINARY REPORT", ORDER NO. 400-1992469-37 BY CALIFORNIA TITLE COMPANY, DATED: FEBRUARY 22, 2019

- AN EASEMENT FOR PRIVATE DRIVEWAY (NOT DEDICATED) AND INCIDENTAL PURPOSES THERETO AS DEDICATED AND DELINEATED ON THE TRACT MAP 1975.
 - AN EASEMENT TO THE CITY OF SAN DIEGO FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, AND RIGHTS INCIDENTAL THERETO AS PROVIDED IN AN INSTRUMENT, RECORDED 2/7/1951, AS BOOK 3967, PAGE 41, OFFICIAL RECORDS
- PLEASE NOTE THAT OTHER EASEMENTS MAY BE PRESENT ON THE SUBJECT PROPERTY.



SECTION 'A-A'
 SCALE: 1"=5'

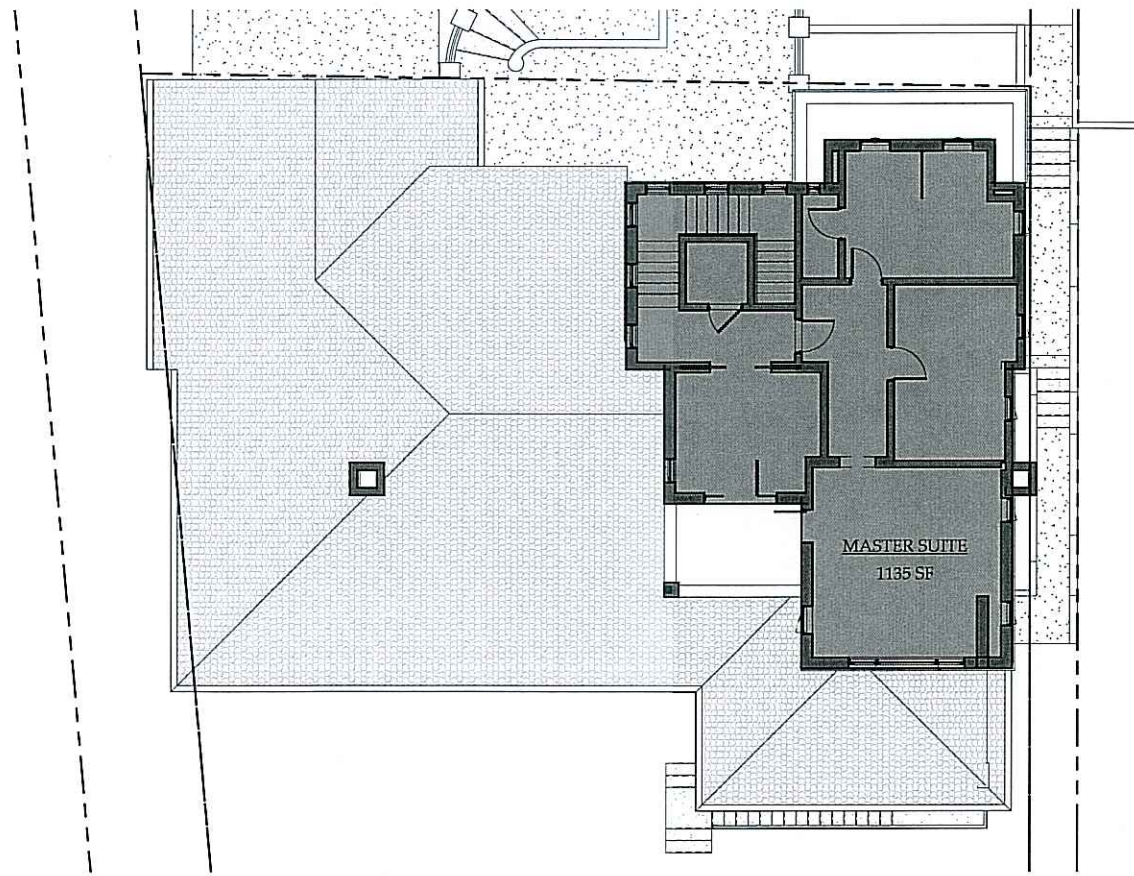


SCALE: 1"=10'

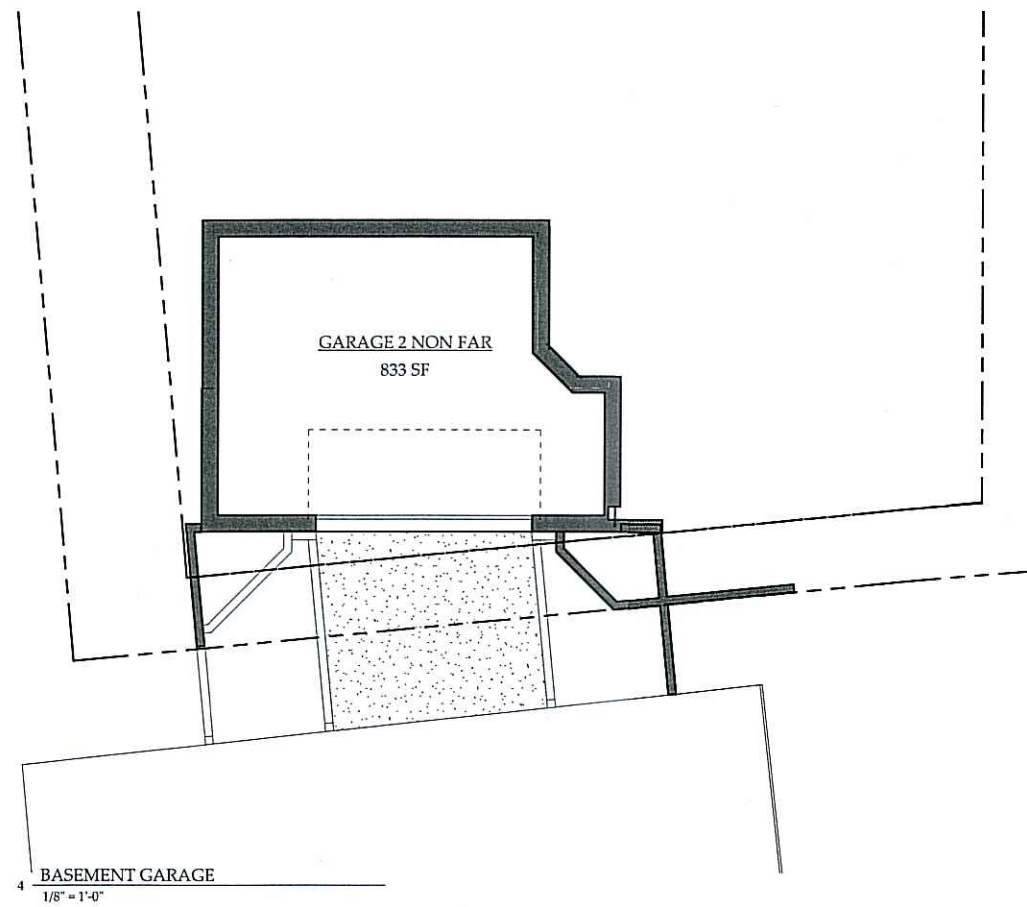


CITY OF SAN DIEGO, CALIFORNIA	
COASTAL DEVELOPMENT PERMIT	
PINTAR RESIDENCE 7342 Remly Place La Jolla, CA 92037	
ORIGINAL	9/30/19
REVISIONS	5/4/20
GRADING & DRAINAGE PLAN	
DRAWN BY:	CHECKED BY:
SHEET 1 OF 1	

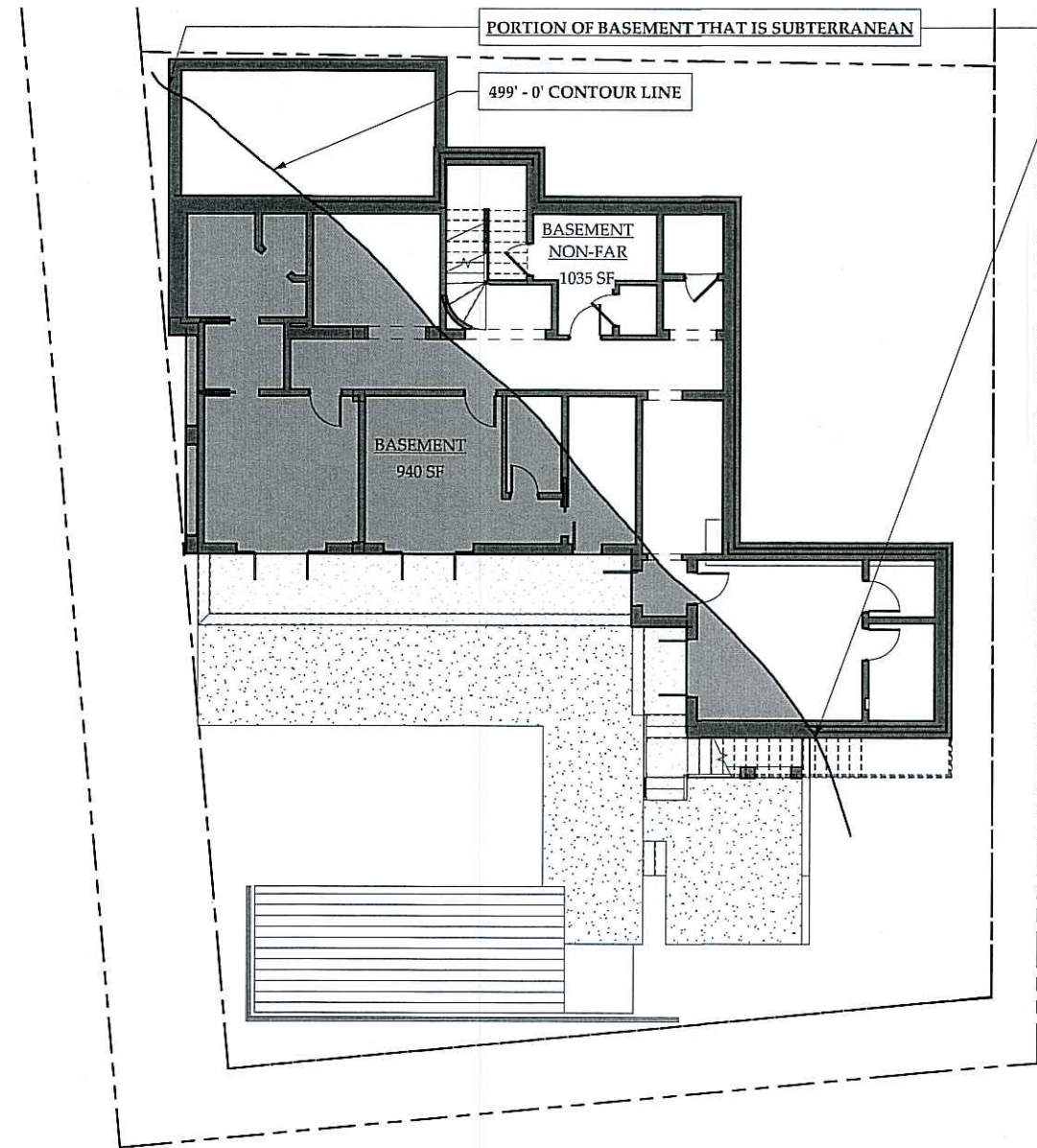
COFFEY ENGINEERING, INC.
 10660 SCRIPPS BANCH BLVD., SUITE 102, SAN DIEGO, CA 92131 PH: (619) 593-0111 FAX: (619) 593-0179



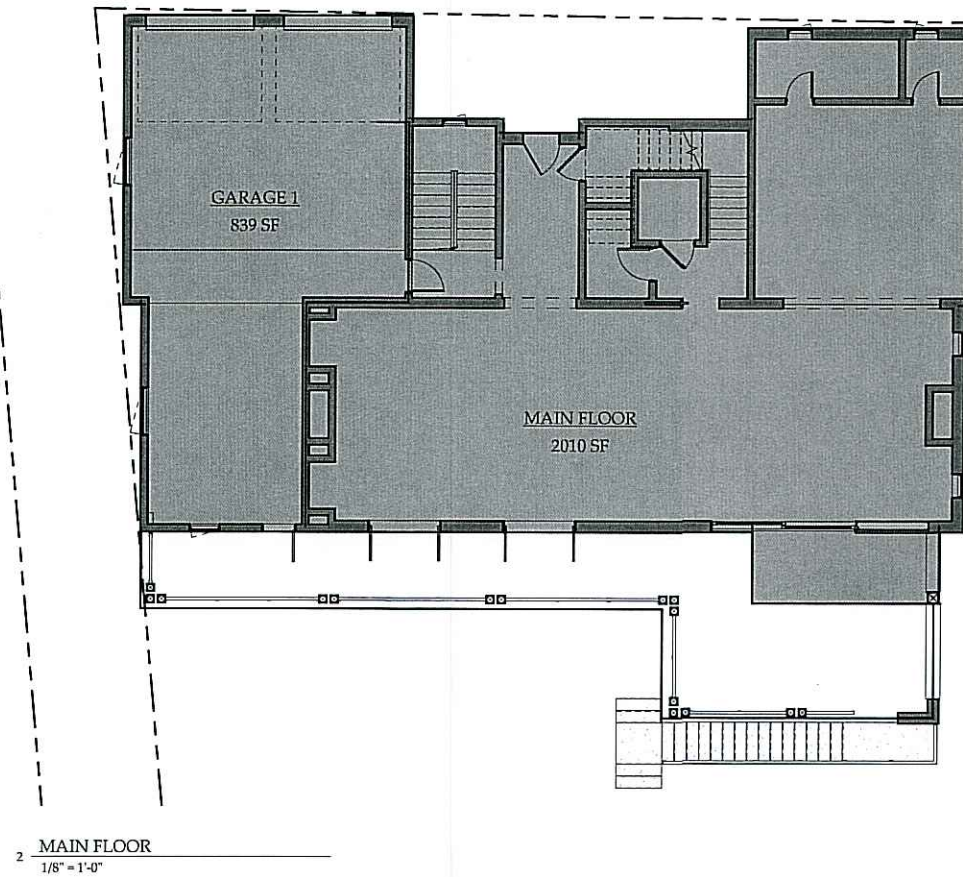
3 MASTER SUITE
1/8" = 1'-0"



4 BASEMENT GARAGE
1/8" = 1'-0"



1 BASEMENT
1/8" = 1'-0"



2 MAIN FLOOR
1/8" = 1'-0"

GROSS BUILDING AREA		
NAME	LEVEL	AREA
BASEMENT	BASEMENT	940 SF
MAIN FLOOR	MAIN FLOOR	2010 SF
GARAGE 1	MAIN FLOOR	839 SF
MASTER SUITE	SECOND FLOOR	1135 SF
Grand total: 4		4923 SF

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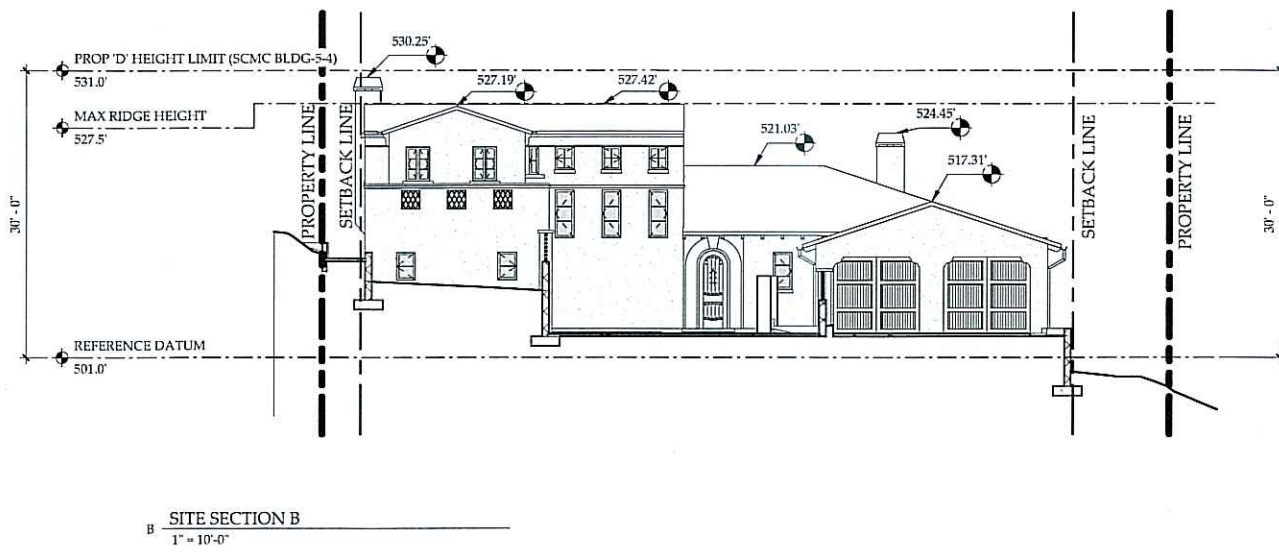
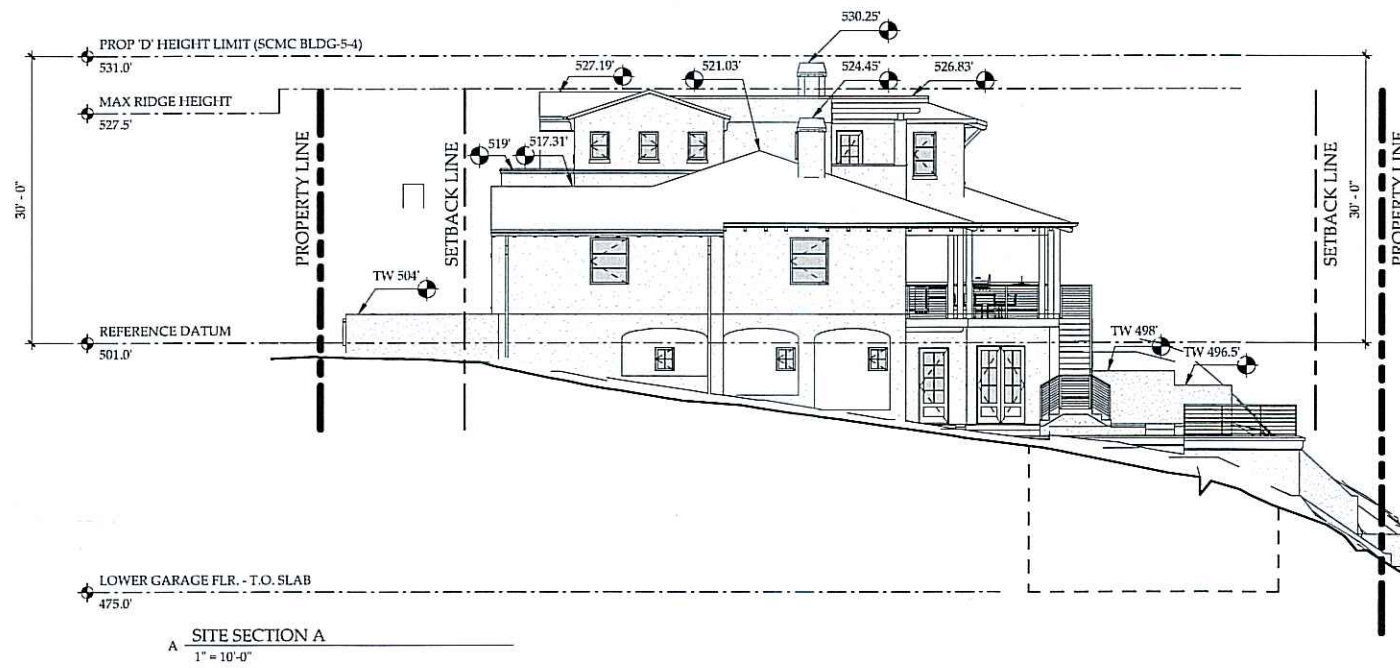
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LA JOLLA, CA 92037

ISSUE / REVISION SCHEDULE		
#	DATE	DESCRIPTION
3	05/01/2020	COASTAL DEVELOPMENT PERMIT FE SUBMITTAL

PROJECT #	DATE
2019-004	05/01/2020
SHEET TITLE:	
AREA PLANS	
SHEET NUMBER:	
A-105	
SHEET 10 OF 20	

18

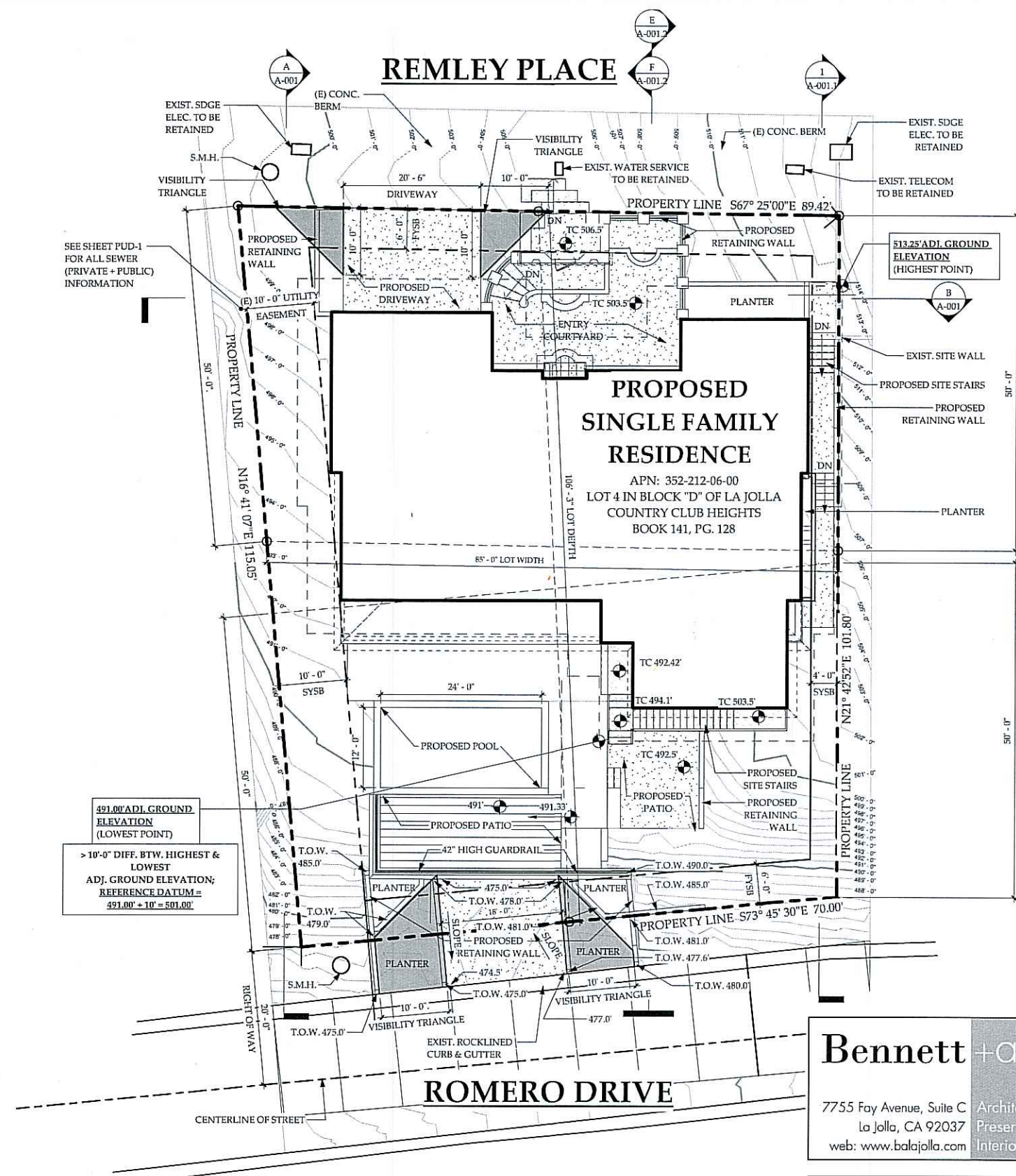


SITE PLAN NOTES:

- ALL SITE CONDITIONS ARE EXISTING U.O.N.
- ALL NEW IMPERMEABLE SURFACES, DECKS, AND ROOF DOWN SPOUTS WILL DRAIN AND DISSIPATE DIRECTLY INTO LANDSCAPE AREAS
- INTERLOCKING CONCRETE PAVERS, WHERE USED, SHALL HAVE AVERAGE COMPRESSION STRENGTH OF 8,000 PSI (55MPa) WHEN WITH NO INDIVIDUAL UNIT UNDER 7,200 PSI (50 MPa) WHEN TESTED IN ACCORDANCE WITH ASTM-C-140
- ALL RETAINING WALLS TO BE ACCORDING TO CITY STANDARD DRAWINGS, UNLESS OTHERWISE NOTED/DETAILED
- ALL MAIN DRAIN LINES TO BE 6" PVC @ 1% MIN. SLOPE U.O.N.
- ALL CATCH BASIN, WHERE USED, TO BE 4" BLACK PVC @ 2% MIN. SLOPE U.O.N.
- HARDSCAPE GRADES TO BE MIN. 1% TO DRAINS AND AWAY FROM STRUCTURE(S) SOFTSCAPE GRADES TO BE MIN. 2% TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MIN. AWAY FROM STRUCTURE(S)
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
- NO TRANSIT STOPS IN AREA
- NO FIRE HYDRANT WITHIN 60' OF PROJECT SITE
- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- NO ENCROACHMENT OR SOIL DISTURBANCE IS PROPOSED ON ADJACENT PROPERTIES
- ALL PRIVATE UTILITY IMPROVEMENTS PROPOSED WITHIN THE PUBLIC R.O.W. WILL REQUIRE AN E.M.R.A.

LANDSCAPE NOTES:

- MINIMUM TREE SEPARATION DISTANCE:
 - TRAFFIC SIGNALS/STOP SIGNS - 20 FEET
 - UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAY (ENTRIES) - 10 FEET (5' FOR RESIDENTIAL STREET < 25MPH)
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER RELATED CITY AND REGIONAL STANDARDS
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

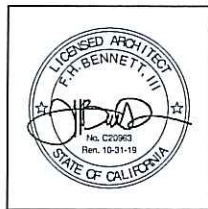


PROPOSED SITE PLAN
1" = 10'-0"

LOT SIZE:	8,988.22 SQFT
EXISTING IMPERVIOUS AREA:	3,841.32 SQFT
PROPOSED IMPERVIOUS AREA:	1,549.94 SQFT
TOTAL IMPERVIOUS AREA:	5,391.26 SQFT

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ISSUE / REVISION SCHEDULE		
#	DATE	DESCRIPTION
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2	10/30/2019	COASTAL DEVELOPMENT PERMIT SUBMITTAL
3	05/01/2020	COASTAL DEVELOPMENT PERMIT RESUBMITTAL

PROJECT #	2019-004	DATE	05/01/2020
SHEET TITLE:			
SITE PLAN			
SHEET NUMBER:			
A-001			
SHEET 2 OF 20			