

ABBREVIATIONS

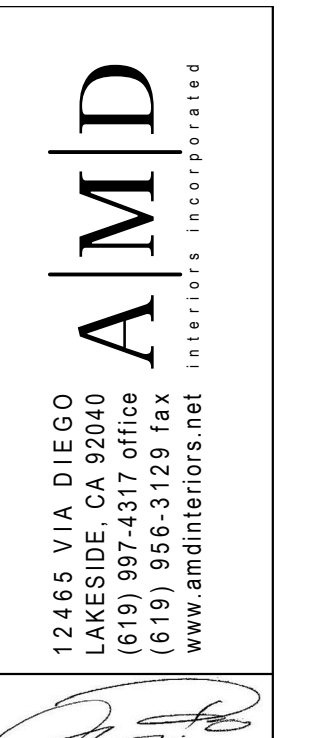
Table with multiple columns listing abbreviations and their corresponding full names (e.g., A.F.F. ABOVE FINISH FLOOR, CONC. CONSTRUCTION).

PROJECT DIRECTORY

BRIAN PREPARED FOR: (LEGAL OWNERS) BRIAN MCDONNELL 5610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA 92037 PH: (760) 943-6777

SHEET INDEX

Table with columns for SHEET INDEX, PROJECT DATA, SITE PLAN NOTES, SCOPE OF WORK, HERS TEST REQUIRED, HERS NOTES, VICINITY MAP, and ARCHITECTURAL SHEET INDEX.



GREEN BUILDING CODE REQUIREMENTS

- 1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS, B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM...

CALGREEN NOTES

- A. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH 2016 CGBCS. B. ALL NEW PLUMBING FIXTURES NEED TO BE LOW WATER USE AS FOLLOWS: TOILETS 1.28 GPF...

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE, 2016 CALIFORNIA PLUMBING CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA ELECTRICAL CODE, 2016 CALIFORNIA ENERGY CODE.

SOILS DECLARATION

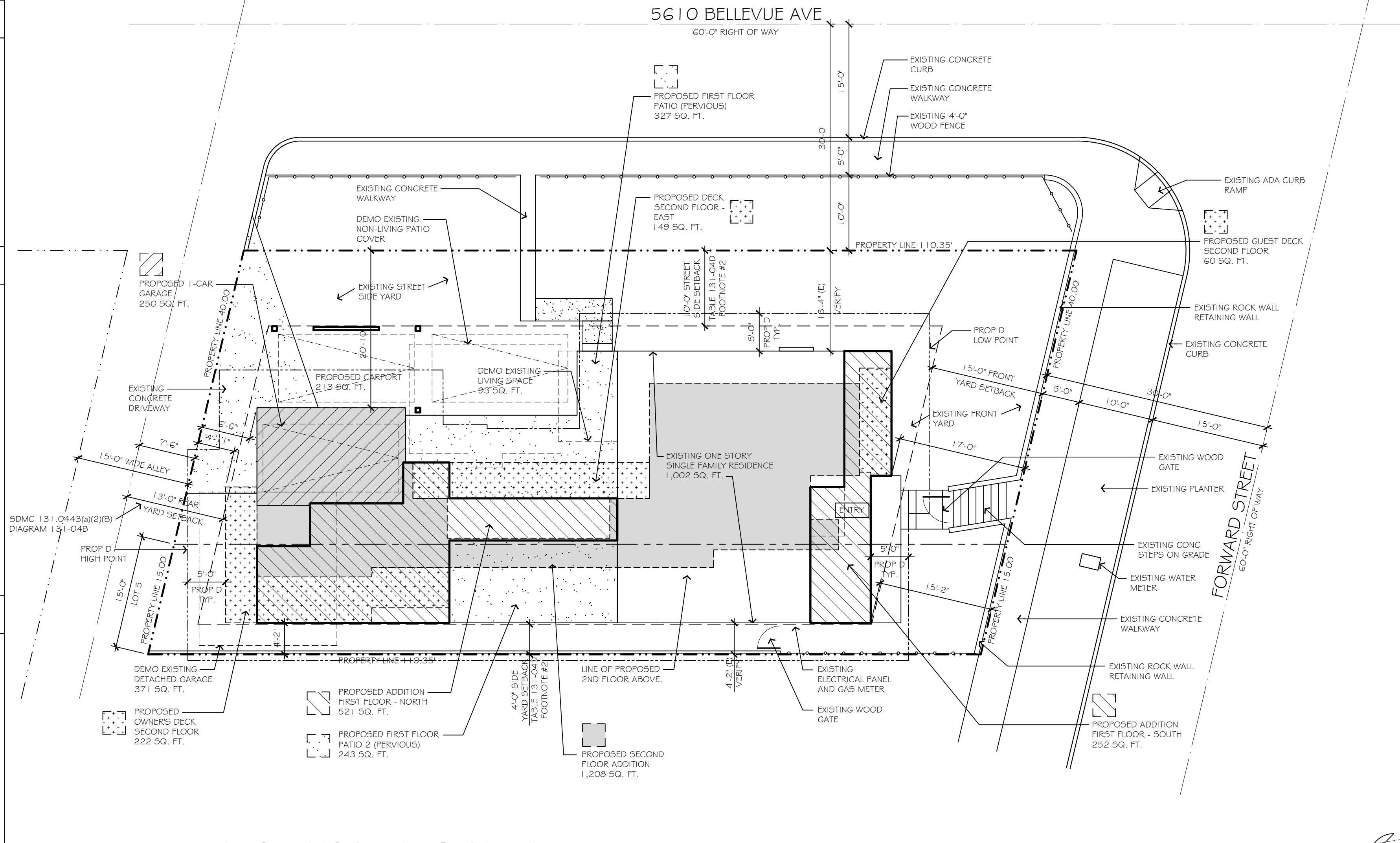
THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIBLE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION...

BLDG. DEPT. NOTES

- A. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19. B. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33...

PROP 'D' NOTES

- A. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM) S.D.M.C. SECTION 132.0505. B. A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE...



ARCHITECTURAL SITE PLAN

SCALE: 1" = 10'-0"

Vertical sidebar containing project details: BELLEVUE RESIDENCE, 2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA. Includes a REVISIONS table and SHEET No. TS-1 OF SHEETS.

△ BLDG DEPT NOTES

A. THE PROJECT PROPOSES TO EXPORT 10 CUBIC YARDS OF MATERIALS FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

△ BMP NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL. BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
  - THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
  - ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
  - THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
  - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
  - THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICH EVER IS SOONER.
  - IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
  - EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
  - THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
  - THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
  - THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
  - ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED, PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
  - AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR, IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
  - THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
  - CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TQ-1 OR CALTRANS FACT SHEET TO-1 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 1' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

ESTIMATED GRADING QUANTITIES

A. TOTAL DISTURBANCE AREA:	2,194 SQ. FT.
B. EXISTING AMOUNT OF IMPERVIOUS AREA:	2,176 SQ. FT.
C. PROPOSED AMOUNT OF IMPERVIOUS AREA:	432 SQ. FT.
D. TOTAL IMPERVIOUS AREA:	2,608 SQ. FT.
E. IMPERVIOUS % INCREASE:	19.9%
F. CUT QUANTITIES:	10 CU. YD.
G. FILL QUANTITIES:	0 CU. YD.
H. IMPORT:	0 CU. YD.
I. EXPORT:	10 CU. YD.
J. MAX CUT DEPTH:	1'-6"
K. MAX FILL DEPTH:	0'-0"

BMP LEGEND

APPROXIMATE AREA OF DISTURB SOIL: 2,194 SQ. FT.

TEMPORARY RUNOFF CONTROL BMPs

- SS-2 PRESERVATION OF EXISTING VEGETATION
- SS-6 STRAWWOOD MULCH
- SC-5 FIBER ROLLS
- SC-7 STREET SWEEPING AND VACUUMING
- SC-8 GRAVEL/SAND BAG BARRIER

MATERIAL & WASTE MANAGEMENT CONTROL BMPs

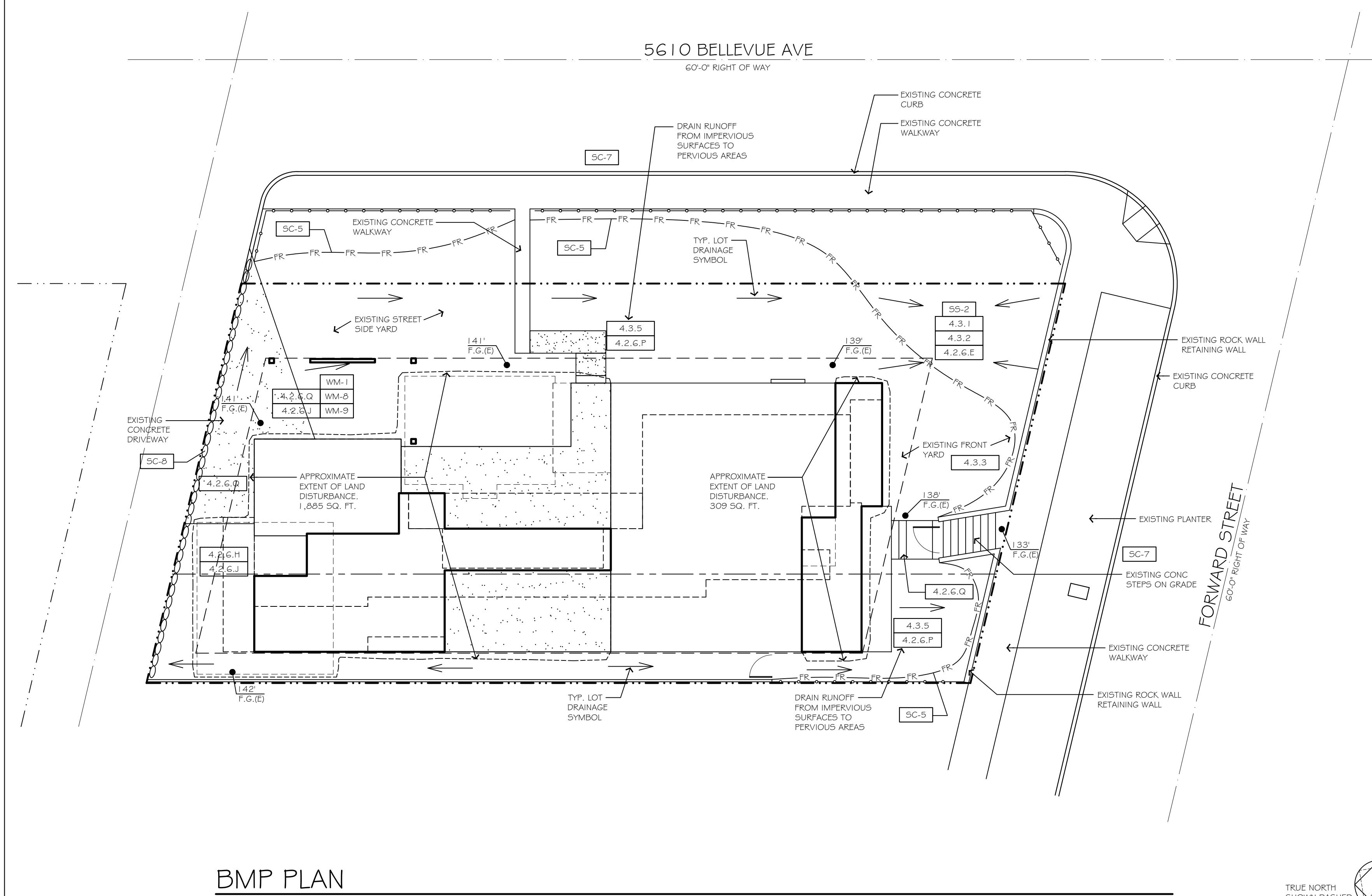
- WM-1 MATERIAL DELIVERY AND STORAGE
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT

POST-CONSTRUCTION SITE DESIGN BMPs

- 4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGICAL FEATURES
- 4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
- 4.3.3 MINIMIZE IMPERVIOUS AREA
- 4.3.5 DRAIN RUNOFF FROM IMPERVIOUS SURFACES TO PERVIOUS AREAS

POST-CONSTRUCTION SOURCE CONTROL BMPs

- 4.2.G.E LANDSCAPE / OUTDOOR PESTICIDE USE
- 4.2.G.H PROPER DESIGN OF TRASH STORAGE AREAS
- 4.2.G.J PROPER DESIGN OF OUTDOOR MATERIAL STORAGE AREAS
- 4.2.G.P MISCELLANEOUS DRAIN OR WASH WATER
- 4.2.G.Q PLAZAS, SIDEWALKS, DRIVEWAYS, AND PARKING LOTS
- DIRECTION OF LOT DRAINAGE



BMP PLAN  
SCALE: 1"=10'-0"

12465 VIA DIEGO  
LAKESIDE, CA 92040  
(619) 963-3123  
www.amdinteriors.net

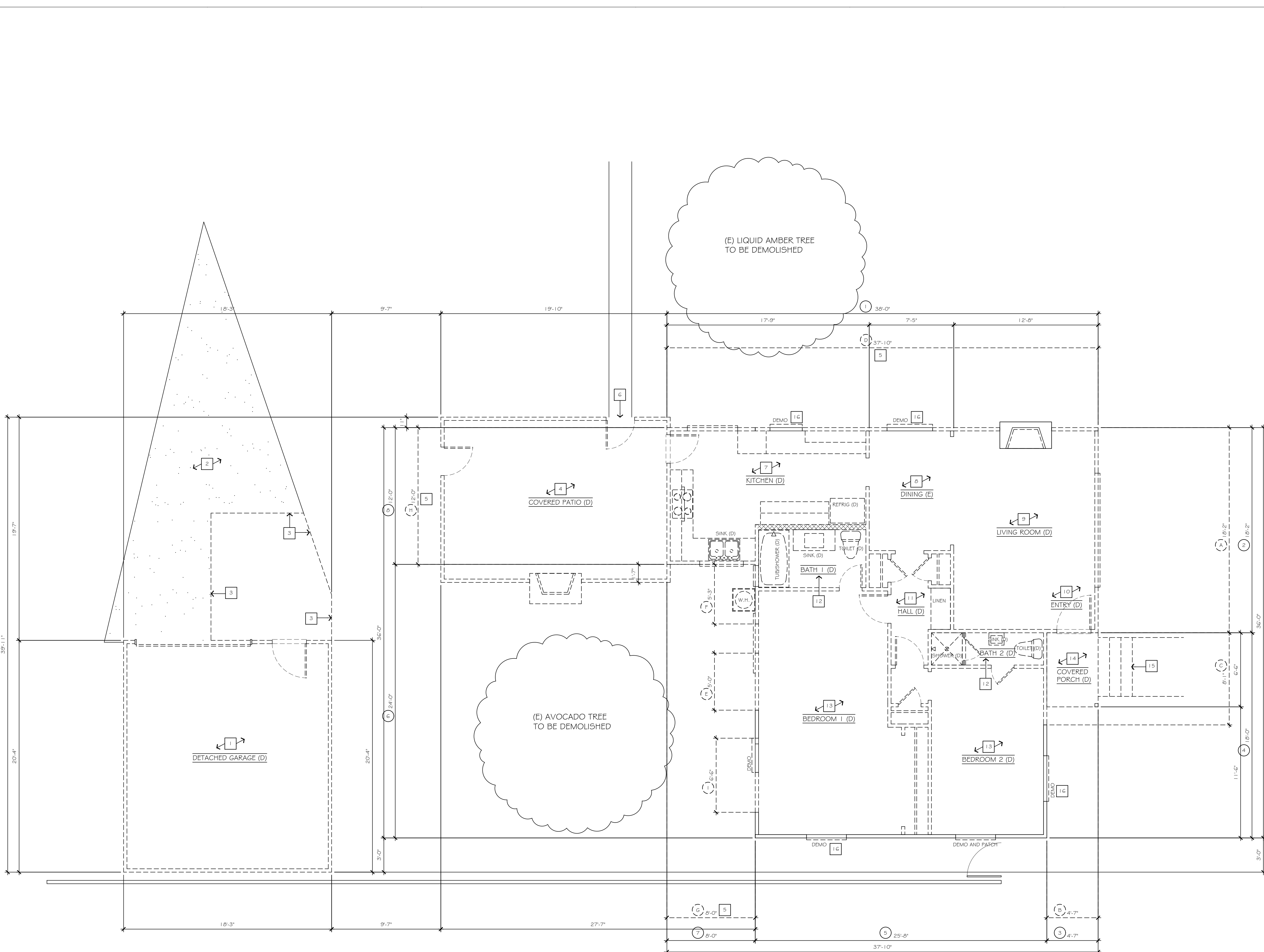
AMDI  
INTERIORS INCORPORATED

REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

**BMP-1**  
OF SHEETS



**EXISTING FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**NOTES**

A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.

B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.

C. VERIFY ALL EXISTING DIMENSIONS ON SITE.

D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

E. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.

F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

G. EXERCISE CAUTION WHEN DEMOLISHING THE WALLS AND ROOMS NOTED. IT IS IMPORTANT THAT THE "DEMO WALL CALCULATIONS" ARE ADHERED TO IN ORDER TO COMPLY WITH CITY DEMOLITION GUIDELINES.

- NUMBERED NOTES**
- 1 DEMO EXISTING DETACHED GARAGE IN ITS ENTIRETY, INCLUDING THE FOUNDATION SYSTEM. THIS STRUCTURE IS NOT REQUIRED TO BE PART OF THE DEMOLITION CALCULATION. THIS STRUCTURE IS INCLUDED IN THE EXISTING IMPERVIOUS CALCULATION.
  - 2 EXISTING CONCRETE DRIVEWAY. EXISTING DRIVEWAY CO-PLANES WITH EXISTING ADJACENT ALLEY.
  - 3 DEMO A PORTION OF THE EXISTING CONCRETE DRIVEWAY TO ACCOMMODATE NEW CONSTRUCTION.
  - 4 DEMO EXISTING COVERED PATIO IN ITS ENTIRETY, INCLUDING THE FOUNDATION SYSTEM. THIS STRUCTURE IS NOT REQUIRED TO BE PART OF THE DEMOLITION CALCULATION. THIS STRUCTURE IS INCLUDED IN THE EXISTING IMPERVIOUS CALCULATION.
  - 5 DEMO 7'-9" X 12'-0" PORTION OF EXISTING KITCHEN IN ITS ENTIRETY. PREPARE AREA FOR NEW CONSTRUCTION.
  - 6 PREPARE EXISTING WALKWAY FOR EXTENSION OF WALKWAY TO NEW FIRST FLOOR DECK. REFER TO PROPOSED FIRST FLOOR PLAN.
  - 7 DEMO EXISTING KITCHEN IN ITS ENTIRETY.
  - 8 DEMO EXISTING DINING ROOM IN ITS ENTIRETY.
  - 9 DEMO EXISTING LIVING ROOM IN ITS ENTIRETY.
  - 10 DEMO EXISTING ENTRY IN ITS ENTIRETY.
  - 11 DEMO EXISTING HALL IN ITS ENTIRETY.
  - 12 DEMO EXISTING BATHROOM IN ITS ENTIRETY.
  - 13 DEMO EXISTING BEDROOM IN ITS ENTIRETY.
  - 14 DEMO EXISTING COVERED PORCH IN ITS ENTIRETY.
  - 15 DEMO A PORTION OF THE EXISTING ENTRY WALKWAY TO ACCOMMODATE NEW CONSTRUCTION.
  - 16 DEMO WINDOW OR DOOR AS NOTED. NEW HEADER TO BE AT 8" AFF

**AREA CALCULATIONS**

EXISTING LIVING SPACE	1,095 SQ. FT.
EXISTING LIVING SPACE TO BE DEMOLISHED	93 SQ. FT.
EXISTING LIVING SPACE TO REMAIN	1,002 SQ. FT.
EXISTING DETACHED GARAGE TO BE DEMOLISHED	371 SQ. FT.

**DEMO WALL CALCULATION**

EXISTING PERIMETER WALL LENGTHS (1)

1. 38'-0"
2. 18'-2"
3. 4'-7"
4. 18'-0"
5. 25'-8"
6. 24'-0"
7. 8'-0"
8. 12'-0"

TOTAL PERIMETER WALL LENGTH = 148'-5"  
50% OF 148'-5" = 74'-3"  
MAXIMUM WALL LENGTH ALLOWED TO BE REMOVED = 74'-3" (50%)

EXISTING WALLS TO BE REMOVED (A)

- A. 18'-2"
- B. 4'-7"
- C. 8'-11"
- D. 37'-10"
- E. 5'-0"
- F. 5'-3"
- G. 8'-0"
- H. 12'-0"
- I. 6'-6"

TOTAL WALL LENGTH TO BE REMOVED = 106'-5"  
106'-5" / 148'-5" = 71.7%

**FLOOR PLAN WALL LEGEND**

	DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING)
	EXISTING STUD WALL (VERIFY SIZE AND SPACING)
	NEW WALL TO CO-PLANE WITH EXISTING WALL
	NEW OPENING, DOOR OR WINDOW IN EXISTING WALL
	2x4 FRAMED STUD WALL (2x4 STUDS AT 16" O.C.)
	2x6 FRAMED STUD WALL (2x6 STUDS AT 16" O.C.) U.O.N.

12465 VIA DIEGO  
LAKESIDE, CA 92040  
(619) 964-3121  
(619) 964-3123  
www.amdinteriors.net

REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.  
**A-1**  
OF SHEETS

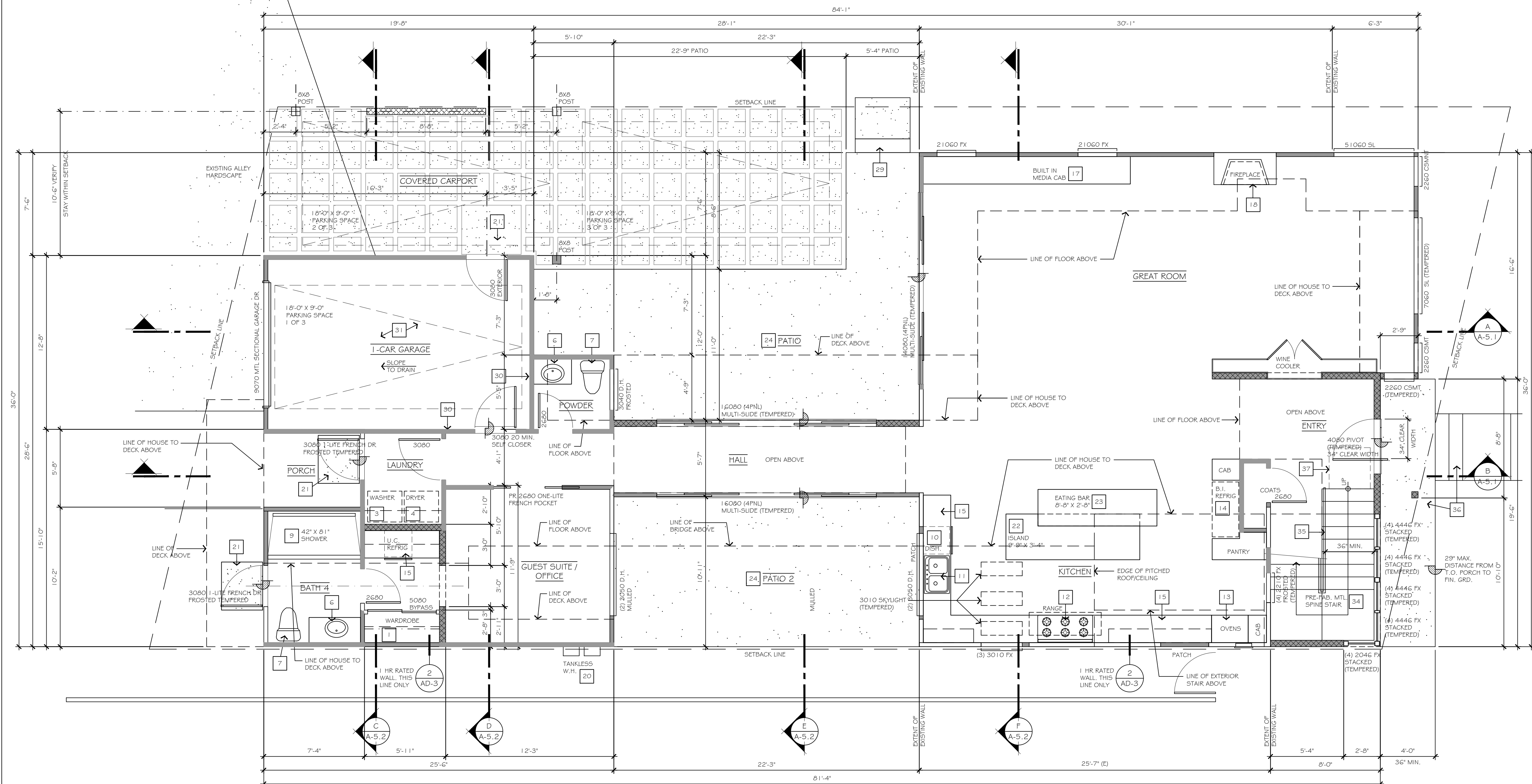


NUMBERED NOTES

- 1 REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THE SHELF AND POLE SYSTEM AT WARDROBE CLOSETS.
- 2 PROVIDE 15" WIDE SHELVES AT STORAGE CLOSETS AND PANTRY CLOSETS. 5 SHELVES HIGH WITH SUPPORT CLEAT AT BOTTOM. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 3 SPACE FOR WASHING MACHINE. PROVIDE RECESSED PLUMBING HOOK-UP FOR WASHER. OWNER TO VERIFY APPLIANCE.
- 4 SPACE FOR DRYER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR DRYER VENT REQUIREMENTS. OWNER TO VERIFY APPLIANCE.
- 5 HARDSURFACE COUNTERTOP AND LAUNDRY CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 6 HARDSURFACE COUNTERTOP AND BATHROOM CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 30" WIDE MIN. WATER CLOSET SPACE. 15" MIN. CLEAR FROM CENTER OF FIXTURE TO ANY SIDE WALL OR OBSTRUCTION. PROVIDE 24" MIN. CLEAR SPACE IN FRONT OF WATER CLOSET FIXTURE. OWNER TO VERIFY FIXTURE.
- 8 32" X 60" TUBSHOWER WITH NON-ABSORBENT HARD-SURFACE WALL FINISH TO 6'-0" HT. MIN. PROVIDE A SHOWER HEAD STUB-OUT AT 7'-0" HT. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 9 JOB SITE MUD SET SHOWER PAN (SIZE PER PLAN). SLOPE FLOOR TO TROUGH STYLE DRAIN. PROVIDE NON-ABSORBENT WAINSCOT WALLS TO CEILING OR MINIMUM 6'-0" HT. PROVIDE 4" WIDE X 4" TALL CURBS WITH MATCHING NON-ABSORBENT HARDSURFACE FINISH MATERIAL. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS DOOR. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. SHOWER STALL TO PROVIDE A MINIMUM 30" WIDE CLEAR WIDTH AND A MINIMUM 90" SQ. IN. OF USABLE FLOOR SPACE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 10 SPACE FOR 24" WIDE UNDER COUNTER DISHWASHER. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 11 DOUBLE BOWL DROP-IN STYLE SINK WITH GARBAGE DISPOSAL. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 12 48" WIDE DROP-IN DUEL FUEL COOKTOP WITH SURFACE MOUNTED EXHAUST HOOD ABOVE. ROUTE EXHAUST THROUGH ROOF SYSTEM TO OUTSIDE AIR. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 13 30" WIDE BUILT-IN CABINERY FOR OVEN APPLIANCE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 14 SPACE FOR 48" WIDE BUILT-IN STYLE REFRIGERATOR. PROVIDE RECESS PLUMBING FOR WATER AMENITIES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 HARDSURFACE COUNTERTOP AND KITCHEN CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 16 36" X 72" FREE-STANDING OVAL SOAKING TUB. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 17 BUILT-IN CABINERY. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 18 PRE-FABRICATED GAS ONLY METAL BOX FIREPLACE. MANUFACTURED BY: 'HEATILATOR'. MODEL: LEGACY42 (OR EQUIVALENT). ANSI REPORT NO. Z21.88-2017. UL127 LISTED.
- 19 MIN. 22" X 30" ATTIC ACCESS. ACCESS OPENING MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF HVAC EQUIPMENT.
- 20 GAS FIRED TANK-LESS WATER HEATER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR ADDITIONAL INFORMATION. OWNER TO VERIFY APPLIANCE.
- 21 PROVIDE A CONCRETE STOOP. WIDTH OF STOOP TO BE AS WIDE AS THE DOOR BEING SERVED. LENGTH OF STOOP TO BE 36" MIN. IN THE DIRECTION OF TRAVEL. SLOPE TO DRAIN, 2% MIN., AWAY FROM BUILDING.
- 22 9'-9" X 3'-4" HARDSURFACE ISLAND COUNTERTOP OVER WRAP AROUND BASE CABINETS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 23 8'-8" X 2'-8" HARDSURFACE EATING BAR. EATING BAR TO BE AT A RAISED HT. ABOVE ISLAND COUNTERTOP WITH TABLE STYLE SUPPORT. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- 24 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 25 CLASS 'A' RUBBERIZED DECK TOPPING BY 'PLI-DEK' OR EQUIVALENT. ICC ESR 2097
- 26 PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 27 TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 28 TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 29 OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STOOP AT FINISH GRADE. 1 1/2" TREADS (10" MIN. PER CODE). 7 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 30 PROVIDE 1/2" GYP. BD. AT GARAGE WALLS ADJACENT TO AND/OR SUPPORTING LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- 31 PROVIDE 5/8" TYPE 'Y' GYP. BD. AT GARAGE CEILING AND SUPPORT BEAMS, ADJACENT TO LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- 32 PRE-FABRICATED EXTERIOR METAL SPIRAL STAIR BETWEEN OWNERS DECK AND ROOF DECK No. 2. REFER TO SHOP DRAWING (SHEET ST-1) FOR ADDITIONAL INFORMATION.
- 33 PRE-FABRICATED EXTERIOR METAL SPIRE STAIR BETWEEN SECOND FLOOR LOFT AND ROOF DECK. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET S-2) FOR ADDITIONAL INFORMATION.
- 34 PRE-FABRICATED INTERIOR METAL SPIRE STAIR BETWEEN FIRST FLOOR AND SECOND FLOOR. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET S-1) FOR ADDITIONAL INFORMATION.
- 35 CABLE RAIL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 36 NEW CONCRETE PORCH AND STEPS ON GRADE. NEW STEPS TO BE NO MORE THAN 3 RISERS PER STAIR RUN. VERIFY QUANTITY OF RISERS NEEDED TO GET FROM WALKWAY TO PORCH. 7 3/4" MAX. RISER. 10" MIN. TREAD.
- 37 PROVIDE A MINIMUM 36" DEEP FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY.

FLOOR PLAN NOTES

- A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- C. VERIFY ALL EXISTING DIMENSIONS ON SITE.
- D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- E. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- G. ALL NEW WINDOWS TO BE MANUFACTURED BY: MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL) WINDOWS TO BE OF THE '511E' LINE SERIES. ALL NEW WINDOWS TO HAVE VINYL FRAMES WITH CLEAR DUAL GLAZED PANES. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MULLION BARS.
- H. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PENETRATION RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- I. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED.
- J. EFFECTIVE FLUSH VOLUMES FOR ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS NOT TO EXCEED 1.28 G.P.F. ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS TO BE ASME A11.2.19.2-2008 AND A11.2.19.14-2006(R2011) LABELED.
- K. ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE 'LEAD-FREE' IN COMPLIANCE WITH CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 116875-80 (AS 1995, JANUARY 1, 2010, AND SHALL BE CERTIFIED BY AN INDEPENDENT ANSI ACCREDITED AGENCY AS BEING IN COMPLIANCE WITH THIS REQUIREMENT. C.P.C. 301.0.
- L. SANITARY WASTE PIPING TO BE SLOPED NOT SHALLower THAN 1/4":1.2 C.P.C. 708.0
- M. PROVIDE A CLEANOUT AT DRAIN LINES WHERE AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDS 135 DEGREES AND AT DRAIN LINES 10 FEET OR LONGER THAT ARE NO STRAIGHT-LINE PROJECTIONS OF A DRAIN LINE WITH A CLEANOUT. CLEANOUTS SHALL BE INSTALLED SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW IN THE SOIL OR WASTE PIPE OR AT RIGHT ANGLES THERE TO, AND EXCEPT IN THE CASE OF A WYE BRANCH AND END-OF-LINE CLEANOUTS, VERTICALLY ABOVE THE FLOW OF THE PIPE. C.P.C. 707.0, 713.0
- N. SHOWER DRAINS MUST BE LISTED AND MARKED PRODUCT(S) FOR SPECIFIC USE. C.P.C. 301.1.2, 411.6 & 411.8
- O. SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS SHALL BE EQUIPPED WITH A TEMPERATURE LIMITING DEVICE SET TO A MAXIMUM 120 DEGREES.
- P. REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- Q. SKYLIGHTS (PER PLAN) BY "VELUX" (OR EQUIVALENT), CURB MOUNT, "VCE" MODEL (OR EQUIVALENT), USE EX-199. INSTALL PER MFR. SPECS.
- R. MIN. DECK SLOPE TO BE 1/4" PER FOOT
- S. THIS SYMBOL (A-5.1), LOCATED AT AN EXTERIOR DOOR, REPRESENTS A CHANGE IN FLOOR LEVEL ACROSS AN EXTERIOR DOOR. 7 3/4" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT IN-SWING HINGED DOORS AND SLIDING DOORS. 1 1/2" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT OUT-SWING HINGED DOOR. REFER TO DETAIL FOR ADDITIONAL INFORMATION.



PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

AREA CALCULATIONS

EXISTING LIVING SPACE	1,095 SQ. FT.
EXISTING LIVING SPACE TO BE DEMOLISHED	93 SQ. FT.
EXISTING LIVING SPACE TO REMAIN	1,002 SQ. FT.
PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH)	252 SQ. FT.
PROPOSED FIRST FLOOR ADDITION (REAR/NORTH)	521 SQ. FT.
TOTAL FIRST FLOOR LIVING SPACE	1,775 SQ. FT.
PROPOSED SECOND FLOOR ADDITION	1,208 SQ. FT.
PROPOSED TOTAL LIVING SPACE	2,983 SQ. FT.
EXISTING DETACHED GARAGE TO BE DEMOLISHED	371 SQ. FT.
PATIO	327 SQ. FT.
PATIO 2	243 SQ. FT.
DECK - SECOND FLOOR - EAST	149 SQ. FT.
GUEST DECK	52 SQ. FT.
OWNERS DECK	222 SQ. FT.
ROOF DECK	142 SQ. FT.
ROOF DECK 2	637 SQ. FT.
1-CAR GARAGE	250 SQ. FT.
CARPOT	213 SQ. FT.
PROPOSED TOTAL NON-LIVING SPACE	2,235 SQ. FT.

FLOOR PLAN WALL LEGEND

- DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- ===== NEW WALL TO CO-PLANE WITH EXISTING WALL
- NEW OPENING, DOOR OR WINDOW IN EXISTING WALL
- 2X4 FRAMED STUD WALL (2X4 STUDS AT 16" O.C.)
- 2X6 FRAMED STUD WALL (2X6 STUDS AT 16" O.C.) U.O.N.

REVISIONS	BY

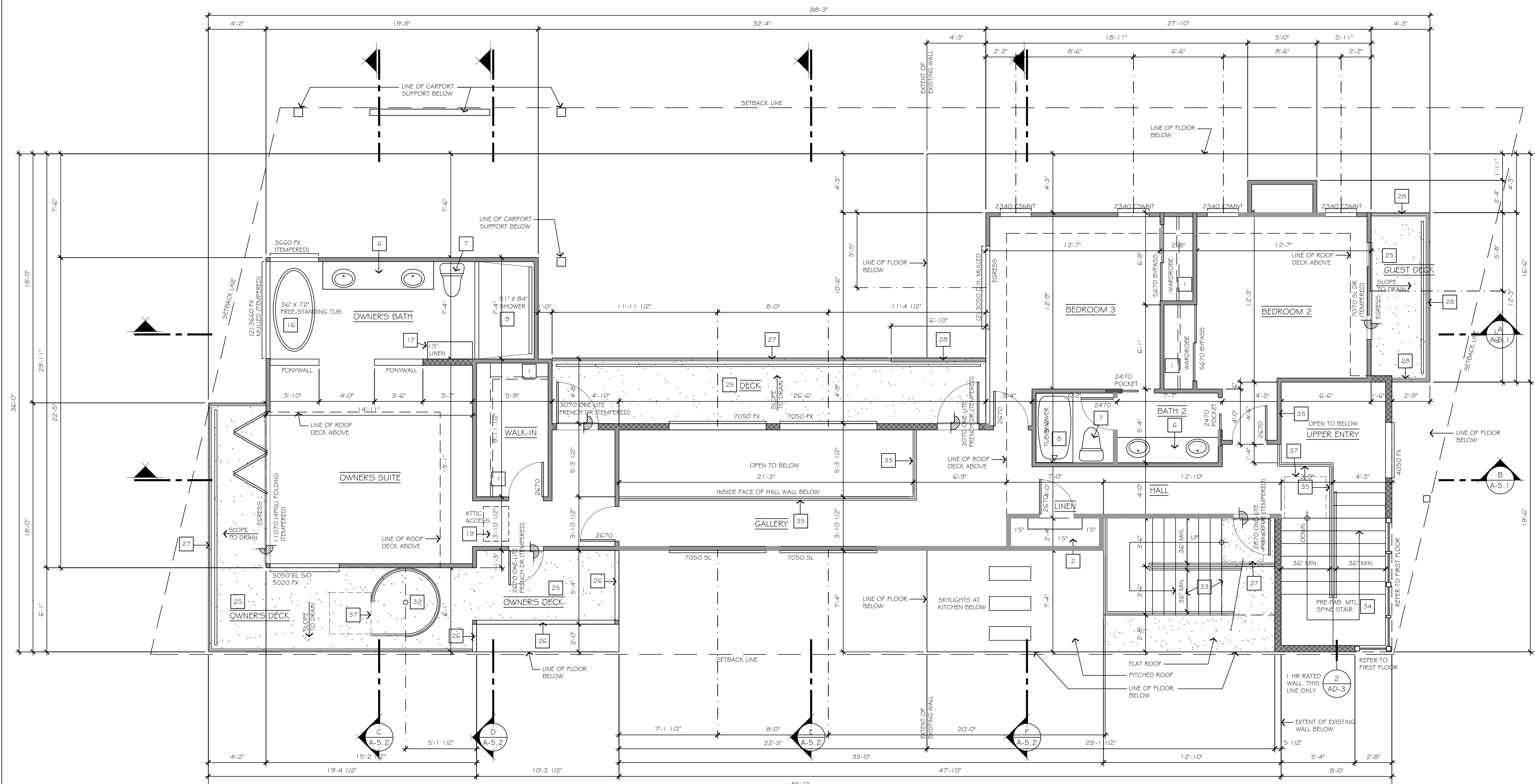
DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

## NUMBERED NOTES

- |   |   |  |  |
|---|---|--|--|
| <p><b>1</b> REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THE SHELF AND POLE SYSTEM AT WARDROBE CLOSETS.</p> <p><b>2</b> PROVIDE 15" WIDE SHELVES AT STORAGE CLOSETS AND PANTRY CLOSETS. 5 SHELVES HIGH WITH SUPPORT CLEAT AT BOTTOM. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>3</b> SPACE FOR WASHING MACHINE. PROVIDE RECESSED PLUMBING HOOK-UP FOR WASHER. OWNER TO VERIFY APPLIANCE.</p> <p><b>4</b> SPACE FOR DRYER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR DRYER VENT REQUIREMENTS. OWNER TO VERIFY APPLIANCE.</p> <p><b>5</b> HARDSURFACE COUNTERTOP AND LAUNDRY CABINETS BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>6</b> HARDSURFACE COUNTERTOP AND BATHROOM CABINETS BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>7</b> 30" WIDE MIN. WATER CLOSET SPACE. 15" MIN. CLEAR FROM CENTER OF FIXTURE TO ANY SIDE WALL OR OBSTRUCTION. PROVIDE 24" MIN. CLEAR SPACE IN FRONT OF WATER CLOSET FIXTURE. OWNER TO VERIFY FIXTURE.</p> <p><b>8</b> 32" X 60" TUBSHOWER WITH NON-ABSORBENT HARD-SURFACE WALL FINISH TO 6'-0" HT. MIN. PROVIDE A SHOWER HEAD STUB-OUT AT 7'-0" HT. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> | <p><b>9</b> JOB SITE MUD SET SHOWER PAN (SIZE PER PLAN). SLOPE FLOOR TO TROUGH STYLE DRAIN. PROVIDE NON-ABSORBENT WAINSCOT WALLS TO CEILING OR MINIMUM 6'-0" HT. PROVIDE 4" WIDE X 4" TALL CURBS WITH MATCHING NON-ABSORBENT HARDSURFACE FINISH MATERIAL. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS DOOR. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. SHOWER STALL TO PROVIDE A MINIMUM 30" WIDE CLEAR WIDTH AND A MINIMUM 900 SQ. IN. OF USABLE FLOOR SPACE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>10</b> SPACE FOR 24" WIDE UNDER COUNTER DISHWASHER. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>11</b> DOUBLE BOWL DROP-IN STYLE SINK WITH GARBAGE DISPOSAL. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>12</b> 48" WIDE DROP-IN DUET FUEL COOKTOP WITH SURFACE MOUNTED EXHAUST HOOD ABOVE. ROUTE EXHAUST THROUGH ROOF SYSTEM TO OUTSIDE AIR. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>13</b> 30" WIDE BUILT-IN CABINETS FOR OVEN APPLIANCE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>14</b> SPACE FOR 48" WIDE BUILT-IN STYLE REFRIGERATOR. PROVIDE RECESS PLUMBING FOR WATER APPLIANCES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>15</b> HARDSURFACE COUNTERTOP AND KITCHEN CABINETS BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>16</b> 36" X 72" FREE-STANDING OVAL SOAKING TUB. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> | <p><b>17</b> BUILT-IN CABINETS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>18</b> PRE-FABRICATED GAS ONLY METAL BOX FIREPLACE. MANUFACTURED BY: "HEATILATOR". MODEL: LEGACY42 (OR EQUIVALENT). ANSI REPORT NO. Z21.88-2017. UL127 LISTED.</p> <p><b>19</b> MIN. 22" X 30" ATTIC ACCESS. ACCESS OPENING MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF HVAC EQUIPMENT.</p> <p><b>20</b> GAS FIRED TANK-LESS WATER HEATER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR ADDITIONAL INFORMATION. OWNER TO VERIFY APPLIANCE.</p> <p><b>21</b> PROVIDE A CONCRETE STOOPT. WIDTH OF STOOPT TO BE AS WIDE AS THE DOOR BEING SERVED. LENGTH OF STOOPT TO BE 36" MIN. IN THE DIRECTION OF TRAVEL. SLOPE TO DRAIN, 2% MIN., AWAY FROM BUILDING.</p> <p><b>22</b> 9'-9" X 3'-4" HARDSURFACE ISLAND COUNTERTOP OVER WRAP AROUND BASE CABINETS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>23</b> 8'-8" X 2'-8" HARDSURFACE EATING BAR. EATING BAR TO BE AT A RAISED HT. ABOVE ISLAND COUNTERTOP WITH "TABLE STYLE" SUPPORT. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>24</b> 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>25</b> CLASS 'A' RUBBERIZED DECK TOPPING BY "PLI-DEK" OR EQUIVALENT. ICC ESR 2097</p> <p><b>26</b> PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> | <p><b>27</b> TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>28</b> TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>29</b> OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STOOPT AT FINISH GRADE. 11" TREADS (10" MIN. PER CODE). 7 3/4" MAX RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>30</b> PROVIDE 1/2" GYP. BD. AT GARAGE WALLS ADJACENT TO AND/OR SUPPORTING LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.</p> <p><b>31</b> PROVIDE 5/8" TYPE 'Y' GYP. BD. AT GARAGE CEILING AND SUPPORT BEAMS, ADJACENT TO LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.</p> <p><b>32</b> PRE-FABRICATED EXTERIOR METAL SPIRAL STAIR BETWEEN OWNERS DECK AND ROOF DECK No. 2. REFER TO SHOP DRAWING (SHEET ST-1) FOR ADDITIONAL INFORMATION.</p> <p><b>33</b> PRE-FABRICATED EXTERIOR METAL SPIRE STAIR BETWEEN SECOND FLOOR LOFT AND ROOF DECK. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET S-2) FOR ADDITIONAL INFORMATION.</p> <p><b>34</b> PRE-FABRICATED INTERIOR METAL SPIRE STAIR BETWEEN FIRST FLOOR AND SECOND FLOOR. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET S-1) FOR ADDITIONAL INFORMATION.</p> |
|---|---|--|--|

## FLOOR PLAN NOTES

- A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- C. VERIFY ALL EXISTING DIMENSIONS ON SITE.
- D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- E. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- G. ALL NEW WINDOWS TO BE MANUFACTURED BY: MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL) WINDOWS TO BE OF THE "STYLE LINE" SERIES. ALL NEW WINDOWS TO HAVE VINYL FRAMES WITH CLEAR DUAL GLAZED PANE. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MULLION BARS.
- H. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PENETRATION RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- I. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED.
- J. EFFECTIVE FLUSH VOLUMES FOR ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS NOT TO EXCEED 1.28 G.P.F. ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS TO BE ASME A112.19.2-2008 AND A112.19.14-2006(R2011) LABELED.
- K. ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE "LEAD-FREE" IN COMPLIANCE WITH CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 116375-80 (AS 1953, JANUARY 1, 2010), AND SHALL BE CERTIFIED BY AN INDEPENDENT ANSII ACCREDITED AGENCY AS BEING IN COMPLIANCE WITH THIS REQUIREMENT. C.P.C. 301.0.
- L. SANITARY WASTE PIPING TO BE SLOPED NOT SHALLOWER THAN 1/4":12" C.P.C. 708.0
- M. PROVIDE A CLEANOUT AT DRAIN LINES WHERE AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDS 135 DEGREES AND AT DRAIN LINES 10 FEET OR LONGER THAT ARE NO STRAIGHT-LINE PROJECTIONS OF A DRAIN LINE WITH A CLEANOUT. CLEANOUTS SHALL BE INSTALLED SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW IN THE SOIL OR WASTE PIPE OR AT RIGHT ANGLES THERETO, AND EXCEPT IN THE CASE OF A WYE BRANCH AND END-OF-LINE CLEANOUTS, VERTICALLY ABOVE THE FLOW OF THE PIPE. C.P.C. 707.0, 713.0
- N. SHOWER DRAINS MUST BE LISTED AND MARKED PRODUCT(S) FOR SPECIFIC USE. C.P.C. 301.1.2, 411.6, 411.8
- O. SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS SHALL BE EQUIPPED WITH A TEMPERATURE LIMITING DEVICE SET TO A MAXIMUM 120 DEGREES.
- P. REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- Q. SKYLIGHTS (PER PLAN) BY "VELUX" (OR EQUIVALENT), CURB MOUNT, "VCE" MODEL (OR EQUIVALENT), USE EX-199. INSTALL PER MFR. SPECS.
- R. MIN. DECK SLOPE TO BE 1/4" PER FOOT
- S. THIS SYMBOL (A-5.1), LOCATED AT AN EXTERIOR DOOR, REPRESENTS A CHANGE IN FLOOR LEVEL ACROSS AN EXTERIOR DOOR. 7 3/4" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT IN-SWING HINGED DOORS AND SLIDING DOORS. 1 1/2" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT OUT-SWING HINGED DOOR. REFER TO DETAIL FOR ADDITIONAL INFORMATION.



**PROPOSED SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

## AREA CALCULATIONS

EXISTING LIVING SPACE	1,095 SQ. FT.
EXISTING LIVING SPACE TO BE DEMOLISHED	93 SQ. FT.
EXISTING LIVING SPACE TO REMAIN	1,002 SQ. FT.
PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH)	252 SQ. FT.
PROPOSED FIRST FLOOR ADDITION (REAR/NORTH)	521 SQ. FT.
<b>TOTAL FIRST FLOOR LIVING SPACE</b>	<b>1,775 SQ. FT.</b>
PROPOSED SECOND FLOOR ADDITION	1,208 SQ. FT.
<b>PROPOSED TOTAL LIVING SPACE</b>	<b>2,983 SQ. FT.</b>
EXISTING DETACHED GARAGE TO BE DEMOLISHED	371 SQ. FT.
PATIO	327 SQ. FT.
PATIO 2	243 SQ. FT.
DECK - SECOND FLOOR - EAST	149 SQ. FT.
GUEST DECK	52 SQ. FT.
OWNERS DECK	222 SQ. FT.
ROOF DECK	142 SQ. FT.
ROOF DECK 2	637 SQ. FT.
1-CAR GARAGE	250 SQ. FT.
CARPORT	213 SQ. FT.
<b>PROPOSED TOTAL NON-LIVING SPACE</b>	<b>2,235 SQ. FT.</b>

## FLOOR PLAN WALL LEGEND

- DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- NEW WALL TO CO-PLANE WITH EXISTING WALL
- NEW OPENING, DOOR OR WINDOW IN EXISTING WALL
- 2X4 FRAMED STUD WALL (2X4 STUDS AT 16" O.C.)
- 2X6 FRAMED STUD WALL (2X6 STUDS AT 16" O.C.) U.O.N.

**AMDM**  
 12465 VIA DIEGO  
 LAKESIDE, CA 92040  
 (619) 966-3172  
 (619) 966-3173  
 www.amdinteriors.net

REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
 2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
 DRAWN BY: AP  
 PROJECT No:  
 FILE: 2020-2-28 B  
 SHEET No.

A-2.2

OF SHEETS

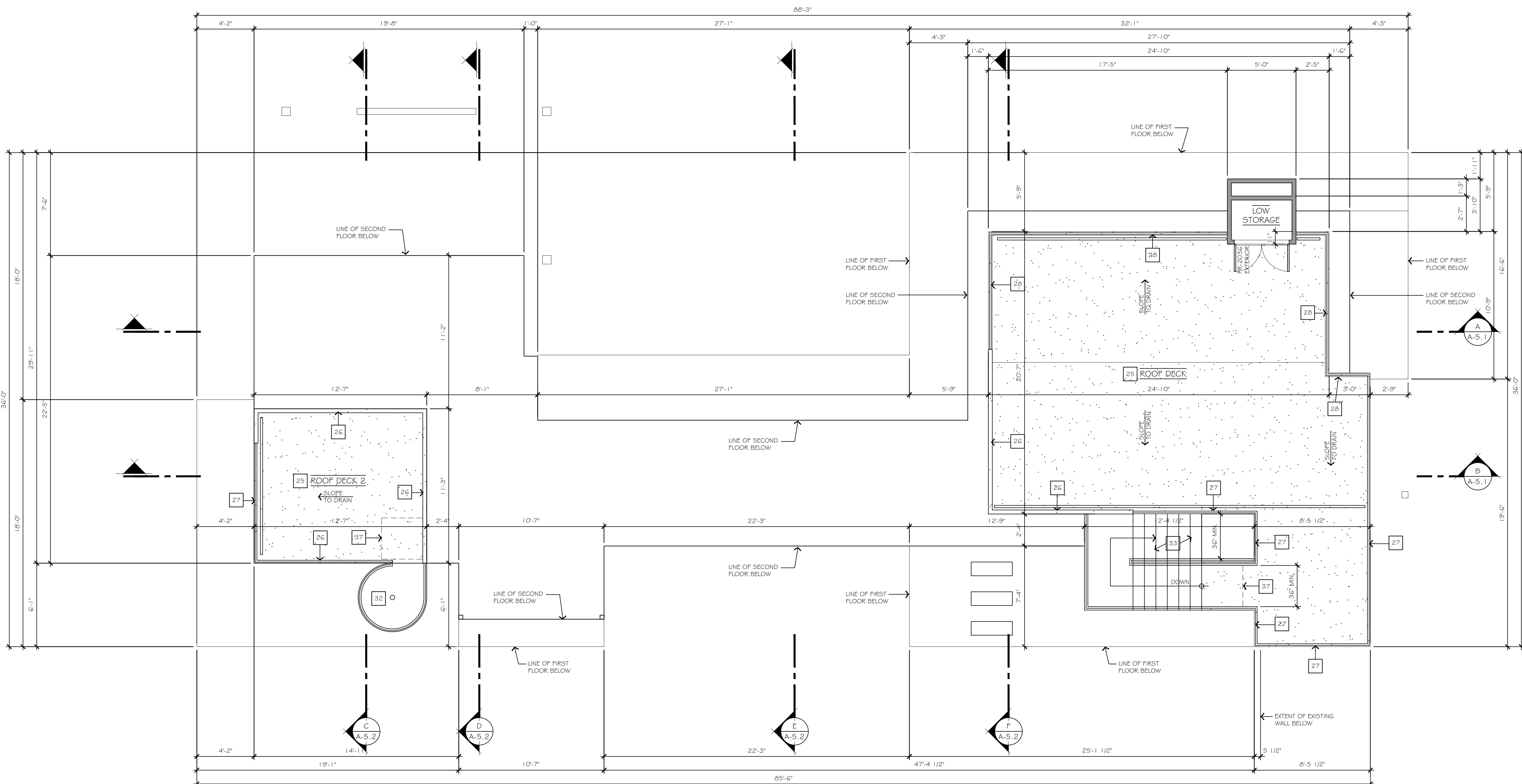


## NUMBERED NOTES

- |   |   |   |   |
|---|---|---|---|
| <p><b>1</b> REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION PERTAINING TO THE SHELF AND POLE SYSTEM AT WARDROBE CLOSETS.</p> <p><b>2</b> PROVIDE 15" WIDE SHELVES AT STORAGE CLOSETS AND PANTRY CLOSETS. 5 SHELVES HIGH WITH SUPPORT CLEAT AT BOTTOM. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>3</b> SPACE FOR WASHING MACHINE. PROVIDE RECESSED PLUMBING HOOK-UP FOR WASHER. OWNER TO VERIFY APPLIANCE.</p> <p><b>4</b> SPACE FOR DRYER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR DRYER VENT REQUIREMENTS. OWNER TO VERIFY APPLIANCE.</p> <p><b>5</b> HARDSURFACE COUNTERTOP AND LAUNDRY CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>6</b> HARDSURFACE COUNTERTOP AND BATHROOM CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>7</b> 30" WIDE MIN. WATER CLOSET SPACE. 15" MIN. CLEAR FROM CENTER OF FIXTURE TO ANY SIDE WALL OR OBSTRUCTION. PROVIDE 24" MIN. CLEAR SPACE IN FRONT OF WATER CLOSET FIXTURE. OWNER TO VERIFY FIXTURE.</p> <p><b>8</b> 32" X 60" TUBSHOWER WITH NON-ABSORBENT HARD-SURFACE WALL FINISH TO 6'-0" HT. MIN. PROVIDE A SHOWER HEAD STUB-OUT AT 7'-0" HT. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> | <p><b>9</b> JOB SITE MUD SET SHOWER PAN (SIZE PER PLAN). SLOPE FLOOR TO TROUGH STYLE DRAIN. PROVIDE NON-ABSORBENT WAINSCOT WALLS TO CEILING OR MINIMUM 6'-0" HT. PROVIDE A 4" WIDE X 4" TALL CURB WITH MATCHING NON-ABSORBENT HARDSURFACE FINISH MATERIAL. PROVIDE A TEMPERED GLASS SHOWER ENCLOSURE WITH A MIN. 22" WIDE ACCESS DOOR. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. SHOWER STALL TO PROVIDE A MINIMUM 30" WIDE CLEAR WIDTH AND A MINIMUM 900 SQ. IN. OF USABLE FLOOR SPACE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>10</b> SPACE FOR 24" WIDE UNDER COUNTER DISHWASHER. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>11</b> DOUBLE BOWL DROP-IN STYLE SINK WITH GARBAGE DISPOSAL. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>12</b> 48" WIDE DROP-IN DUEL FUEL COOKTOP WITH SURFACE MOUNTED EXHAUST HOOD ABOVE. ROUTE EXHAUST THROUGH ROOF SYSTEM TO OUTSIDE AIR. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>13</b> 30" WIDE BUILT-IN CABINERY FOR OVEN APPLIANCE. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>14</b> SPACE FOR 48" WIDE BUILT-IN STYLE REFRIGERATOR. PROVIDE RECESS PLUMBING FOR WATER AMENITIES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>15</b> HARDSURFACE COUNTERTOP AND KITCHEN CABINERY BELOW. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>16</b> 36" X 72" FREE-STANDING OVAL SOAKING TUB. OWNER TO VERIFY DESIGN, FINISH MATERIAL AND PLUMBING FIXTURES. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> | <p><b>17</b> BUILT-IN CABINERY. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>18</b> PRE-FABRICATED GAS ONLY METAL BOX FIREPLACE. MANUFACTURED BY: HEATILATOR. MODEL: LEGACY42 (OR EQUIVALENT). ANSI REPORT NO. Z21.88-2017. UL127 LISTED.</p> <p><b>19</b> MIN. 22" X 30" ATTIC ACCESS. ACCESS OPENING MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF HVAC EQUIPMENT.</p> <p><b>20</b> GAS FIRED TANK-LESS WATER HEATER. REFER TO ELECTRICAL LAYOUT ON SHEET E-1 FOR ADDITIONAL INFORMATION. OWNER TO VERIFY APPLIANCE.</p> <p><b>21</b> PROVIDE A CONCRETE STOOP. WIDTH OF STOOP TO BE AS WIDE AS THE DOOR BEING SERVED. LENGTH OF STOOP TO BE 36" MIN. IN THE DIRECTION OF TRAVEL. SLOPE TO DRAIN, 2% MIN., AWAY FROM BUILDING.</p> <p><b>22</b> 9'-9" X 3'-4" HARDSURFACE ISLAND COUNTERTOP OVER WRAP AROUND BASE CABINETS. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>23</b> 8'-8" X 2'-8" HARDSURFACE EATING BAR. EATING BAR TO BE AT A RAISED HT. ABOVE ISLAND COUNTERTOP WITH "TABLE STYLE" SUPPORT. REFER TO FFE SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p><b>24</b> 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>25</b> CLASS 'A' RUBBERIZED DECK TOPPING BY "PLI-DEK" OR EQUIVALENT. ICC ESR 2097</p> <p><b>26</b> PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> | <p><b>27</b> TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>28</b> TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>29</b> OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STOOP AT FINISH GRADE. 11" TREADS (10" MIN. PER CODE). 7 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.</p> <p><b>30</b> PROVIDE 1/2" GYP. BD. AT GARAGE WALLS ADJACENT TO AND/OR SUPPORTING LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.</p> <p><b>31</b> PROVIDE 5/8" TYPE 'Y' GYP. BD. AT GARAGE CEILING AND SUPPORT BEAMS, ADJACENT TO LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.</p> <p><b>32</b> PRE-FABRICATED EXTERIOR METAL SPIRAL STAIR BETWEEN OWNERS DECK AND ROOF DECK No. 2. REFER TO SHOP DRAWING (SHEET ST-1) FOR ADDITIONAL INFORMATION.</p> <p><b>33</b> PRE-FABRICATED EXTERIOR METAL SPIRE STAIR BETWEEN SECOND FLOOR LOFT AND ROOF DECK. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET ST-2) FOR ADDITIONAL INFORMATION.</p> <p><b>34</b> PRE-FABRICATED INTERIOR METAL SPIRE STAIR BETWEEN FIRST FLOOR AND SECOND FLOOR. 7 3/4" MAX. RISER. 10" MIN. TREAD. OPENINGS AT RISERS BETWEEN THE STAIR TREADS SHALL NOT PERMIT THE PASSAGE OF A 4 INCH DIA. SPHERE. REFER TO SHOP DRAWING (SHEET S-1) FOR ADDITIONAL INFORMATION.</p> |
|---|---|---|---|

## FLOOR PLAN NOTES

- A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- C. VERIFY ALL EXISTING DIMENSIONS ON SITE.
- D. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- E. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- F. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- G. ALL NEW WINDOWS TO BE MANUFACTURED BY: MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL). WINDOWS TO BE OF THE "STYLE LINE" SERIES. ALL NEW WINDOWS TO HAVE VINYL FRAMES WITH CLEAR DUAL GLAZED PANELS. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH MULLION BARS.
- H. THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL PENETRATION RATING COUNCIL (NPRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
- I. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR 20-MINUTE FIRE-RATED.
- J. EFFECTIVE FLUSH VOLUMES FOR ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS NOT TO EXCEED 1.28 G.P.F. ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS TO BE ASME A11.2.1.9.2-2008 AND A11.2.1.9.14-2006(R2011) LABELED.
- K. ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE "LEAD-FREE" IN COMPLIANCE WITH CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 116375-80 (AS 1995, JANUARY 1, 2010, AND SHALL BE CERTIFIED BY AN INDEPENDENT ANSI ACCREDITED AGENCY AS BEING IN COMPLIANCE WITH THIS REQUIREMENT. C.P.C. 301.0.707.0, 719.0
- L. SANITARY WASTE PIPING TO BE SLOPED NOT SHALLOWER THAN 1/4":12 C.P.C. 708.0
- M. PROVIDE A CLEANOUT AT DRAIN LINES WHERE AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDS 135 DEGREES AND AT DRAIN LINES 10 FEET OR LONGER THAT ARE NO STRAIGHT-LINE PROJECTIONS OF A DRAIN LINE WITH A CLEANOUT. CLEANOUTS SHALL BE INSTALLED SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW IN THE SOIL OR WASTE PIPE OR AT RIGHT ANGLES THERETO, AND EXCEPT IN THE CASE OF A WYE BRANCH AND END-OF-LINE CLEANOUTS, VERTICALLY ABOVE THE FLOW OF THE PIPE. C.P.C. 707.0, 719.0
- N. SHOWER DRAINS MUST BE LISTED AND MARKED PRODUCT(S) FOR SPECIFIC USE. C.P.C. 301.1.2, 411.6, 411.8
- O. SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS SHALL BE EQUIPPED WITH A TEMPERATURE LIMITING DEVICE SET TO A MAXIMUM 120 DEGREES.
- P. REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR ADDITIONAL INFORMATION.
- Q. SKYLIGHTS (PER PLAN) BY "VELUX" (OR EQUIVALENT), CURB MOUNT, "VCE" MODEL (OR EQUIVALENT), USE EX-199. INSTALL PER MFR. SPECS.
- R. MIN. DECK SLOPE TO BE 1/4" PER FOOT
- S. THIS SYMBOL (A-5.1), LOCATED AT AN EXTERIOR DOOR, REPRESENTS A CHANGE IN FLOOR LEVEL ACROSS AN EXTERIOR DOOR. 7 3/4" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT IN-SWING HINGED DOORS AND SLIDING DOORS. 1 1/2" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT OUT-SWING HINGED DOOR. REFER TO DETAIL FOR ADDITIONAL INFORMATION.



**PROPOSED ROOF DECK (THIRD LEVEL)**

SCALE: 1/4"=1'-0"

## AREA CALCULATIONS

<ul style="list-style-type: none"> <li>□ EXISTING LIVING SPACE 1,095 SQ. FT.</li> <li>□ EXISTING LIVING SPACE TO BE DEMOLISHED 93 SQ. FT.</li> <li>□ EXISTING LIVING SPACE TO REMAIN 1,002 SQ. FT.</li> <li>□ PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH) 252 SQ. FT.</li> <li>□ PROPOSED FIRST FLOOR ADDITION (REAR/NORTH) 521 SQ. FT.</li> <li>□ TOTAL FIRST FLOOR LIVING SPACE 1,775 SQ. FT.</li> </ul>	<ul style="list-style-type: none"> <li>□ PROPOSED SECOND FLOOR ADDITION 1,208 SQ. FT.</li> <li>□ PROPOSED TOTAL LIVING SPACE 2,983 SQ. FT.</li> </ul>
<ul style="list-style-type: none"> <li>□ EXISTING DETACHED GARAGE TO BE DEMOLISHED 371 SQ. FT.</li> <li>□ PATIO 327 SQ. FT.</li> <li>□ PATIO 2 243 SQ. FT.</li> <li>□ DECK - SECOND FLOOR - EAST 149 SQ. FT.</li> <li>□ GUEST DECK 52 SQ. FT.</li> <li>□ OWNERS DECK 222 SQ. FT.</li> <li>□ ROOF DECK 142 SQ. FT.</li> <li>□ ROOF DECK 2 637 SQ. FT.</li> <li>□ 1-CAR GARAGE 250 SQ. FT.</li> <li>□ CARPORT 213 SQ. FT.</li> <li>□ PROPOSED TOTAL NON-LIVING SPACE 2,235 SQ. FT.</li> </ul>	

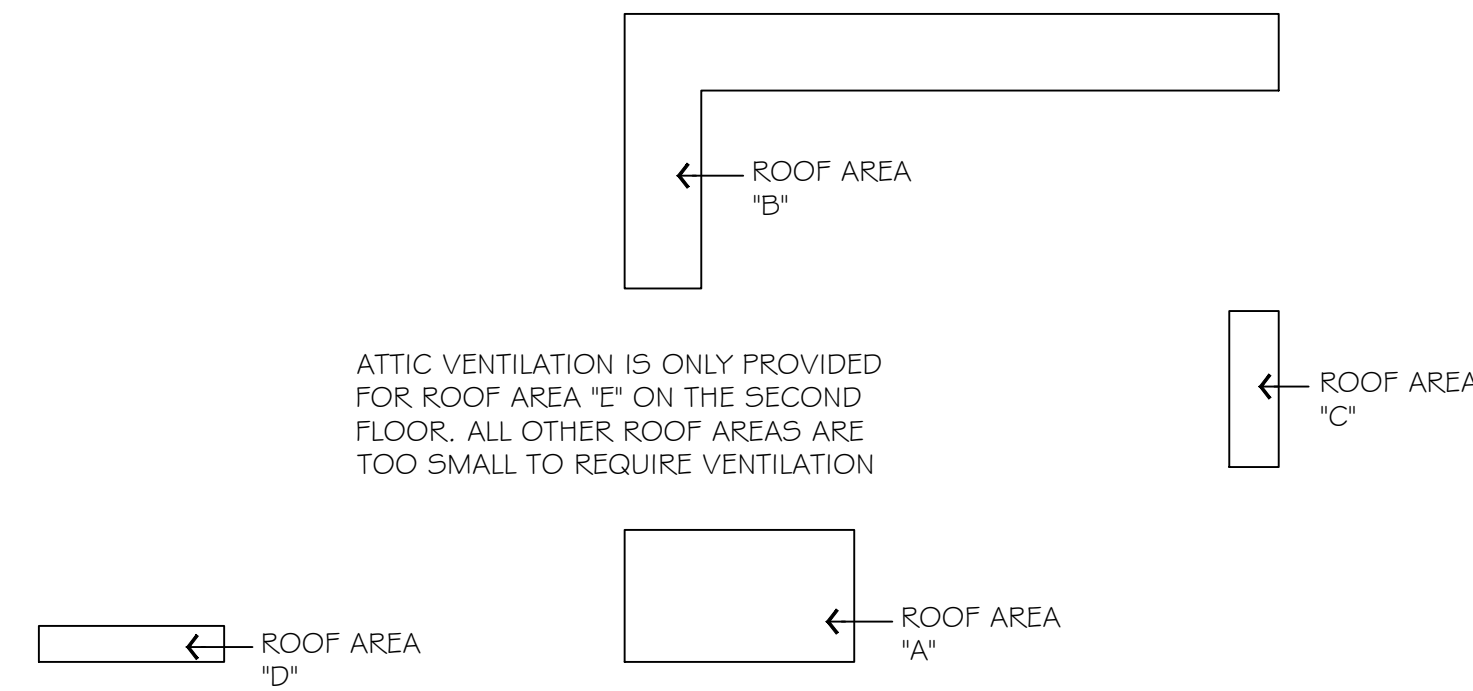
## FLOOR PLAN WALL LEGEND

- DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- \_\_\_\_\_ EXISTING STUD WALL (VERIFY SIZE AND SPACING)
- \_\_\_\_\_ NEW WALL TO CO-PLANE WITH EXISTING WALL
- □ NEW OPENING, DOOR OR WINDOW IN EXISTING WALL
- \_\_\_\_\_ 2X4 FRAMED STUD WALL (2X4 STUDS AT 16" O.C.)
- \_\_\_\_\_ 2X6 FRAMED STUD WALL (2X6 STUDS AT 16" O.C.) U.O.N.



REVISIONS	BY

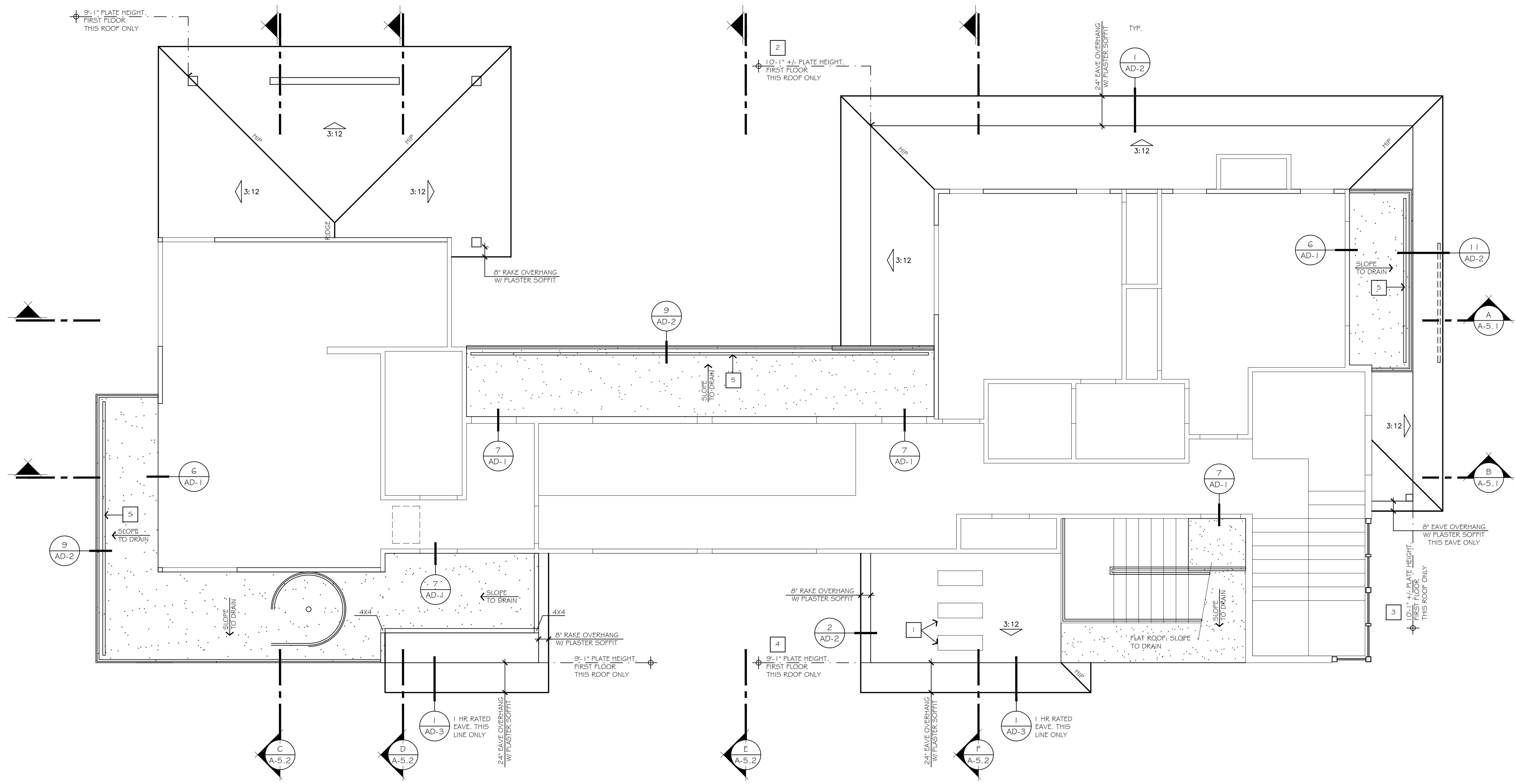
DATE: 04/15/20  
 DRAWN BY: AP  
 PROJECT No:  
 FILE: 2020-2-28 B  
 SHEET No.



ATTIC VENTILATION IS ONLY PROVIDED FOR ROOF AREA "E" ON THE SECOND FLOOR. ALL OTHER ROOF AREAS ARE TOO SMALL TO REQUIRE VENTILATION

### ROOF AREA LEGEND

SCALE: N.T.S.



### FIRST FLOOR ROOF PLAN / SECOND FLOOR DECK PLAN

SCALE: 1/4"=1'-0"

### ROOF NOTES

1. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
3. REFER TO SHEET GN-1 (GENERAL NOTES) FOR ADDITIONAL INFORMATION.
4. ROOFING MATERIAL: CLASS 5 "A" STANDING SEAM METAL ROOFING SYSTEM, MANUFACTURED BY "MBGL L.P.", "BATTEN-LOK" SYSTEM OR EQUIVALENT, 1.65# PER SQUARE, OVER ONE LAYER OF 30# FELT ALL OVER ROOF SHEATHING PER STRUCTURAL RECOMMENDATIONS. UL 790 AND UL 580 TESTED AND LISTED.
5. ALL NEW ROOF OVERHANGS TO MATCH EXISTING, WHERE APPLICABLE.
6. ROOFING UNDERLAYMENT TO CONFORM TO NOT LESS THAN A.S.T.M. D226 TYPE I OR D4869 TYPE I OR DG757 ASPHALT-IMPREGNATED ROOFING FELT, INSTALLED IN COMPLIANCE WITH C.R.C. SECTION R905.2.7, C.R.C. R905.2.3.
7. COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS. FOR FLASHING AT ROOF PENETRATIONS (I.E. "B" VENTS).
8. REFER TO ENERGY COMPLIANCE REPORT (T24 REPORT) TO VERIFY IF THE ROOF SHEATHING IS REQUIRED TO INCLUDE A RADIANT BARRIER. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
9. SHADED AREA INDICATES "CALIFORNIA FILL" (OVER FRAMING) OVER EXISTING ROOF. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
10. ATTIC VENTILATION TO COMPLY WITH C.R.C. SECTION R906.1 AND R906.2. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE SPACE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
  - 10.1. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
  - 10.2. IN CLIMATE ZONES 1-4 AND 1-6, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

### NUMBERED NOTES

- 1 SKYLIGHTS PER PLAN.
- 2 THIS ROOF BEARS ON THE TOP OF THE SECOND FLOOR FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- 3 THIS ROOF BEARS ON A STRUCTURAL BEAM WITH TOP OF BEAM FLUSH WITH THE SECOND FLOOR FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- 4 THIS ROOF BEARS ON A TYPICAL DOUBLE TOP PLATE AND WOOD FRAMED WALL. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- 5 COPPER TROUGH DRAIN FOR FULL WIDTH OF DECK. SLOPE DECK TOWARDS DRAIN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.

12465 VIA DIEGO  
 LAKESIDE, CA 92040  
 (619) 962-3123 office  
 (619) 962-3123 fax  
 www.amdinteriors.net  
 AM D INTERIORS INCORPORATED

REMODEL AND ADDITION FOR  
**BELLEVEUE RESIDENCE**  
 2610 BELLEVEUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
 DRAWN BY: AP  
 PROJECT No:  
 FILE: 2020-2-28 B  
 SHEET No.

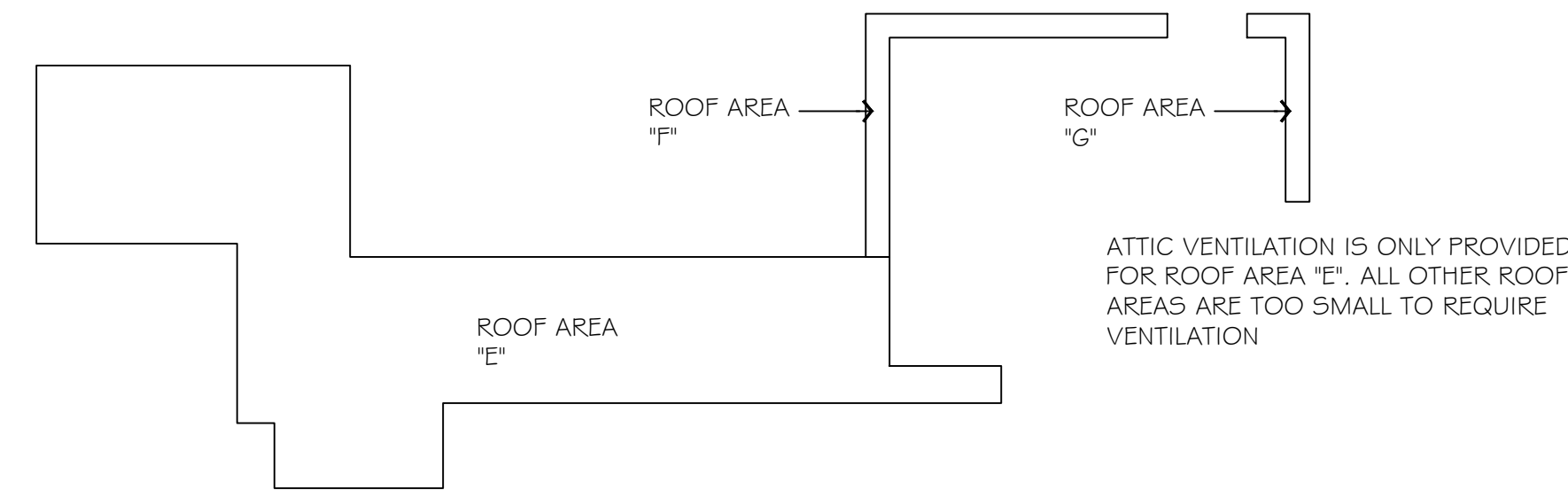
A-3.1

OF SHEETS



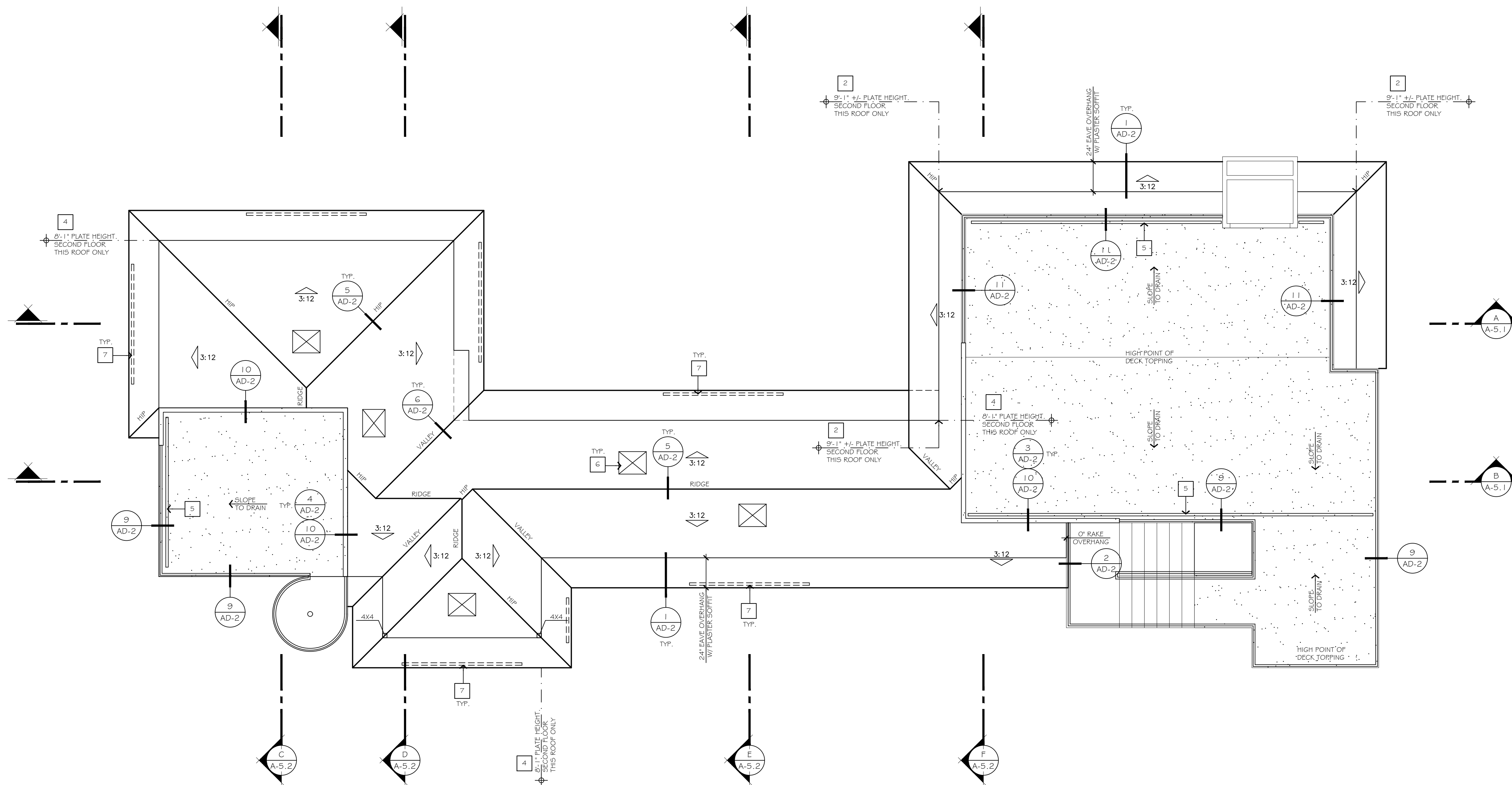
### ROOF NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- REFER TO SHEET GN-1 (GENERAL NOTES) FOR ADDITIONAL INFORMATION.
- ROOFING MATERIAL: CLASS 5 "A" STANDING SEAM METAL ROOFING SYSTEM, MANUFACTURED BY "MBCI, L.P.", "BATTEN-LOK" SYSTEM OR EQUIVALENT, 1.65# PER SQUARE, OVER ONE LAYER OF 3/8" FELT ALL OVER ROOF SHEATHING PER STRUCTURAL RECOMMENDATIONS. UL 790 AND UL 580 TESTED AND LISTED.
- ALL NEW ROOF OVERHANGS TO MATCH EXISTING, WHERE APPLICABLE.
- ROOFING UNDERLAYMENT TO CONFORM TO NOT LESS THAN A.S.T.M. D226 TYPE I OR D4869 TYPE I OR DG757 ASPHALT-IMPREGNATED ROOFING FELT, INSTALLED IN COMPLIANCE WITH C.R.C. SECTION R905.2.7, C.R.C. R905.2.3.
- COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS. FOR FLASHING AT ROOF PENETRATIONS (I.E. "B" VENTS).
- REFER TO ENERGY COMPLIANCE REPORT (I24 REPORT) TO VERIFY IF THE ROOF SHEATHING IS REQUIRED TO INCLUDE A RADIANT BARRIER. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- SHADED AREA INDICATES "CALIFORNIA FILL" (OVER FRAMING) OVER EXISTING ROOF. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- ATTIC VENTILATION TO COMPLY WITH C.R.C. SECTION R906.1 AND R906.2. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE SPACE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
  - NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.
  - IN CLIMATE ZONES I-4 AND I-6, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.



### ROOF AREA LEGEND

SCALE: N.T.S.



### SECOND FLOOR ROOF PLAN / ROOF DECK DRAINAGE PLAN

SCALE: 1/4"=1'-0"

### ATTIC VENTILATION

ATTIC VENT CALCULATIONS: (SECOND FLOOR ROOF ONLY)  
 ROOF AREA (SQ. IN.) = 111,013 SQ. IN. (AT PROPOSED ADDITION ONLY)  
 VENTILATION REQUIRED (1/150) = 740 SQ. IN.  
 VENTILATION PROVIDED = 802 SQ. IN.  
 (5) FIELD TILE VENTS AT 72.00 SQ. IN. EACH = 360 SQ. IN.  
 (52) L.F. SOFFIT VENTS AT 6.5 SQ. IN. PER L.F. = 442 SQ. IN.  
 FIELD TILE VENTS BY "OHAGINS, INC.", "TAPERED LOW-PROFILE VENT" MODEL (OR EQUIVALENT). WWW.OHAGINVENT.COM. ICC REPORT No. E5R-9650A  
 SOFFIT STRIP VENTS BY "GAF", "MASTER FLOW" LSV8 MODEL (OR EQUIVALENT) 68 SQ. IN. PER 8 FOOT STRIP.  
 LOCATE VENTS TO PROVIDE ADEQUATE CROSS VENTILATION

### NUMBERED NOTES

- SKYLIGHTS PER PLAN.
- THIS ROOF BEARS ON THE TOP OF THE ROOF DECK FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- THIS ROOF BEARS ON A STRUCTURAL BEAM WITH TOP OF BEAM FLUSH WITH THE SECOND FLOOR FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- THIS ROOF BEARS ON A TYPICAL DOUBLE TOP PLATE AND WOOD FRAMED WALL. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- COPPER TROUGH DRAIN FOR FULL WIDTH OF DECK. SLOPE DECK TOWARDS DRAIN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- FIELD TILE VENT PER "ATTIC VENTILATION" NOTED ABOVE. VERIFY LOCATION.
- SOFFIT STRIP VENT PER "ATTIC VENTILATION" NOTED ABOVE. VERIFY LOCATION.

12465 VIA DIEGO  
 LAKESIDE, CA 92040  
 (619) 962-3125 office  
 (619) 962-3125 fax  
 www.amdinteriors.net

12465 VIA DIEGO  
 LAKESIDE, CA 92040  
 (619) 962-3125 office  
 (619) 962-3125 fax  
 www.amdinteriors.net

REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
 2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

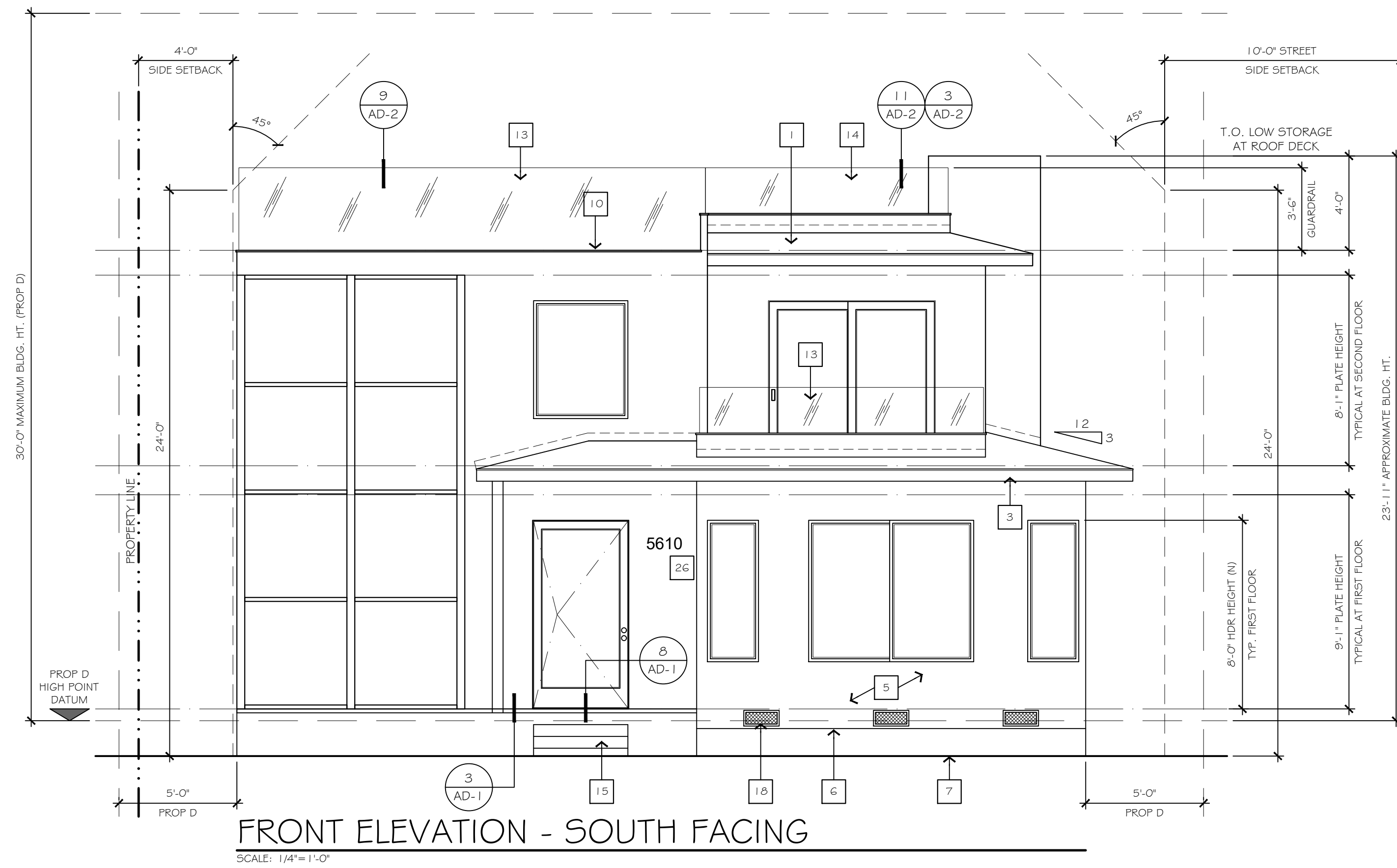
DATE: 04/15/20  
 DRAWN BY: AP  
 PROJECT No:  
 FILE: 2020-2-28 B  
 SHEET No.

A-3.2

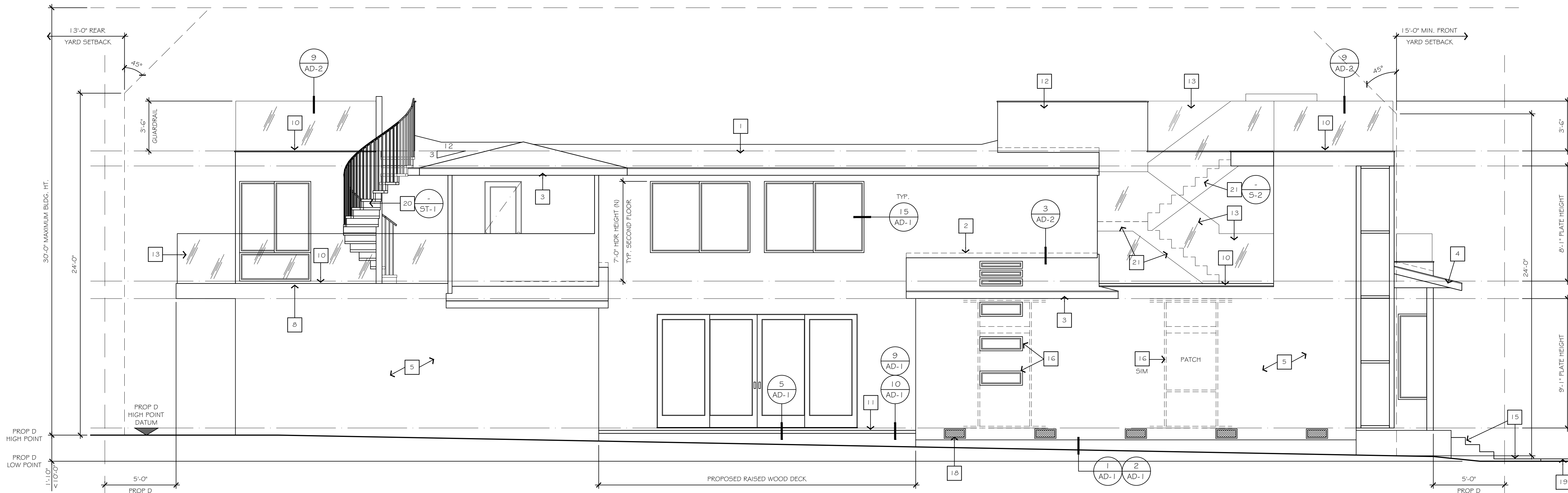
OF SHEETS







FRONT ELEVATION - SOUTH FACING  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION - WEST FACING  
SCALE: 1/4" = 1'-0"

### ELEVATION NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- ALL VENTS (ROOF, FOUNDATION COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS OR SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH.
- THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

### NUMBERED NOTES

- METAL STANDING SEAM ROOF OVER 30# FELT.
- 26GA MIN. GALV. MTL. FLASHING AT ALL ROOF TO WALL CONNECTIONS.
- 2X8 PAINTED WOOD FASCIA BOARD, TYPICAL AT EAVE. MATCH EXISTING.
- 2X8 PAINTED WOOD BARGE BOARD, TYPICAL AT RAKE. MATCH EXISTING.
- CODE COMPLIANT 3-COAT EXTERIOR PLASTER FINISH OVER 1 1/2" BUILDING PAPER.
- 26GA MIN. GALV. MTL. WEEP SCREED AT BASE OF WALL AT PERIMETER OF BUILDING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING FINISH GRADE. NO NEW GRADING PROPOSED. EXISTING GRADE AND FINISH GRADE ARE THE SAME.
- 26GA MIN. GALV. MTL. DRIP EDGE, TYPICAL ALONG THE PERIMETER OF THE DECK WITH RUBBERIZED COATING.
- OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STWOOP AT FINISH GRADE. 1 1/2" TREADS (1 0" MIN. PER CODE), 7 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- CLASS 'A' RUBBERIZED DECK TOPPING BY "PLI-DEK" OR EQUIVALENT. ICC ESR 2097.
- 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PORCH AND STEPS ON GRADE.
- 18" X 24" UNDER FLOOR ACCESS WITH SCREENED PANEL.
- GALV. MTL. SCREENED UNDER FLOOR VENT. TYPICAL WHERE SHOWN. VERIFY LOCATION.
- EXISTING CONCRETE WALKWAY.
- PRE-FABRICATED EXTERIOR METAL SPIRAL STAIR BETWEEN OWNER'S DECK AND ROOF DECK No. 2. REFER TO SHOP DRAWING (SHEET 5T-1) FOR ADDITIONAL INFORMATION.
- PRE-FABRICATED EXTERIOR METAL SPINE STAIR BETWEEN SECOND FLOOR LOFT AND ROOF DECK. REFER TO SHOP DRAWING (SHEET 5-2) FOR ADDITIONAL INFORMATION.
- NOT USED.
- NOT USED.
- NEW METAL SECTIONAL GARAGE DOOR, OWNER TO VERIFY STYLE, DESIGN AND HARDWARE.
- CONCRETE CURB FOR POST BASE HARDWARE. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- HOUSE NUMBERS - BLACK METAL 6"

### PROP 'D' NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM) S.D.M.C. SECTION 132.0505.
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED.

### UNDER FLOOR VENTILATION

UNDER FLOOR VENT CALCULATIONS:

FLOOR AREA (SQ. IN.) = 261,567 SQ. IN.

VENTILATION REQUIRED (1/150) = 1,744 SQ. IN.

VENTILATION PROVIDED = 1,812 SQ. IN.

(2) 18" X 8" VENTS AT 72 SQ. IN. EACH = 1,512 SQ. IN.

(1) 18" X 24" SCREENED ACCESS PANEL = 300 SQ. IN.

UNDER FLOOR VENTS BY "GAFFELK ROOFING PRODUCTS", MODEL: PVRABL (OR EQUIVALENT), WWW.GAF.COM

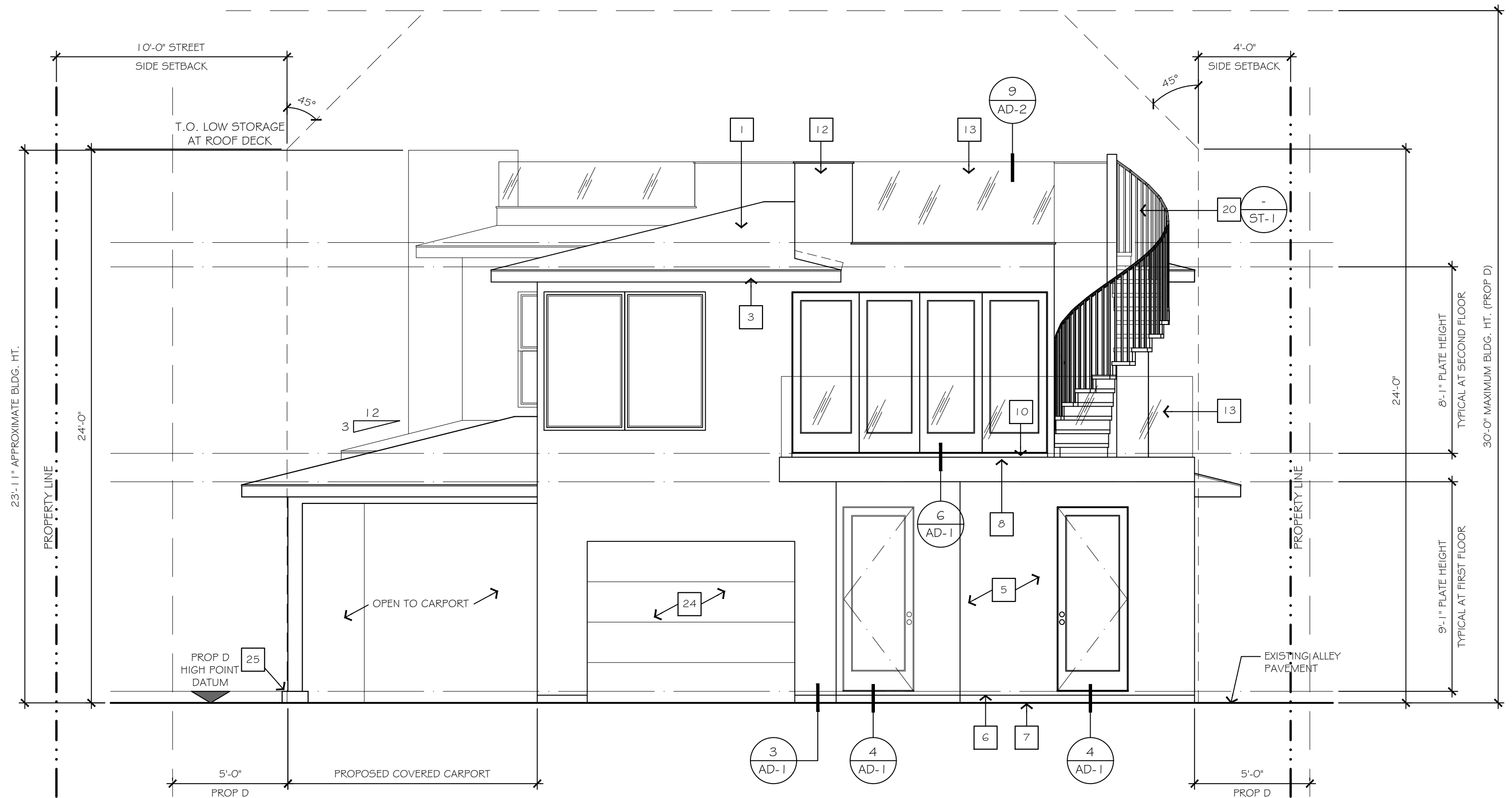
DISTRIBUTE VENTS EQUALLY ALONG TWO OPPOSITE SIDES AND WITHIN 3 FEET OF EACH CORNER, WHEN POSSIBLE. C.R.C. R408.

VENTILATION OPENINGS TO BE COVERED WITH NOT LESS THAN CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF NOT MORE THAN 1/4 INCH IN SIZE. C.R.C. R408.2.e

REVISIONS	BY

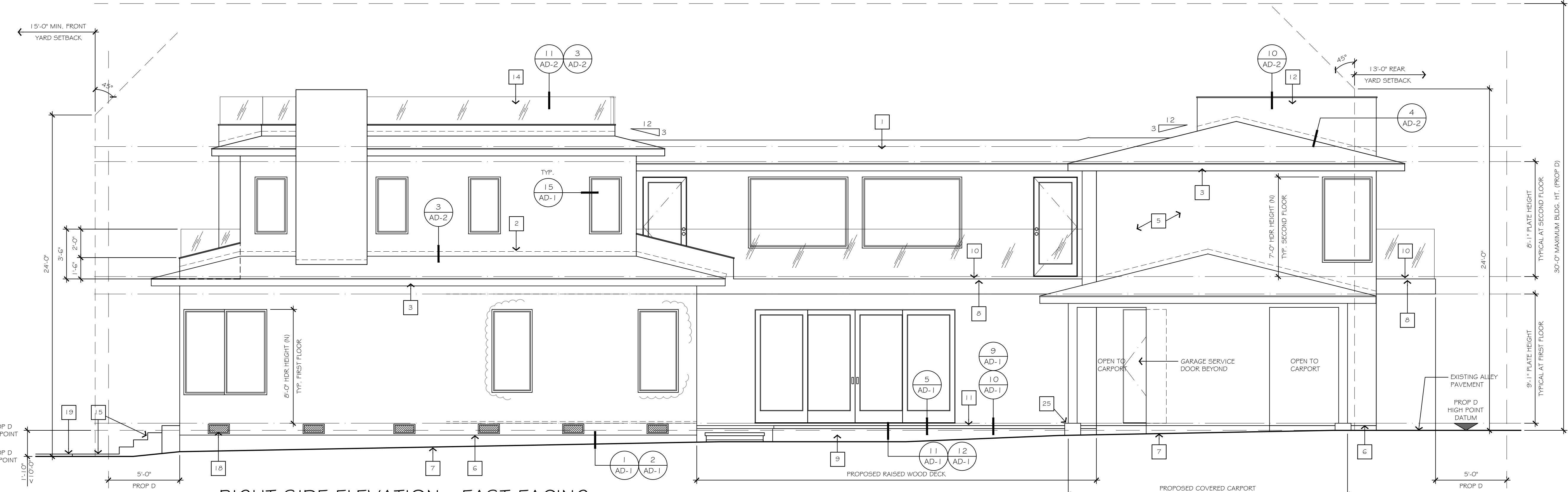
DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

**A-4.1**



REAR ELEVATION - NORTH FACING

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - EAST FACING

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- ALL VENTS (ROOF, FOUNDATION COMBUSTION-AIR, ETC.) SHALL RESIST THE INTRUSION OF FLAMES AND EMBERS OR SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH.
- THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

NUMBERED NOTES

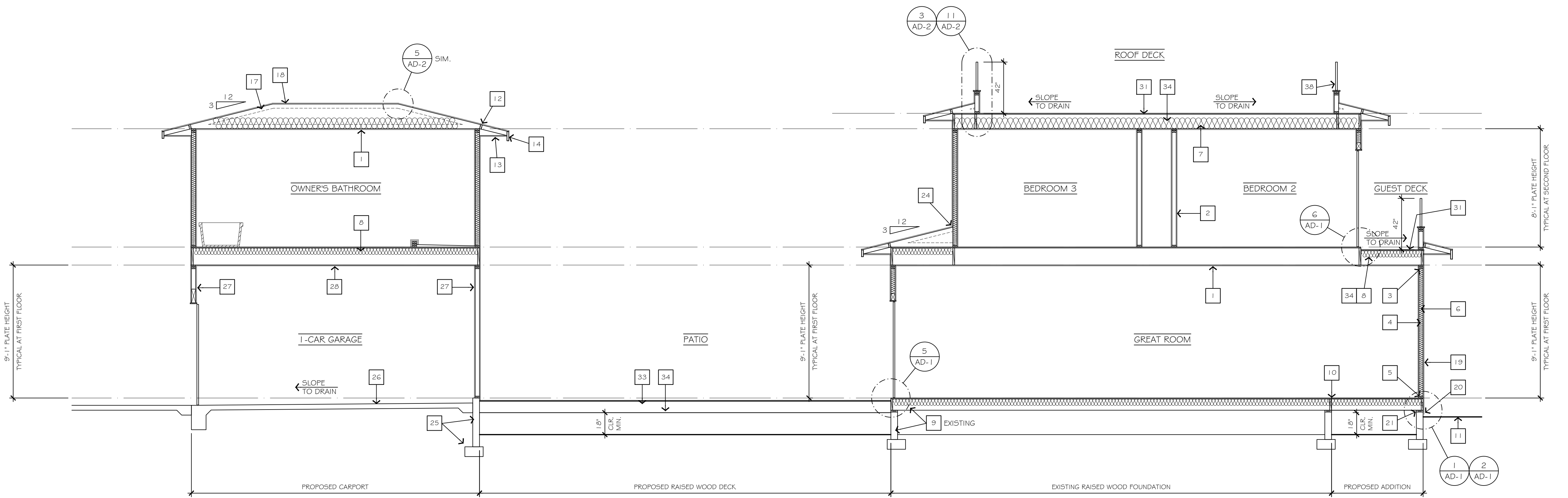
- METAL STANDING SEAM ROOF OVER 30# FELT.
- 26GA MIN. GALV. MTL. FLASHING AT ALL ROOF TO WALL CONNECTIONS.
- 2X8 PAINTED WOOD FASCIA BOARD, TYPICAL AT EAVE. MATCH EXISTING.
- 2X8 PAINTED WOOD BARGE BOARD, TYPICAL AT RAKE. MATCH EXISTING.
- CODE COMPLIANT 3-COAT EXTERIOR PLASTER FINISH OVER 1 1/2" BUILDING PAPER.
- 26GA MIN. GALV. MTL. WEEP SCREED AT BASE OF WALL AT PERIMETER OF BUILDING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING FINISH GRADE. NO NEW GRADING PROPOSED. EXISTING GRADE AND FINISH GRADE ARE THE SAME.
- 26GA MIN. GALV. MTL. DRIP EDGE. TYPICAL ALONG THE PERIMETER OF THE DECK WITH RUBBERIZED COATING.
- OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE 5" TYP. AT FINISH GRADE. 1 1/2" TREADS (1" MIN. PER CODE), 7 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- CLASS 'A' RUBBERIZED DECK TOPPING BY 'PLI-DEK' OR EQUIVALENT. ICC ESR 2097.
- 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- NEW CONCRETE PORCH AND STEPS ON GRADE.
- 18" X 24" UNDER FLOOR ACCESS WITH SCREENED PANEL.
- GALV. MTL. SCREENED UNDER FLOOR VENT. TYPICAL WHERE SHOWN. VERIFY LOCATION.
- EXISTING CONCRETE WALKWAY.
- PRE-FABRICATED EXTERIOR METAL SPIRAL STAIR BETWEEN OWNER'S DECK AND ROOF DECK No. 2. REFER TO SHOP DRAWING (SHEET ST-1) FOR ADDITIONAL INFORMATION.
- PRE-FABRICATED EXTERIOR METAL SPIRE STAIR BETWEEN SECOND FLOOR LOFT AND ROOF DECK. REFER TO SHOP DRAWING (SHEET S-2) FOR ADDITIONAL INFORMATION.
- NOT USED.
- NOT USED.
- NEW METAL SECTIONAL GARAGE DOOR, OWNER TO VERIFY STYLE, DESIGN AND HARDWARE.
- CONCRETE CURB FOR POST BASE HARDWARE. REFER TO STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- HOUSE NUMBERS - BLACK METAL 6"

PROP 'D' NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM) S.D.M.C. SECTION 132.0505.
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE SCHEDULED.

UNDER FLOOR VENTILATION

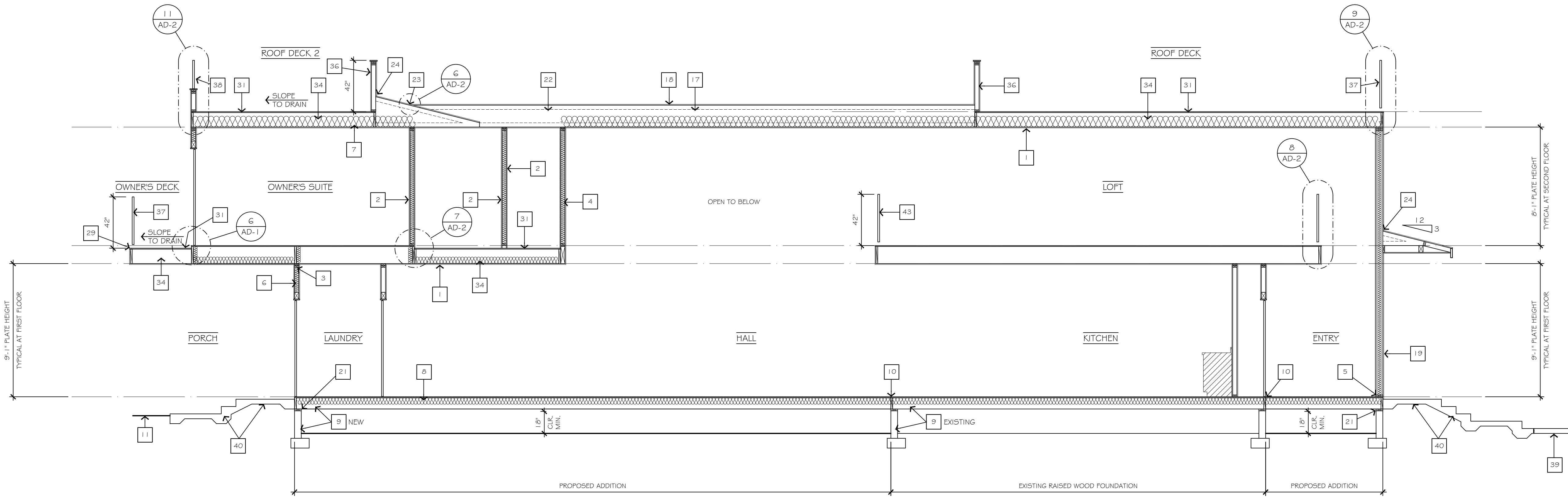
UNDER FLOOR VENT CALCULATIONS:  
 FLOOR AREA (SQ. IN.) = 261,567 SQ. IN.  
 VENTILATION REQUIRED ((1/150)) = 1,744 SQ. IN.  
 VENTILATION PROVIDED = 1,812 SQ. IN.  
 ((2) 18" X 8" VENTS AT 72 SQ. IN. EACH = 1,512 SQ. IN.  
 (1) 18" X 24" SCREENED ACCESS PANEL = 300 SQ. IN.  
 UNDER FLOOR VENTS BY "GAFFELK ROOFING PRODUCTS", MODEL: PVRABL (OR EQUIVALENT), WWW.GAF.COM  
 DISTRIBUTE VENTS EQUALLY ALONG TWO OPPOSITE SIDES AND WITHIN 3 FEET OF EACH CORNER, WHEN POSSIBLE. C.R.C. R408.1  
 VENTILATION OPENINGS TO BE COVERED WITH NOT LESS THAN CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF NOT MORE THAN 1/4 INCH IN SIZE. C.R.C. R408.2.6



**BUILDING CROSS SECTION**

SCALE: 1/4" = 1'-0"

A



**BUILDING CROSS SECTION**

SCALE: 1/4" = 1'-0"

B

**BLDG. SECTION NOTES**

1. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
2. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE DESIGNER SHALL BE NOTIFIED, IN WRITING, OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
3. ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
4. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
5. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
6. VERIFY AS BUILT FRAMING FOR EXISTING FLAT ROOF. ADJUSTMENTS TO THE DRAWINGS MAY BE REQUIRED AFTER THE EXISTING FRAMING IS EXPOSED.

**NUMBERED NOTES**

- 1 1/2" NO 5/8" GYPSUM BOARD OR 5/8" GYPSUM BOARD AT CEILING.
- 1/2" GYPSUM BOARD. TYPICAL INTERIOR WALL FINISH. U.O.N.
- TYPICAL DOUBLE TOP PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2X4 STUDS AT 16" O.C. TYPICAL U.O.N. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2X SILL PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- R-15 BATT INSULATION. TYPICAL EXTERIOR/PERIMETER WALL INSULATION.
- R-30 BATT INSULATION. TYPICAL CEILING INSULATION.
- R-19 BATT INSULATION. TYPICAL FLOOR INSULATION.
- RAISED WOOD FLOOR FOUNDATION SYSTEM PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- NEW FLOOR TO CO-PLANE WITH EXISTING FLOOR.
- EXISTING FINISH GRADE. NO NEW GRADING PROPOSED. EXISTING GRADE AND FINISH GRADE ARE THE SAME.
- 2X FRIEZE BLOCKING.
- PROVIDE 2X LADDER FRAMING AT 24" O.C. TO CREATE FLAT SOFFIT WITH EXTERIOR PLASTER FINISH. TYP. AT EAVE AND RAKE OVERHANG.
- 2X8 PAINTED WOOD FASCIA BOARD. TYPICAL AT EAVE.
- 2X8 PAINTED WOOD BARGE BOARD. TYPICAL AT RAKE.
- 2X4 (FLAT) OUTLOOKERS AT 48" O.C.
- ROOF FRAMING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- ROOF SHEATHING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION. REFER TO ENERGY COMPLIANCE REPORT TO VERIFY IF ROOF SHEATHING IS TO HAVE A RADIANT BARRIER.
- CODE COMPLIANT 3-COAT EXTERIOR PLASTER FINISH OVER 1/2" BUILDING PAPER.
- 2GGG MIN. GALV. MTL. WEEP SCREED AT BASE OF WALL AT PERIMETER OF BUILDING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 2X D.F.P.T. SILL PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- OVER-FRAMING. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2GGG MIN. GALV. MTL. FLASHING.
- 2GGG MIN. GALV. MTL. FLASHING AT ALL ROOF TO WALL CONNECTIONS.
- GARAGE CONCRETE CURB AND SPREAD FOOTING. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- GARAGE SLAB. SLOPE TO DRAIN TOWARDS NORTH FACING OPENING.
- PROVIDE 1/2" GYP. BD. AT GARAGE WALLS ADJACENT TO AND/OR SUPPORTING LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- PROVIDE 5/8" TYPE 'X' GYP. BD. AT GARAGE CEILING AND SUPPORT BEAMS, ADJACENT TO LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- 2GGG MIN. GALV. MTL. DRIP EDGE. TYPICAL ALONG THE PERIMETER OF THE DECK WITH RUBBERIZED COATING.
- OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STOOB AT FINISH GRADE. 1" TREADS (1" MIN. PER CODE). 7" 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. RISER. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- CLASS 'A' RUBBERIZED DECK TOPPING BY "PU-DEK" OR EQUIVALENT. ICC ESR 2097
- 2X4 CRIPPLE STUDS AT 16" O.C.
- 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- DECK FRAMING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- DECK FOUNDATION AT PERIMETER OF DECK PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING CONCRETE WALKWAY.
- NEW CONCRETE PORCH AND STEPS ON GRADE. NEW STEPS TO BE NO MORE THAN 3 RISERS PER STAIR RUN. VERIFY QUANTITY OF RISERS NEEDED TO GET FROM WALKWAY TO PORCH. 7 3/4" MAX. RISER. 10" MIN. TREAD.
- EXISTING WALL FRAMING TO REMAIN.
- NEW WINDOWS IN EXISTING WALL OPENING. EXISTING HEADER, TOP PLATE AND SILL PLATE TO REMAIN UNCHANGED/UNTouched TO QUALIFY AS A NON-DEMOLISHED WALL PER CITY DEMOLITION GUIDELINES.
- CABLE RAIL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- PERMEABLE CONCRETE PARKING PAVERS. OWNER TO VERIFY DESIGN, LAYOUT AND FINISH TEXTURE.

12465 VIA DIEGO  
 LAKESIDE, CA 92040  
 (619) 966-3121  
 (619) 966-3122  
 www.amdinteriors.net

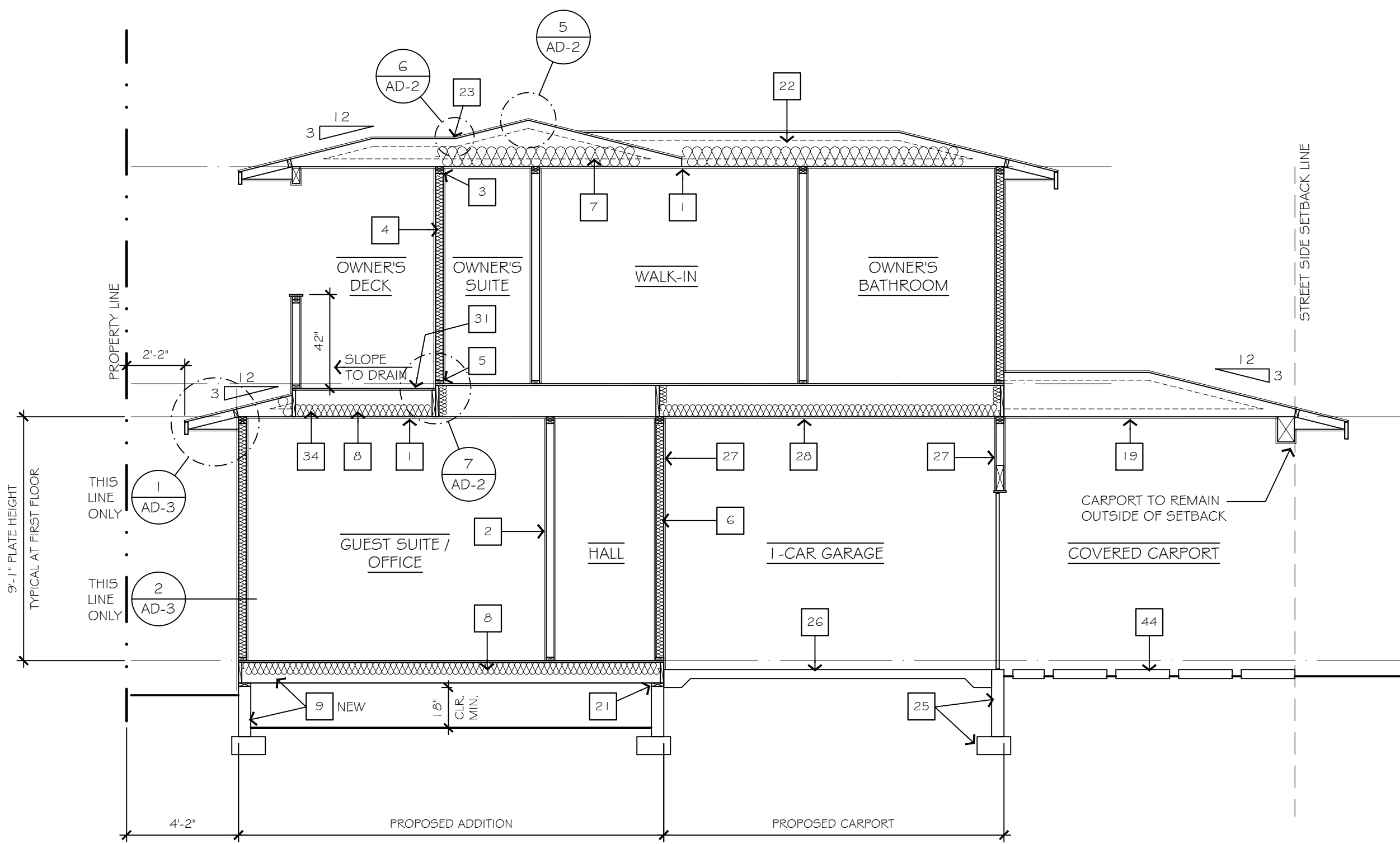
REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
 2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
 DRAWN BY: AP  
 PROJECT No:  
 FILE: 2020-2-28 B  
 SHEET No.

**A-5.1**

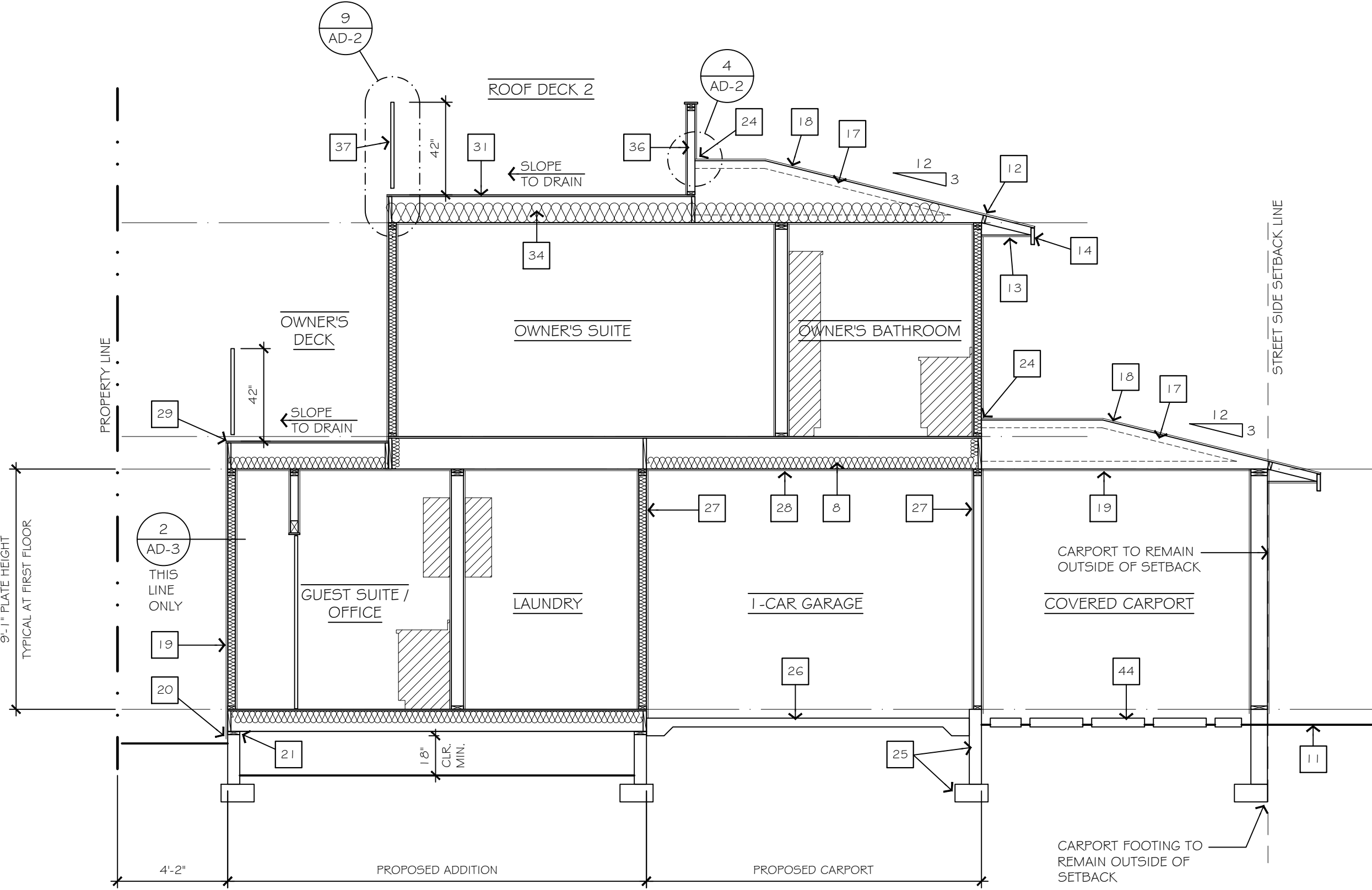
OF SHEETS



**BUILDING CROSS SECTION**

SCALE: 1/4"=1'-0"

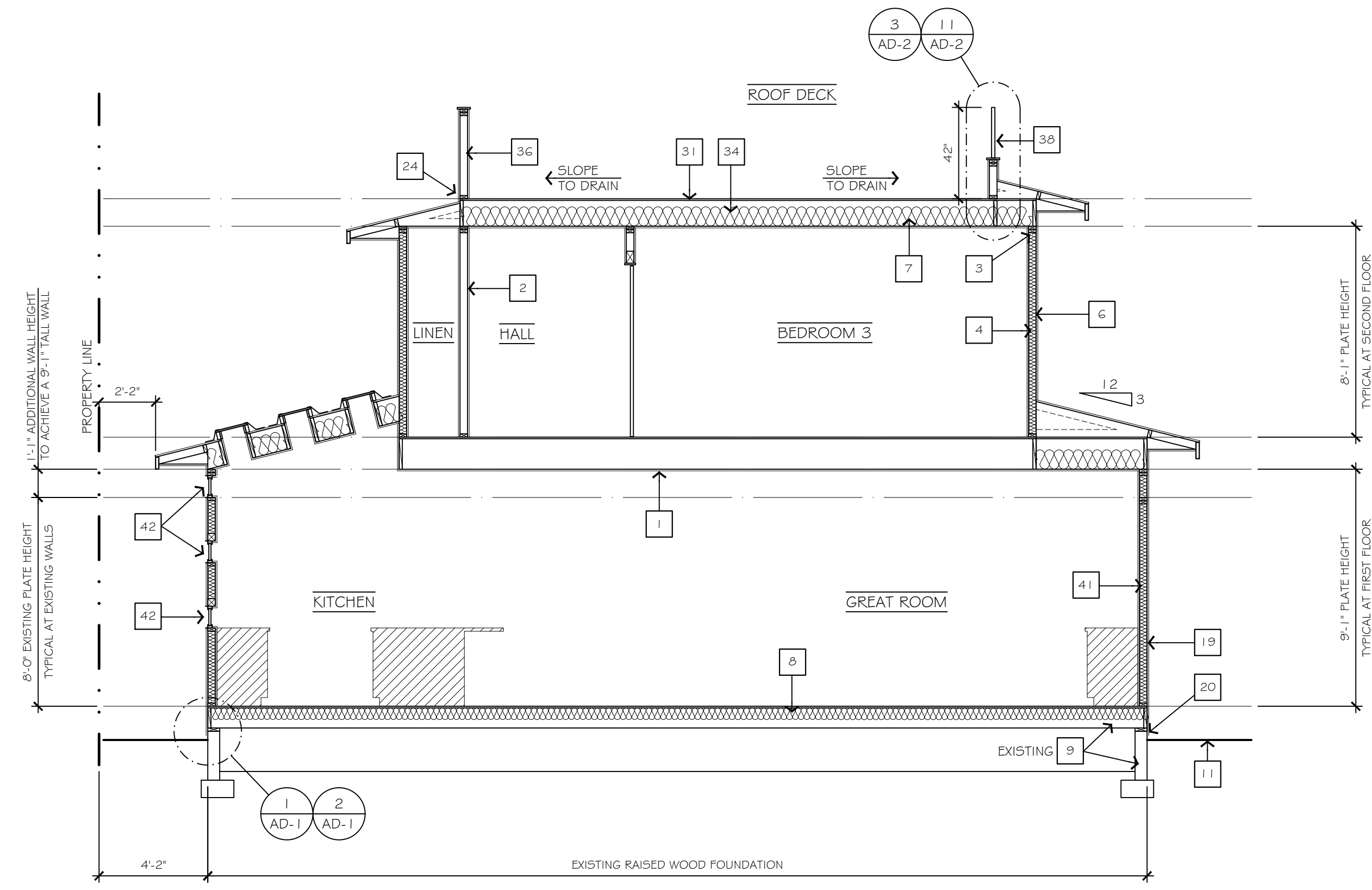
**D**



**BUILDING CROSS SECTION**

SCALE: 1/4"=1'-0"

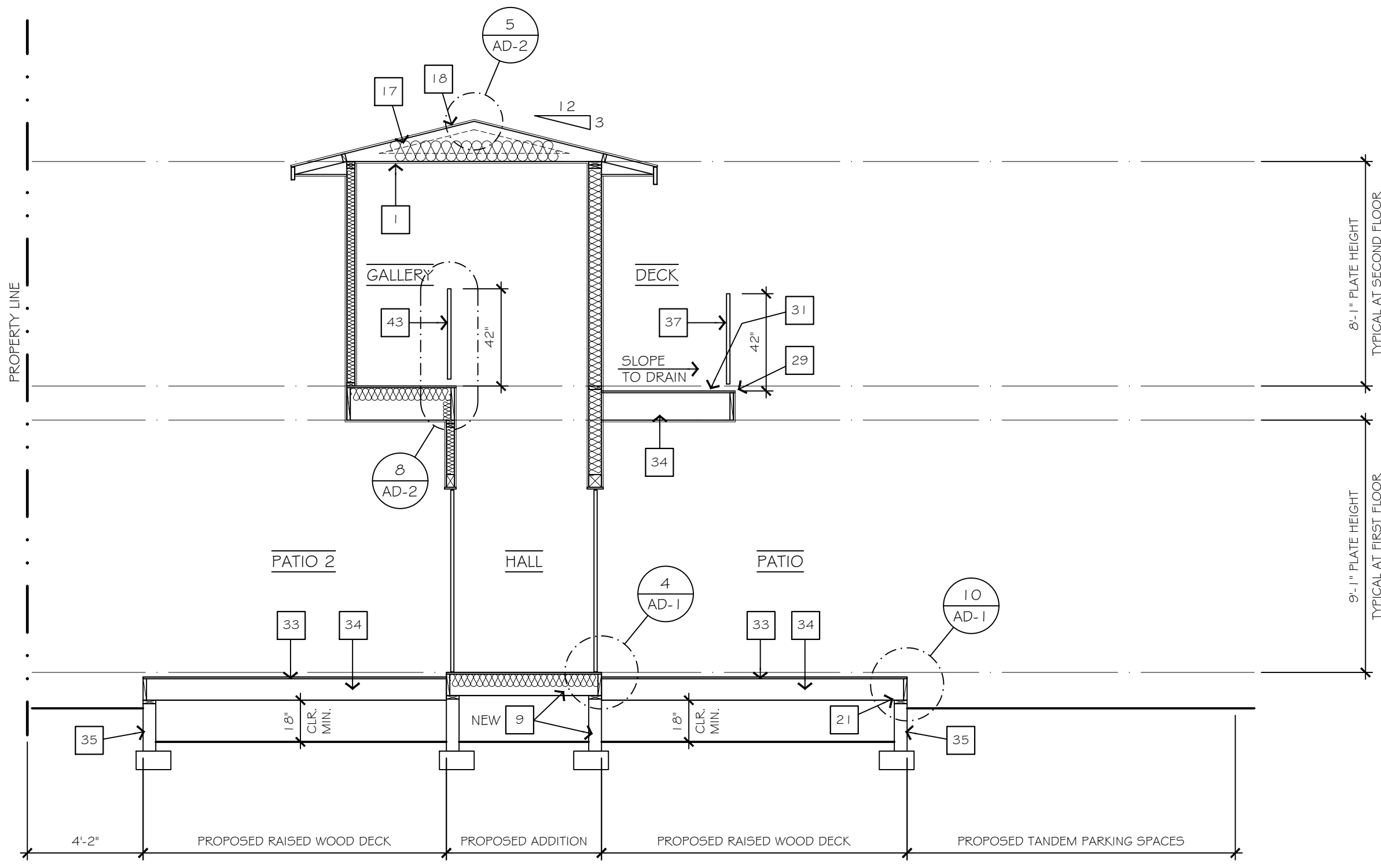
**C**



**BUILDING CROSS SECTION**

SCALE: 1/4"=1'-0"

**F**



**BUILDING CROSS SECTION**

SCALE: 1/4"=1'-0"

**E**

**BLDG. SECTION NOTES**

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE DESIGNER SHALL BE NOTIFIED, IN WRITING, OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMPLECTIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- VERIFY AS BUILT FRAMING FOR EXISTING FLAT ROOF. ADJUSTMENTS TO THE DRAWINGS MAY BE REQUIRED AFTER THE EXISTING FRAMING IS EXPOSED.

**NUMBERED NOTES**

- 1/2" NO SAG" GYPSUM BOARD OR 5/8" GYPSUM BOARD AT CEILING.
- 1/2" GYPSUM BOARD. TYPICAL INTERIOR WALL FINISH. U.O.N.
- TYPICAL DOUBLE TOP PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2X4 STUDS AT 16" O.C. TYPICAL U.O.N. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2X SILL PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- R-15 BATT INSULATION. TYPICAL EXTERIOR/PERIMETER WALL INSULATION.
- R-30 BATT INSULATION. TYPICAL CEILING INSULATION.
- R-19 BATT INSULATION. TYPICAL FLOOR INSULATION.
- RAISED WOOD FLOOR FOUNDATION SYSTEM PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- NEW FLOOR TO CO-PLANE WITH EXISTING FLOOR.
- EXISTING FINISH GRADE. NO NEW GRADING PROPOSED. EXISTING GRADE AND FINISH GRADE ARE THE SAME.
- 2X FRIEZE BLOCKING.
- PROVIDE 2X LADDER FRAMING AT 24" O.C. TO CREATE FLAT SOFFIT WITH EXTERIOR PLASTER FINISH. TYP. AT EAVE AND RAKE OVERHANG.
- 2X8 PAINTED WOOD FASCIA BOARD. TYPICAL AT EAVE.
- 2X8 PAINTED WOOD BARGE BOARD. TYPICAL AT RAKE.
- 2X4 (FLAT) OUTLOOKERS AT 48" O.C.
- ROOF FRAMING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- ROOF SHEATHING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION. REFER TO ENERGY COMPLIANCE REPORT TO VERIFY IF ROOF SHEATHING IS TO HAVE A RADIANT BARRIER.
- CODE COMPLIANT 3-COAT EXTERIOR PLASTER FINISH OVER 1/2" BUILDING PAPER.
- 2GG MIN. GALV. MTL. WEEP SCREED AT BASE OF WALL AT PERIMETER OF BUILDING. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 2X D.F.P.T. SILL PLATE. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- OVER-FRAMING. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- 2GG MIN. GALV. MTL. FLASHING.
- 2GG MIN. GALV. MTL. FLASHING AT ALL ROOF TO WALL CONNECTIONS.
- GARAGE CONCRETE CURB AND SPREAD FOOTING. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- GARAGE SLAB. SLOPE TO DRAIN TOWARDS NORTH FACING OPENING.
- PROVIDE 1/2" GYP. BD. AT GARAGE WALLS ADJACENT TO AND/OR SUPPORTING LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- PROVIDE 5/8" TYPE 'X' GYP. BD. AT GARAGE CEILING AND SUPPORT BEAMS, ADJACENT TO LIVING SPACES, FOR 1 HOUR FIRE PROTECTION.
- 2GG MIN. GALV. MTL. DRIP EDGE. TYPICAL ALONG THE PERIMETER OF THE DECK WITH RUBBERIZED COATING.
- OPEN TREAD WOOD FRAMED STAIRS FROM TOP OF DECK TO CONCRETE STUMP AT FINISH GRADE. 1" TREADS (1" MIN. PER CODE). 7" 3/4" MAX. RISER. VERIFY RISER QUANTITY ON SITE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- CLASS 'A' RUBBERIZED DECK TOPPING BY 'PU-DEK' OR EQUIVALENT. ICC ESR 2097
- 2X4 CRIPPLE STUDS AT 16" O.C.
- 2X SKIP BOARD DECKING AT DECK. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- DECK FRAMING PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- DECK FOUNDATION AT PERIMETER OF DECK PER STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- PLASTER WRAPPED GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- TEMPERED GLASS PANEL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE OVER PLASTER WRAPPED CRIPPLE WALL. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- EXISTING CONCRETE WALKWAY.
- NEW CONCRETE PORCH AND STEPS ON GRADE. NEW STEPS TO BE NO MORE THAN 3 RISERS PER STAIR RUN. VERIFY QUANTITY OF RISERS NEEDED TO GET FROM WALKWAY TO PORCH. 7" 3/4" MAX. RISER. 1'0" MIN. TREAD.
- EXISTING WALL FINISH TO REMAIN.
- NEW WINDOWS IN EXISTING WALL OPENING. EXISTING HEADER, TOP PLATE AND SILL PLATE TO REMAIN UNCHANGED/UNTouched TO QUALIFY AS A NON-DEMOLISHED WALL PER CITY DEMOLITION GUIDELINES.
- CABLE RAIL GUARDRAIL AT 42" HT. ABOVE HIGHEST POINT OF WALKING SURFACE. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- PERMEABLE CONCRETE PARKING PAVERS. OWNER TO VERIFY DESIGN, LAYOUT AND FINISH TEXTURE.

12465 VIA DIEGO  
LAKESIDE, CA 92040  
(619) 966-3122  
www.amdinteriors.net

REMODEL AND ADDITION FOR  
**BELLEVE RESIDENCE**  
2610 BELLEVE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

**A-5.2**

OF SHEETS

# ELEC/MECH/PLMB SYMBOLS

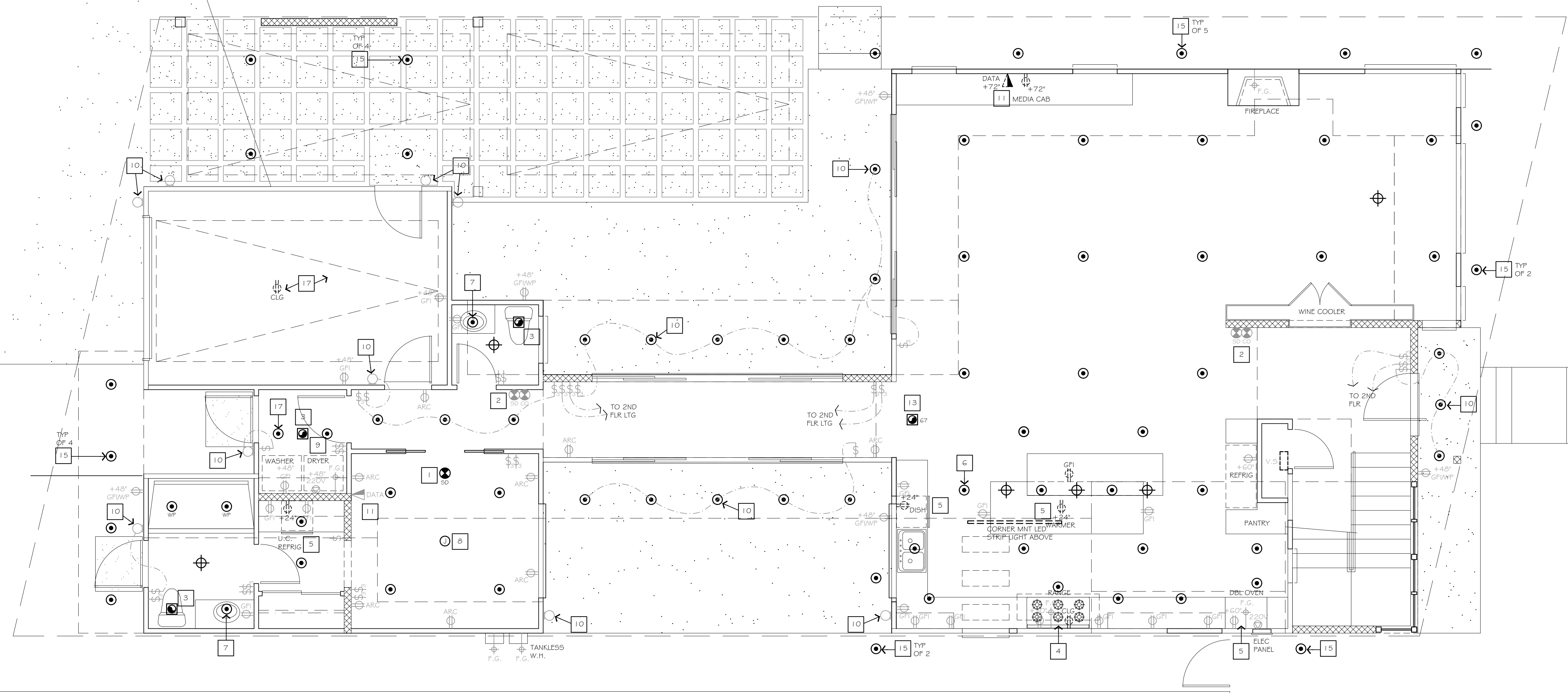
- 1 110 V. DUPLEX OUTLET (AT + 12" ABOVE FLOOR U.O.N.)
- 110 V. DUPLEX OUTLET (UNDER BASE CABINET OR BEHIND APPLIANCE)
- 110 V. DUPLEX OUTLET (SWITCH CONTROLLED - 1/2 HOT).
- 110 V. DUPLEX OUTLET, IN FLOOR.
- 110 V. DUPLEX OUTLET, IN FLOOR, (SWITCH CONTROLLED- 1/2 HOT).
- 220V 220 V. OUTLET OR LARGER, VERIFY W/ APPLIANCE SPECS.
- WALL OR CEILING SURFACE MOUNTED HIGH EFFICACY LIGHT FIXTURE
- HANGING HIGH EFFICACY LIGHT FIXTURE, (VERIFY STYLE).
- RECESSED HIGH EFFICACY CEILING LIGHT FIXTURE.
- DIRECT INCANDESCENT LIGHT FIXTURE, (VERIFY STYLE).
- PROVIDE J-BOX FOR LUMINOUS FIXTURE (SWITCH CONTROLLED).
- SPECIALTY INCANDESCENT LIGHTING (STRIP LIGHTING OVER VANITY).
- FLOUORESCENT LIGHT FIXTURE,SEE PLAN FOR TUBE LENGTHS.
- FLOUORESCENT LIGHT FIXTURES UNDER UPPER KITCHEN CABINETS.
- RECESSED EXHAUST AIR FAN.
- RECESSED COMBINATION LIGHT / EXHAUST FAN.
- INTERIOR / EXTERIOR INCANDESCENT WALK LIGHTS, (VERIFY STYLE).
- TWO POLE LIGHT SWITCH AT (+42" ABOVE FLOOR, +8" ABOVE COUNTER).
- THREE WAY LIGHT SWITCH.
- FOUR WAY LIGHT SWITCH.
- DIMMER REOSTAT SWITCH.
- MANUAL-ON OCCUPANT SENSOR.
- VACANCY SENSOR (CEILING MOUNT, T-24 COMPLIANT)
- HARD WIRED SMOKE DETECTOR WITH BATTERY BACK-UP.
- HARD WIRED CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP.
- TELEPHONE HOOKUP JACK (8" ABOVE FLOOR AND/OR COUNTER).
- CABLE TELEVISION HOOKUP JACK (MOUNTED 8" ABOVE FLOOR).
- HOME AUTOMATION HOOKUP JACK (VERIFY STYLE)
- PUSH BUTTON.
- DOOR CHIMES.
- THERMOSTAT, LOCATION PER HVAC LAYOUT # FRAMING WALK-THRU.
- FUEL GAS OUTLET.
- LOOSE KEY VALVE.
- HOSE BIBB.
- P & T VALVE.

# NUMBERED NOTES

- 1 PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AT ALL NEW BEDROOMS. REFER TO "POWER / LIGHTING NOTES", "U", "V" AND "W" FOR ADDITIONAL INFORMATION.
- 2 PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT ALL HALLWAYS SERVING ACCESS TO BEDROOMS. REFER TO "POWER / LIGHTING NOTES", "U", "V", "W" AND "X" FOR ADDITIONAL INFORMATION.
- 3 PROVIDE A MIN. 50 CFM EXHAUST FAN AT BATHROOM AND LAUNDRY CEILING. EXHAUST FAN TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINT SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS. EXTERIOR VENT TO BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LouVERS OR GRILLES WITH OPENINGS 1/4 HIGH TO 1/2 INCH IN SIZE. REFER TO "POWER / LIGHTING NOTES", "Q", "R", "S" AND "T" FOR ADDITIONAL INFORMATION.
- 4 PROVIDE ELECTRICAL SUPPLY AT CEILING, ON A SEPARATE CIRCUIT, FOR HOOD ABOVE. PROVIDE AN OUTLET AT 30" HT., ON A SEPARATE CIRCUIT, FOR COOKING APPLIANCE IGNITER AT RANGE APPLIANCE.
- 5 PROVIDE OUTLET UNDER COUNTERTOP FOR APPLIANCE PER PLAN. APPLIANCE OUTLET TO BE ON A SEPARATE CIRCUIT.
- 6 ALL THE INSTALLED WATTAGE OF LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING (IF APPLICABLE) SHALL BE SWITCHED SEPARATELY.
- 7 LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- 8 PROVIDE A 1" BOX FOR AN OWNER SUPPLIED CEILING FAN AT CEILING, LOCATED IN THE CENTER OF THE ROOM. OWNER TO VERIFY FIXTURE. PROVIDE CONTROLS AT WALL PLATE FOR FAN AND LIGHT FIXTURE.
- 9 PROVIDE A 4" DRYER VENT TO EXTERIOR PER SECTIONS 504 AND 905 C.M.C. ROUTE VENT THRU BASE OF WALL, TO OUTSIDE AIR (14" O" MAX. LENGTH W/ 2 - 90 DEG. ELBOWS). REFER TO "POWER / LIGHTING NOTES", "Q" AND "S" FOR ADDITIONAL INFORMATION. PROVIDE A CODE COMPLIANT BOOSTER FAN IF VENT RUN EXCEEDS CODE MAXIMUM LENGTH. BACKDRAFT DAMPER REQUIRED AT VENT TERMINATION.
- 10 EXTERIOR GRADE LIGHT FIXTURE. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. REFER TO "POWER / LIGHTING NOTES", "T" FOR ADDITIONAL INFORMATION.
- 11 PROVIDE A MULTI-PORT WALL JACK FOR PHONE, TV AND DATA CONNECTIONS. OWNER TO VERIFY POWER AND LOW-VOLTAGE REQUIREMENTS.
- 12 APPROXIMATE LOCATION OF FURNACE PLATFORM IN ATTIC. VERIFY LOCATION. REFER TO "EQUIPMENT NOTES" TO THE LEFT FOR ADDITIONAL INFORMATION.
- 13 WHOLE HOUSE (IAQ) FAN PER "EQUIPMENT NOTES" (BOTTOM RIGHT CORNER) NOTE 'D'. VERIFY LOCATION.
- 14 PRE-PLUMB HOUSE FOR AN OPTIONAL AIR CONDITIONING. PROVIDE MIN. 36" SQ. LEVEL PAD FOR AIR CONDITIONING UNIT. PROVIDE 220V DISCONNECT. VERIFY LOCATION. REFER TO "EQUIPMENT NOTES" (BOTTOM RIGHT CORNER) NOTE 'B'.
- 15 EXTERIOR GRADE LIGHT FIXTURE AT ROOF OVERHANG SOFFIT. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. THESE LIGHT FIXTURES TO BE CONTROLLED BY A PHOTOCELL CONTROLLER. OWNER TO VERIFY LOCATION OF MANUAL LIGHT SWITCH.
- 16 REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR SPECIALLY WALL LIGHTING AT ROOF DECK GUARDRAILS.
- 17 LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

# M / E / P NOTES

- A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- C. THE POWER AND LIGHTING LAYOUT SHOWN REPRESENTS CODE MINIMUM REQUIREMENTS. OWNER TO VERIFY ANY ADDITIONAL POWER AND/OR LIGHTING FIXTURES, FIXTURES AND INSTALLATION TO COMPLY WITH CURRENT CODE REQUIREMENTS.
- D. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- E. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- F. ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING WET BAR COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF WET BAR SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I., PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-8 C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BASIN LOCATION.
- G. ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS, ARE REQUIRED TO BE "ARC" PROTECTED OUTLETS (ARC-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-12 C.E.C.
- H. ALL NEW DWELLING UNIT RECEPTACLES REQUIRED BY C.E.C. 210.52 ARE REQUIRED TO BE LISTED "TAMPER-RESISTANT" RECEPTACLES. LISTED TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 90.2(a)(1), 210.52, 406.11.
- I. BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT WITH NO OTHER OUTLETS ALLOWED. CEC 210-11(C)(3)
- J. ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. ARTICLE 210-52(a).
- K. LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-70.
- L. LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 410-4(a), (b).
- M. LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH ARTICLE 410-8 C.E.C.
- N. LIGHT SWITCHES MUST BE EFFECTIVELY GROUND.
- O. ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 304 C.M.C. AND TABLE 3-A C.M.C.
- P. OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING:  
P.1. PHOTO-CONTROL AND MOTION SENSOR  
P.2. ASTRONOMICAL TIME CLOCK  
P.3. ENERGY MANAGEMENT CONTROL SYSTEM
- Q. EXHAUST FANS AND HOODS TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINTS SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS.
- R. BATHROOM EXHAUST FANS SHALL BE CAPABLE OF PROVIDING 50 CFM AND SHALL BE REMOTELY CONTROLLED PER CMC CHAPTER 4 AND CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4, DIVISION 4.5
- S. FOR KITCHEN, BATH AND OTHER EXHAUST FANS, SIZE THE DUCTS PER ASHRAE 62.2, TABLE 7.1 OR TABLE 4.9 OF THE 2009 RESIDENTIAL COMPLIANCE MANUAL.
- T. INTERMITTENTLY OPERATED LOCAL EXHAUST FANS (KITCHEN, BATH, ETC.), SHALL BE RATED AT 3.0 SONES OR LESS.
- U. ALL NEW SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R314 AND N.F.P.A. 72.
- V. ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.
- W. SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217. IN EXISTING CONSTRUCTION, SMOKE DETECTORS THAT NO LONGER FUNCTION OR ARE OVER 10 YEARS OLD SHALL BE REPLACED.
- X. ALL NEW CARBON MONOXIDE (CO) DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R315. CARBON MONOXIDE DETECTORS SHALL BE COMPLY WITH UL 2034, UL 2075 AND/OR N.F.P.A. 720
- Y. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- Z. ALL LUMINARIES IN ALL OTHER ROOMS NOT MENTIONED IN THE NUMBERED NOTES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER.



ALL LIGHTING TO BE "H" HIGH EFFICACY (LED OR EQUIVALENT) AND COMPLY WITH TITLE 24 LIGHTING REQUIREMENTS

## FIRST FLOOR POWER AND LIGHTING LAYOUT

SCALE: 1/4"=1'-0"

# EQUIPMENT NOTES

- A. HIGH EFFICIENCY CENTRAL FURNACE TO BE A GAS FIRED APPLIANCE BY: "BRYANT", MODEL: 311JAV024045, OUTPUT: 35,000 BTUH, OR EQUIVALENT. 80 AFUE. FURNACE LOCATED IN ATTIC. PROVIDE A SWITCHED LIGHT, ELECTRICAL OUTLET AND FUEL GAS SHUT-OUT. PROVIDE A PASSAGEWAY AND UNOBSTRUCTED WORK SPACE IN FRONT OF THE UNITS. INSTALL PER SECTIONS 304, 309, 319 AND 706 C.M.C. REFER TO ENERGY COMPLIANCE SHEETS FOR APPLIANCE SPECIFICATIONS. PROVIDE A 3/4" CONDENSATION LINE FROM UNIT TO DRAIN BELOW.
- B. CONDENSER UNIT: 15 SEER, 3 TON. PROVIDE LEVELING PAD AND 220V GFI DISCONNECT FOR CONDENSER UNIT. PROVIDE A 110V SERVICE OUTLET WITHIN 25 FEET OF CONDENSER UNIT.
- C. HIGH EFFICIENCY GAS FIRED TANK-LESS WATER HEATER APPLIANCE BY: "NORITZ", MODEL: NRC-661-DV-NG, OR EQUIVALENT. .91 ENERGY FACTOR.
- D. PROVIDE A WHOLE HOUSE INDOOR AIR QUALITY (IAQ) VENTILATION SYSTEM. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHEN BASED ON KITCHEN VOLUME. REFER TO "POWER / LIGHTING NOTES", "Q", "R", "S" AND "T" FOR ADDITIONAL INFORMATION.



12465 VIA DIEGO  
LAKESIDE, CA 92040  
(619) 966-3128  
www.amdinteriors.net

**A M D**  
interiors incorporated

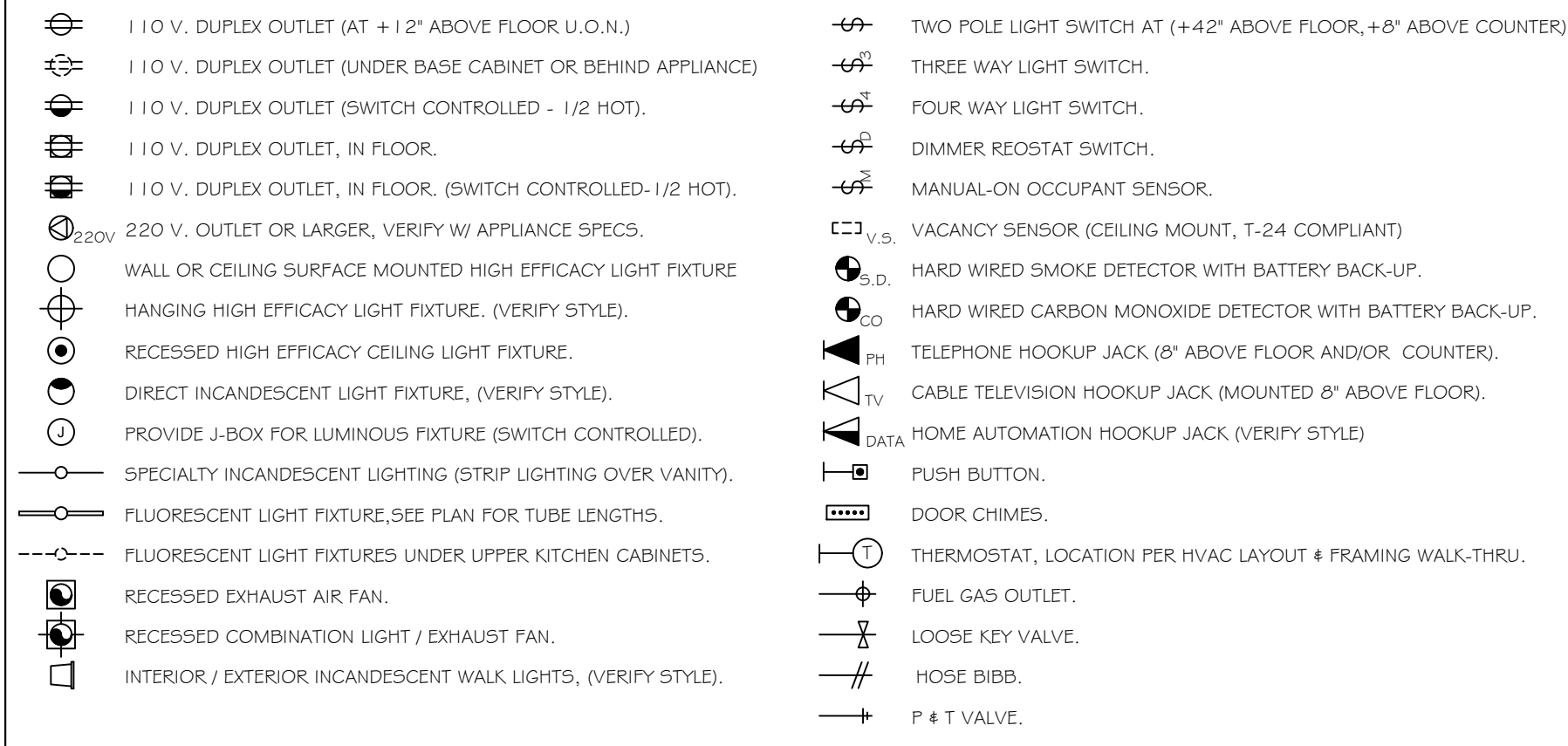
REMODEL AND ADDITION FOR  
**BELLEVUE RESIDENCE**  
2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

REVISIONS	BY

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

**E-1.1**  
OF SHEETS

# ELEC/MECH/PLMB SYMBOLS

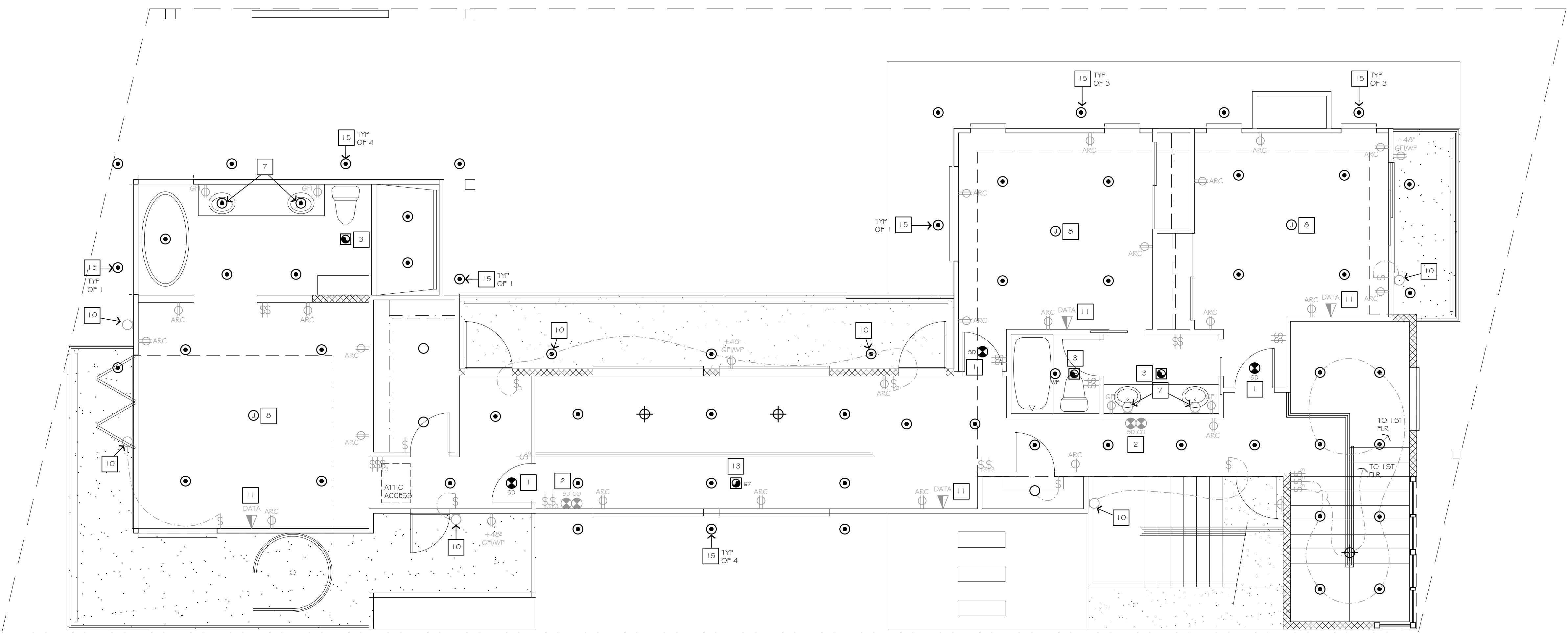


# NUMBERED NOTES

- PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AT ALL NEW BEDROOMS. REFER TO "POWER / LIGHTING NOTES", "U", "V" AND "W" FOR ADDITIONAL INFORMATION.
- PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT ALL HALLWAYS SERVING ACCESS TO BEDROOMS. REFER TO "POWER / LIGHTING NOTES", "U", "V", "W" AND "X" FOR ADDITIONAL INFORMATION.
- PROVIDE A MIN. 50 CFM EXHAUST FAN AT BATHROOM AND LAUNDRY CEILING. EXHAUST FAN TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINT SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS. EXTERIOR VENT TO BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OPENINGS 1/4 INCH TO 1/2 INCH IN SIZE. REFER TO "POWER / LIGHTING NOTES", "Q", "R", "S" AND "T" FOR ADDITIONAL INFORMATION.
- PROVIDE ELECTRICAL SUPPLY AT CEILING, ON A SEPARATE CIRCUIT, FOR HOOD ABOVE. PROVIDE AN OUTLET AT 30" HT., ON A SEPARATE CIRCUIT, FOR COOKING APPLIANCE IGNITER AT RANGE APPLIANCE.
- PROVIDE OUTLET UNDER COUNTERTOP FOR APPLIANCE PER PLAN. APPLIANCE OUTLET TO BE ON A SEPARATE CIRCUIT.
- ALL THE INSTALLED WATTAGE OF LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING (IF APPLICABLE) SHALL BE SWITCHED SEPARATELY.
- LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
- PROVIDE A "F" BOX FOR AN OWNER SUPPLIED CEILING FAN AT CEILING, LOCATED IN THE CENTER OF THE ROOM. OWNER TO VERIFY FIXTURE. PROVIDE CONTROLS AT WALL PLATE FOR FAN AND LIGHT FIXTURE.
- PROVIDE A 4" DRYER VENT TO EXTERIOR PER SECTIONS 504 AND 905 C.M.C. ROUTE VENT THRU BASE OF WALL, TO OUTSIDE AIR (14" MAX. LENGTH W/ 2 - 90 DEG. ELBOWS). REFER TO "POWER / LIGHTING NOTES", "Q" AND "S" FOR ADDITIONAL INFORMATION. PROVIDE A CODE COMPLIANT BOOSTER FAN IF VENT RUN EXCEEDS CODE MAXIMUM LENGTH. BACKDRAFT DAMPER REQUIRED AT VENT TERMINATION.
- EXTERIOR GRADE LIGHT FIXTURE. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. REFER TO "POWER / LIGHTING NOTES", "T" FOR ADDITIONAL INFORMATION.
- PROVIDE A MULTI-PORT WALL JACK FOR PHONE, TV AND DATA CONNECTIONS. OWNER TO VERIFY POWER AND LOW-VOLTAGE REQUIREMENTS.
- APPROXIMATE LOCATION OF FURNACE PLATFORM IN ATTIC. VERIFY LOCATION. REFER TO "EQUIPMENT NOTES" TO THE LEFT FOR ADDITIONAL INFORMATION.
- WHOLE HOUSE (HAQ) FAN PER "EQUIPMENT NOTES" (BOTTOM RIGHT CORNER) NOTE "D". VERIFY LOCATION.
- PRE-PLUMB HOUSE FOR AN OPTIONAL AIR CONDITIONING. PROVIDE MIN. 36" SQ. LEVEL PAD FOR AIR CONDITIONING UNIT. PROVIDE 220V DISCONNECT. VERIFY LOCATION. REFER TO "EQUIPMENT NOTES" (BOTTOM RIGHT CORNER) NOTE "B".
- EXTERIOR GRADE LIGHT FIXTURE AT ROOF OVERHANG SOFFIT. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. THESE LIGHT FIXTURES TO BE CONTROLLED BY A PHOTOCELL CONTROLLER. OWNER TO VERIFY LOCATION OF MANUAL LIGHT SWITCH.
- REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR SPECIALLY WALL LIGHTING AT ROOF DECK GUARDRAILS.
- LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

# M / E / P NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
- THE POWER AND LIGHTING LAYOUT SHOWN REPRESENTS CODE MINIMUM REQUIREMENTS. OWNER TO VERIFY ANY ADDITIONAL POWER AND/OR LIGHTING FIXTURES, FIXTURES AND INSTALLATION TO COMPLY WITH CURRENT CODE REQUIREMENTS.
- THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
- ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
- ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING WET BAR COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF WET BAR SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I. PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-8 C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BASIN LOCATION.
- ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS, ARE REQUIRED TO BE "ARC" PROTECTED OUTLETS (ARC-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-12 C.E.C.
- ALL NEW DWELLING UNIT RECEPTACLES REQUIRED BY C.E.C. 210.52 ARE REQUIRED TO BE LISTED "TAMPER-RESISTANT" RECEPTACLES. LISTED TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 90.2(a)(1), 210.52, 406.11.
- BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT WITH NO OTHER OUTLETS ALLOWED. CEC 210-11(C)(3)
- ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. ARTICLE 210-52(a).
- LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-70.
- LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 410-4(a), (b).
- LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH ARTICLE 410-8 C.E.C.
- LIGHT SWITCHES MUST BE EFFECTIVELY GROUNDING.
- ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 304 C.M.C. AND TABLE 3-A C.M.C.
- OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING:  
P.1. PHOTO-CONTROL AND MOTION SENSOR  
P.2. ASTRONOMICAL TIME CLOCK  
P.3. ENERGY MANAGEMENT CONTROL SYSTEM
- EXHAUST FANS AND HOODS TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINTS SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS.
- BATHROOM EXHAUST FANS SHALL BE CAPABLE OF PROVIDING 50 CFM AND SHALL BE AUTOMATICALLY CONTROLLED PER CMC CHAPTER 4 AND CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4, DIVISION 4.5
- FOR KITCHEN, BATH AND OTHER EXHAUST FANS, SIZE THE DUCTS PER ASHRAE 62.2, TABLE 7.1 OR TABLE 4.9 OF THE 2009 RESIDENTIAL COMPLIANCE MANUAL.
- INTERMITTENTLY OPERATED LOCAL EXHAUST FANS (KITCHEN, BATH, ETC.), SHALL BE RATED AT 3.0 SONES OR LESS.
- ALL NEW SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R314 AND N.F.P.A. 72.
- ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.
- SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217. IN EXISTING CONSTRUCTION, SMOKE DETECTORS THAT NO LONGER FUNCTION OR ARE OVER 10 YEARS OLD SHALL BE REPLACED.
- ALL NEW CARBON MONOXIDE (CO) DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R315. CARBON MONOXIDE DETECTORS SHALL BE COMPLY WITH UL 2034, UL 2075 AND/OR N.F.P.A. 720
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- ALL LUMINARIES IN ALL OTHER ROOMS NOT MENTIONED IN THE NUMBERED NOTES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER.



ALL LIGHTING TO BE "H" HIGH EFFICACY (LED OR EQUIVALENT) AND COMPLY WITH TITLE 24 LIGHTING REQUIREMENTS

## SECOND FLOOR POWER AND LIGHTING LAYOUT

SCALE: 1/4"=1'-0"

# EQUIPMENT NOTES

- HIGH EFFICIENCY CENTRAL FURNACE TO BE A GAS FIRED APPLIANCE BY: "BRYANT", MODEL: 311JAV024045, OUTPUT: 35,000 BTUH, OR EQUIVALENT. 80 AFUE. FURNACE LOCATED IN ATTIC. PROVIDE A SWITCHED LIGHT, ELECTRICAL OUTLET AND FUEL GAS SHUT-OUT. PROVIDE A PASSAGEWAY AND UNOBSTRUCTED WORK SPACE IN FRONT OF THE UNITS. INSTALL PER SECTIONS 304, 309, 319 AND 706 C.M.C. REFER TO ENERGY COMPLIANCE SHEETS FOR APPLIANCE SPECIFICATIONS. PROVIDE A 3/4" CONDENSATION LINE FROM UNIT TO DRAIN BELOW.
- CONDENSER UNIT: 15 SEER, 3 TON. PROVIDE LEVELING PAD AND 220V GFI DISCONNECT FOR CONDENSER UNIT. PROVIDE A 110V SERVICE OUTLET WITHIN 25 FEET OF CONDENSER UNIT.
- HIGH EFFICIENCY GAS FIRED TANK-LESS WATER HEATER APPLIANCE BY: "NORITZ", MODEL: NRC-661-DV-HG, OR EQUIVALENT. .91 ENERGY FACTOR.
- PROVIDE A WHOLE HOUSE INDOOR AIR QUALITY (HAQ) VENTILATION SYSTEM. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHEN BASED ON KITCHEN VOLUME. REFER TO "POWER / LIGHTING NOTES", "Q", "R", "S" AND "T" FOR ADDITIONAL INFORMATION.



REMODEL AND ADDITION FOR  
**BELLEVEU RESIDENCE**  
2610 BELLEVEU AVENUE LA JOLLA, CALIFORNIA

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.

REVISIONS	BY


**E-1.2**

OF SHEETS

AMJD ARCHITECTS INCORPORATED  
12465 VIA DIEGO LAKESIDE, CA 92040  
(619) 962-3172 office (619) 866-3172 cell  
www.amjdatd.com www.amjdatd.com

ELEC/MECH/PLMB SYMBOLS

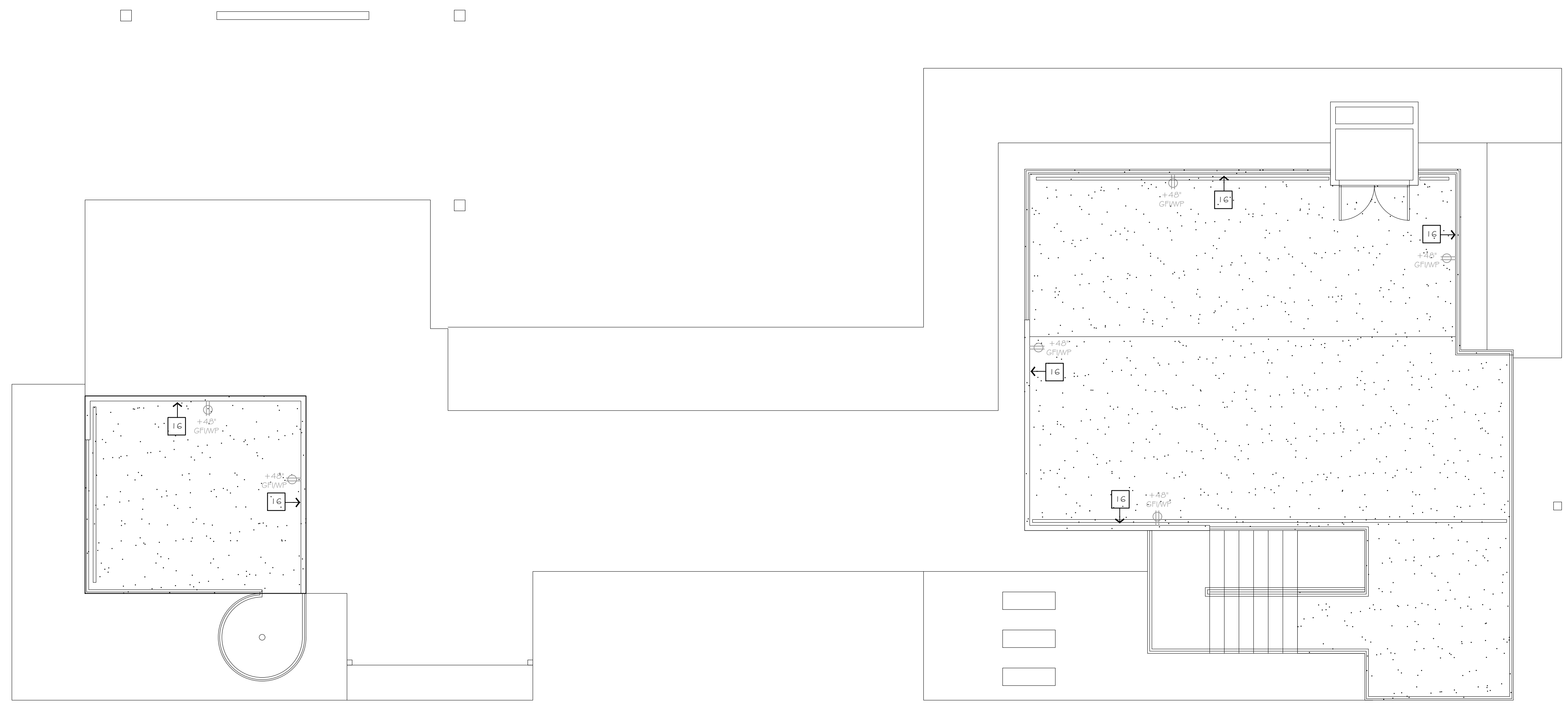


NUMBERED NOTES

- 1 PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AT ALL NEW BEDROOMS. REFER TO 'POWER / LIGHTING NOTES', 'U', 'V' AND 'W' FOR ADDITIONAL INFORMATION.
2 PROVIDE A NEW CODE COMPLIANT SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR AT ALL HALLWAYS SERVING ACCESS TO BEDROOMS. REFER TO 'POWER / LIGHTING NOTES', 'U', 'V', 'W' AND 'X' FOR ADDITIONAL INFORMATION.
3 PROVIDE A MIN. 50 CFM EXHAUST FAN AT BATHROOM AND LAUNDRY CEILING. EXHAUST FAN TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINT SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS. EXTERIOR VENT TO BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES WITH OPENINGS 1/4 INCH TO 1/2 INCH IN SIZE. REFER TO 'POWER / LIGHTING NOTES', 'Q', 'R', 'S' AND 'T' FOR ADDITIONAL INFORMATION.
4 PROVIDE ELECTRICAL SUPPLY AT CEILING, ON A SEPARATE CIRCUIT, FOR HOOD ABOVE. PROVIDE AN OUTLET AT 30" HT., ON A SEPARATE CIRCUIT, FOR COOKING APPLIANCE IGNITER AT RANGE APPLIANCE.
5 PROVIDE OUTLET UNDER COUNTERTOP FOR APPLIANCE PER PLAN. APPLIANCE OUTLET TO BE ON A SEPARATE CIRCUIT.
6 ALL THE INSTALLED WATTAGE OF LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING (IF APPLICABLE) SHALL BE SWITCHED SEPARATELY.
7 LIGHTING IN BATHROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE MUST BE CONTROLLED BY A VACANCY SENSOR.
8 PROVIDE A 'P' BOX FOR AN OWNER SUPPLIED CEILING FAN AT CEILING, LOCATED IN THE CENTER OF THE ROOM. OWNER TO VERIFY FIXTURE. PROVIDE CONTROLS AT WALL PLATE FOR FAN AND LIGHT FIXTURE.
9 PROVIDE A 4" DRYER VENT TO EXTERIOR PER SECTIONS 504 AND 905 C.M.C. ROUTE VENT THRU BASE OF WALL TO OUTSIDE AIR (14" MAX. LENGTH W/ 2 - 90 DEG. ELBOWS). REFER TO 'POWER / LIGHTING NOTES', 'Q' AND 'S' FOR ADDITIONAL INFORMATION. PROVIDE A CODE COMPLIANT BOOSTER FAN IF VENT RUN EXCEEDS CODE MAXIMUM LENGTH. BACKDRAFT DAMPER REQUIRED AT VENT TERMINATION.
10 EXTERIOR GRADE LIGHT FIXTURE. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. REFER TO 'POWER / LIGHTING NOTES', 'T' FOR ADDITIONAL INFORMATION.
11 PROVIDE A MULTI-PORT WALL JACK FOR PHONE, TV AND DATA CONNECTIONS. OWNER TO VERIFY POWER AND LOW-VOLTAGE REQUIREMENTS.
12 APPROXIMATE LOCATION OF FURNACE PLATFORM IN ATTIC. VERIFY LOCATION. REFER TO 'EQUIPMENT NOTES' TO THE LEFT FOR ADDITIONAL INFORMATION.
13 WHOLE HOUSE (HAQ) FAN PER 'EQUIPMENT NOTES' (BOTTOM RIGHT CORNER) NOTE 'D'. VERIFY LOCATION.
14 PRE-PLUMB HOUSE FOR AN OPTIONAL AIR CONDITIONING. PROVIDE MIN. 36" SQ. LEVEL PAD FOR AIR CONDITIONING UNIT. PROVIDE 220V DISCONNECT. VERIFY LOCATION. REFER TO 'EQUIPMENT NOTES' (BOTTOM RIGHT CORNER) NOTE 'B'.
15 EXTERIOR GRADE LIGHT FIXTURE AT ROOF OVERHANG SOFFIT. FIXTURE TO COMPLY WITH TITLE 24 OUTDOOR LIGHTING REQUIREMENTS. THESE LIGHT FIXTURES TO BE CONTROLLED BY A PHOTOCELL CONTROLLER. OWNER TO VERIFY LOCATION OF MANUAL LIGHT SWITCH.
16 REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS FOR SPECIALLY WALL LIGHTING AT ROOF DECK GUARDRAILS.
17 LIGHTING IN GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL HAVE ALL HIGH EFFICACY LUMINAIRE AND AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.

M / E / P NOTES

- A. REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
B. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS.
C. THE POWER AND LIGHTING LAYOUT SHOWN REPRESENTS CODE MINIMUM REQUIREMENTS. OWNER TO VERIFY ANY ADDITIONAL POWER AND/OR LIGHTING FIXTURES, FIXTURES AND INSTALLATION TO COMPLY WITH CURRENT CODE REQUIREMENTS.
D. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.
E. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED, THE DESIGNER ACCEPTS NO RESPONSIBILITY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.
F. ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING WET BAR COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF WET BAR SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I., PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-8 C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BATH TUB LOCATION.
G. ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS, ARE REQUIRED TO BE "ARC" PROTECTED OUTLETS (ARC-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-12 C.E.C.
H. ALL NEW DWELLING UNIT RECEPTACLES REQUIRED BY C.E.C. 210.52 ARE REQUIRED TO BE LISTED "TAMPER-RESISTANT" RECEPTACLES. LISTED TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 90.2(a)(1), 210.52, 406.11.
I. BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT WITH NO OTHER OUTLETS ALLOWED. CEC 210-11(C)(3)
J. ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. ARTICLE 210-52(a).
K. LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-70.
L. LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 410-4(a), (b).
M. LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH ARTICLE 410-6 C.E.C.
N. LIGHT SWITCHES MUST BE EFFECTIVELY GROUNDED.
O. ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 504 C.M.C. AND TABLE 5-A C.M.C.
P. OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING:
P.1. PHOTO-CONTROL AND MOTION SENSOR
P.2. ASTRONOMICAL TIME CLOCK
P.3. ENERGY MANAGEMENT CONTROL SYSTEM
Q. EXHAUST FANS AND HOODS TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINTS SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS.
R. BATHROOM EXHAUST FANS SHALL BE CAPABLE OF PROVIDING 50 CFM AND SHALL BE INTERMEDIATELY CONTROLLED PER CMC CHAPTER 4 AND CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4, DIVISION 4.5
S. FOR KITCHEN, BATH AND OTHER EXHAUST FANS, SIZE THE DUCTS PER ASHRAE 62.2, TABLE 7.1 OR TABLE 4.9 OF THE 2009 RESIDENTIAL COMPLIANCE MANUAL.
T. INTERMITTENTLY OPERATED LOCAL EXHAUST FANS (KITCHEN, BATH, ETC.), SHALL BE RATED AT 3.0 SONES OR LESS.
U. ALL NEW SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R314 AND N.F.P.A. 72.
V. ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.
W. SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217. IN EXISTING CONSTRUCTION, SMOKE DETECTORS THAT NO LONGER FUNCTION OR ARE OVER 10 YEARS OLD SHALL BE REPLACED.
X. ALL NEW CARBON MONOXIDE (CO) DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R315. CARBON MONOXIDE DETECTORS SHALL BE COMPLY WITH UL 2034, UL 2075 AND/OR N.F.P.A. 720.
Y. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
Z. ALL LUMINARIES IN ALL OTHER ROOMS NOT MENTIONED IN THE NUMBERED NOTES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER.



ALL LIGHTING TO BE "H" HIGH EFFICACY (LED OR EQUIVALENT) AND COMPLY WITH TITLE 24 LIGHTING REQUIREMENTS

ROOF DECK POWER AND LIGHTING LAYOUT

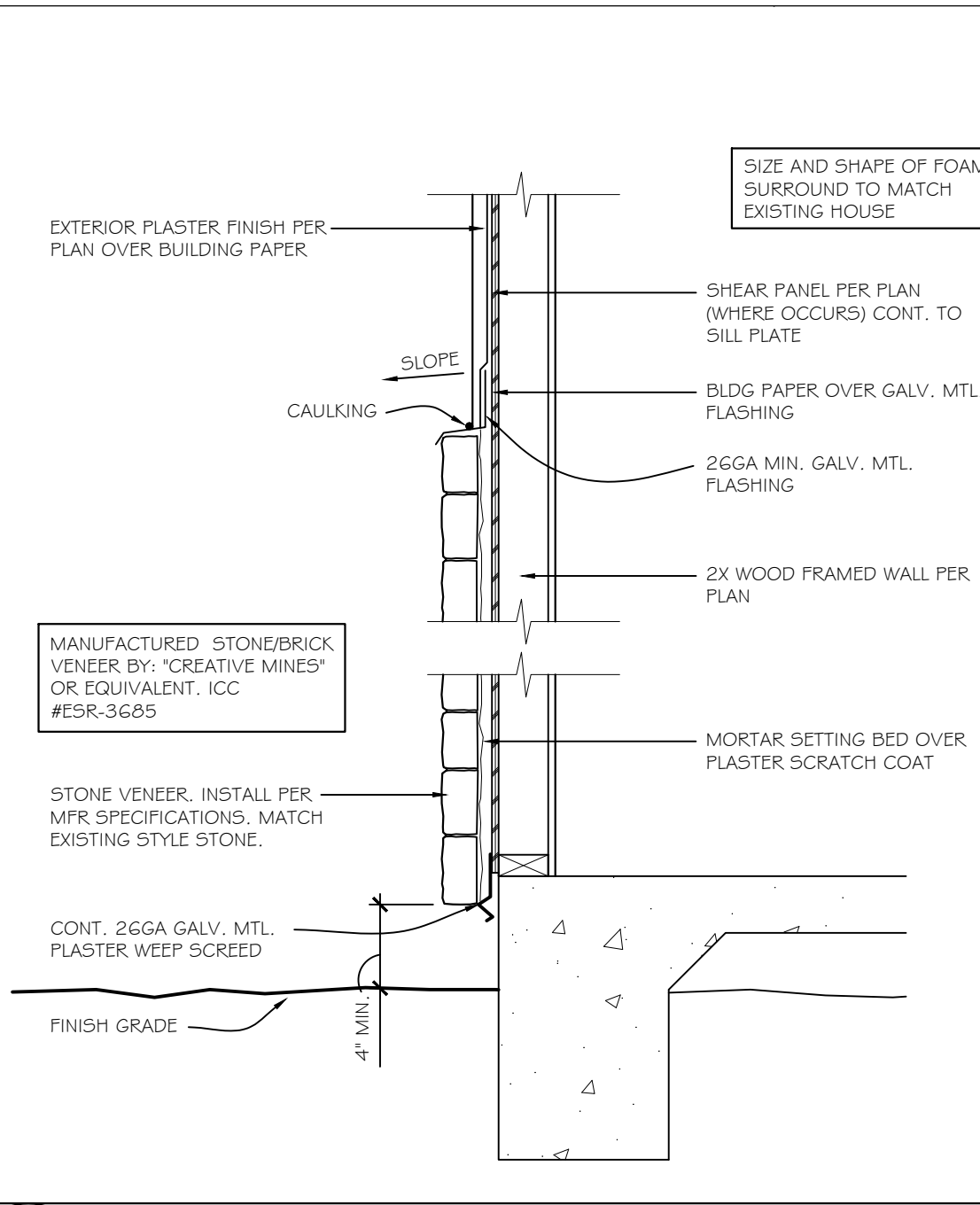
SCALE: 1/4" = 1'-0"



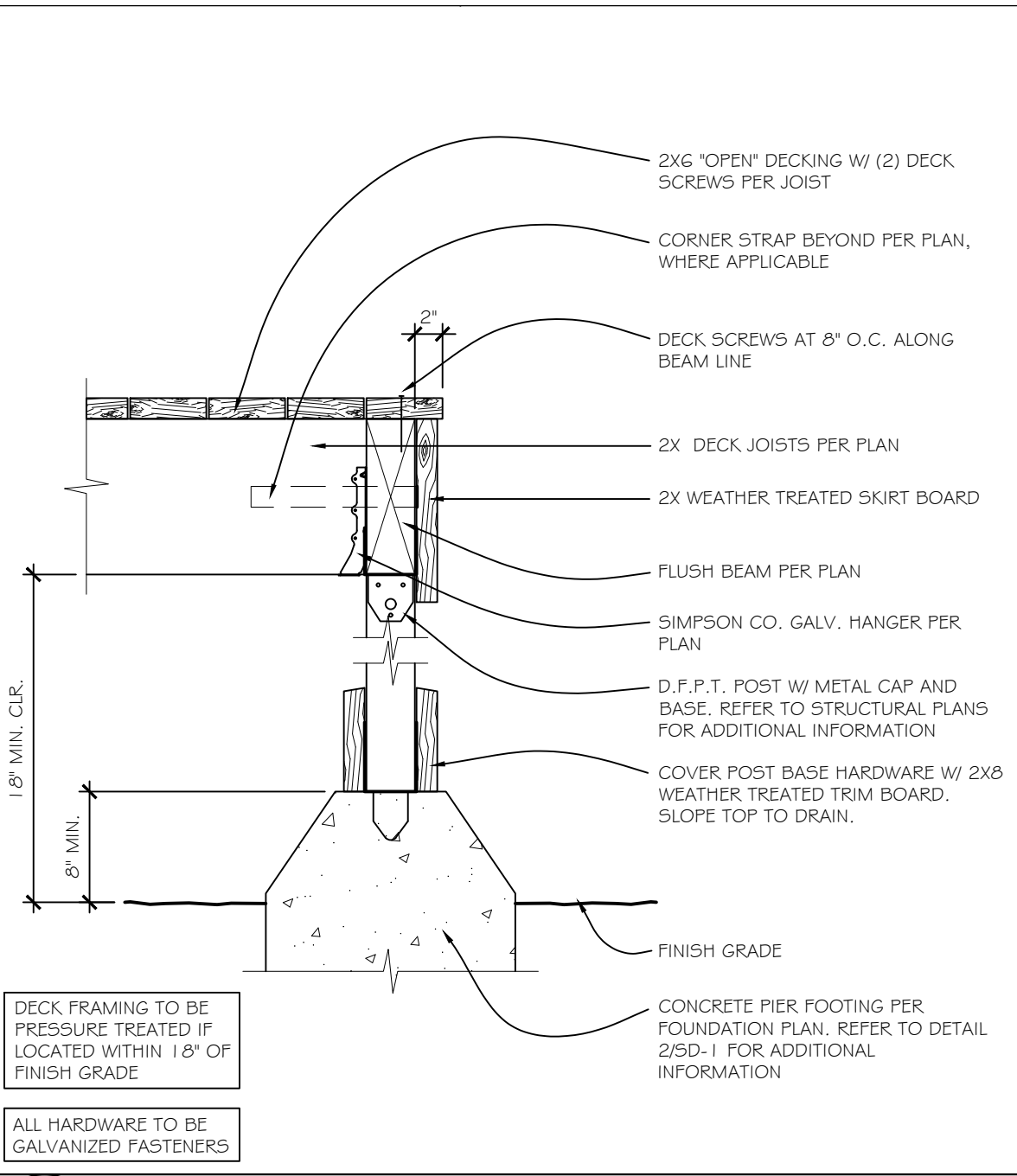
EQUIPMENT NOTES

- A. HIGH EFFICIENCY CENTRAL FURNACE TO BE A GAS FIRED APPLIANCE BY: 'BRYANT', MODEL: 311JAV024045, OUTPUT: 35,000 BTUH, OR EQUIVALENT. 80 AFUE. FURNACE LOCATED IN ATTIC. PROVIDE A SWITCHED LIGHT, ELECTRICAL OUTLET AND FUEL GAS SHUT-OUT. PROVIDE A PASSAGEWAY AND UNOBSTRUCTED WORK SPACE IN FRONT OF THE UNITS. INSTALL PER SECTIONS 304, 309, 319 AND 706 C.M.C. REFER TO ENERGY COMPLIANCE SHEETS FOR APPLIANCE SPECIFICATIONS. PROVIDE A 3/4" CONDENSATION LINE FROM UNIT TO DRAIN BELOW.
B. CONDENSER UNIT: 15 SEER, 3 TON. PROVIDE LEVELING PAD AND 220V GFI DISCONNECT FOR CONDENSER UNIT. PROVIDE A 110V SERVICE OUTLET WITHIN 25 FEET OF CONDENSER UNIT.
C. HIGH EFFICIENCY GAS FIRED TANK-LESS WATER HEATER APPLIANCE BY: 'NORITZ', MODEL: NRC-661-DV-HG, OR EQUIVALENT. .91 ENERGY FACTOR.
D. PROVIDE A WHOLE HOUSE INDOOR AIR QUALITY (IAQ) VENTILATION SYSTEM. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHEN BASED ON KITCHEN VOLUME. REFER TO 'POWER / LIGHTING NOTES', 'Q', 'R', 'S' AND 'T' FOR ADDITIONAL INFORMATION.

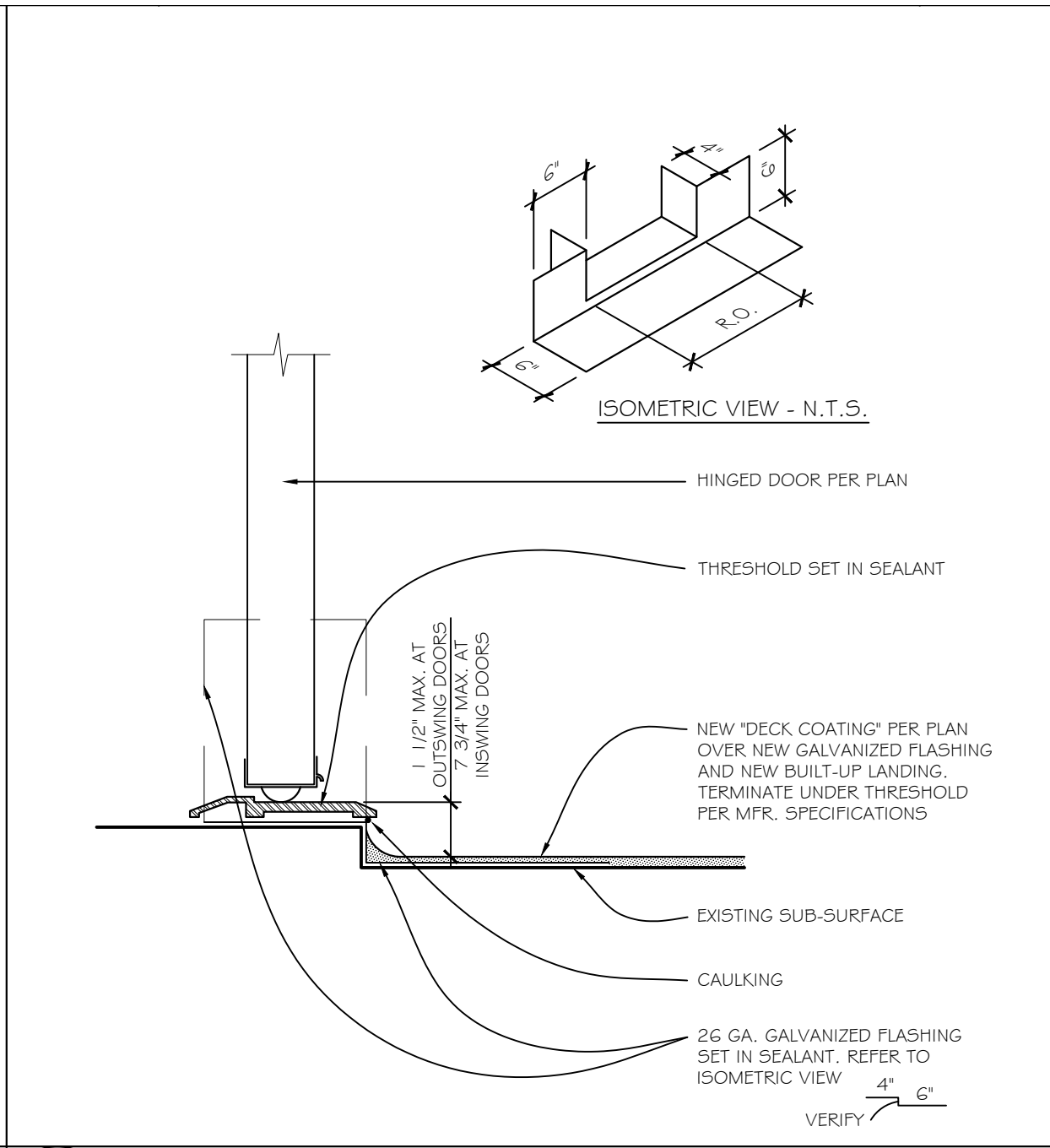
Table with columns: REVISIONS, BY, DATE: 04/15/20, DRAWN BY: AP, PROJECT No., FILE: 2020-2-28 B, SHEET No.



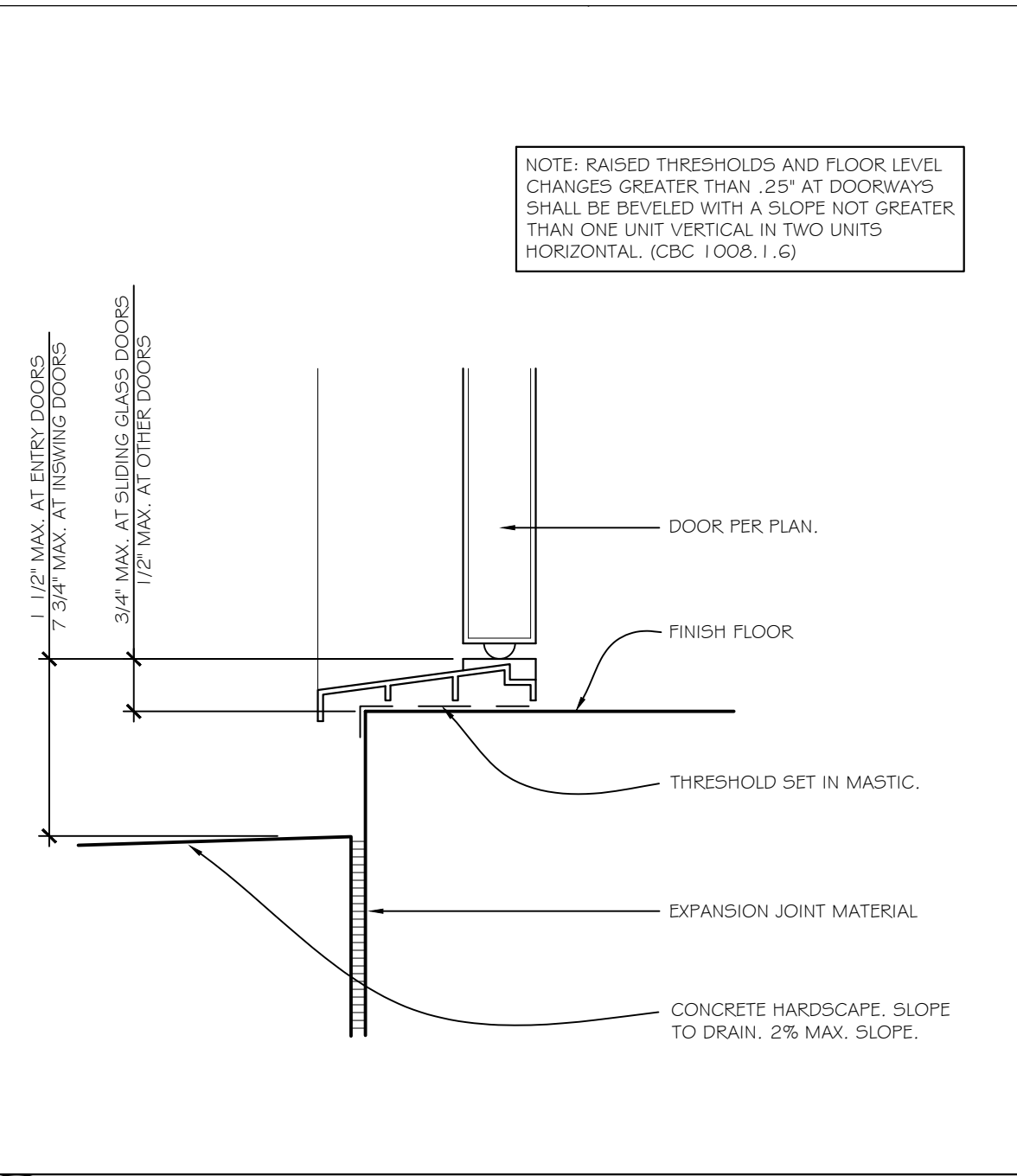
**13** STONE VENEER  
SCALE: 1"=1'-0"  
FILE: STONE\_VENEER-002



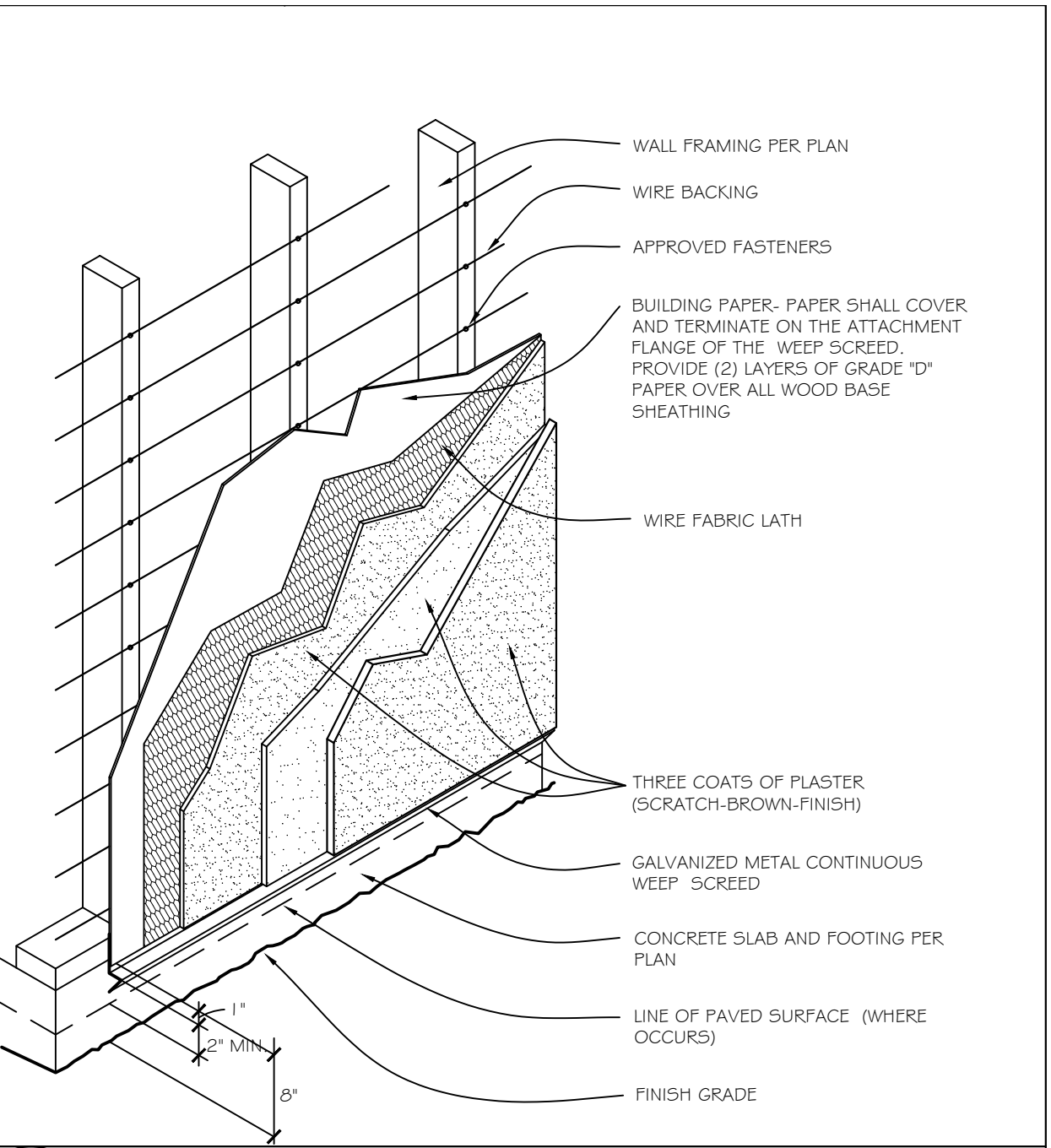
**10** END BEARING DECK  
SCALE: 1"=1'-0"  
FILE: END\_BRG\_DECK\_2X-002



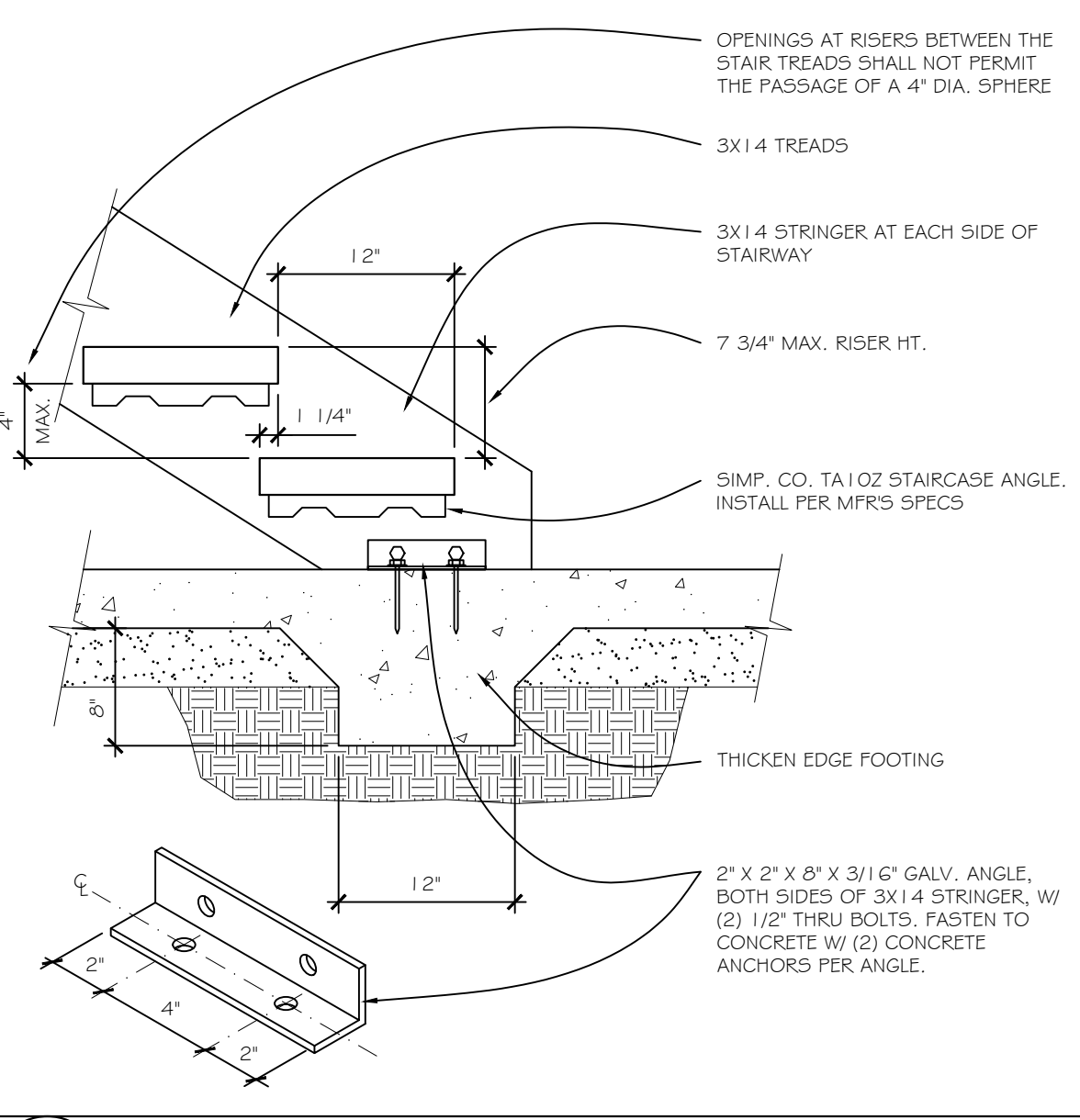
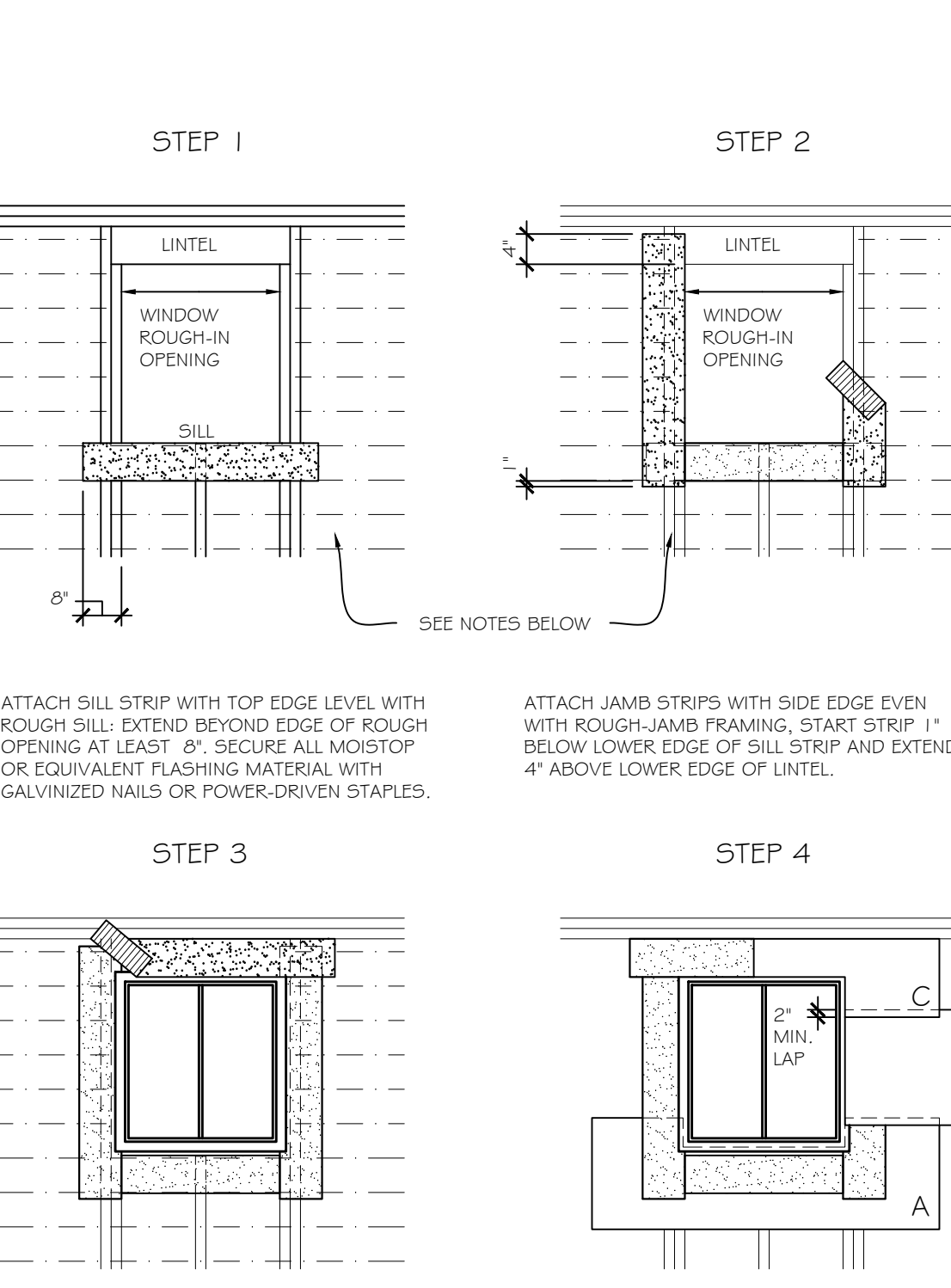
**7** THRESHOLD AT HINGED DOOR  
SCALE: 3\"/>



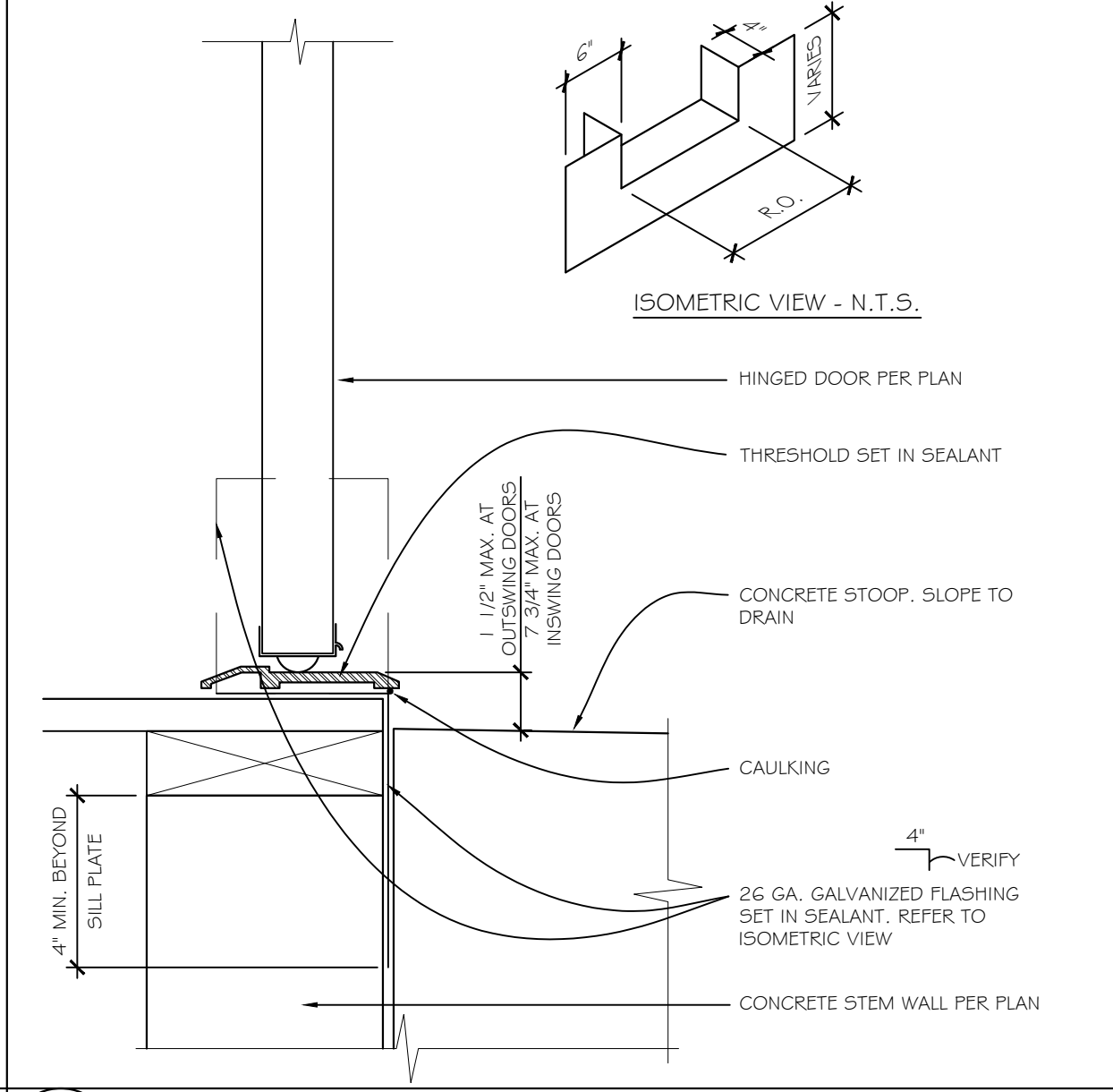
**4** LANDING AT EXTERIOR DOOR  
SCALE: 3\"/>



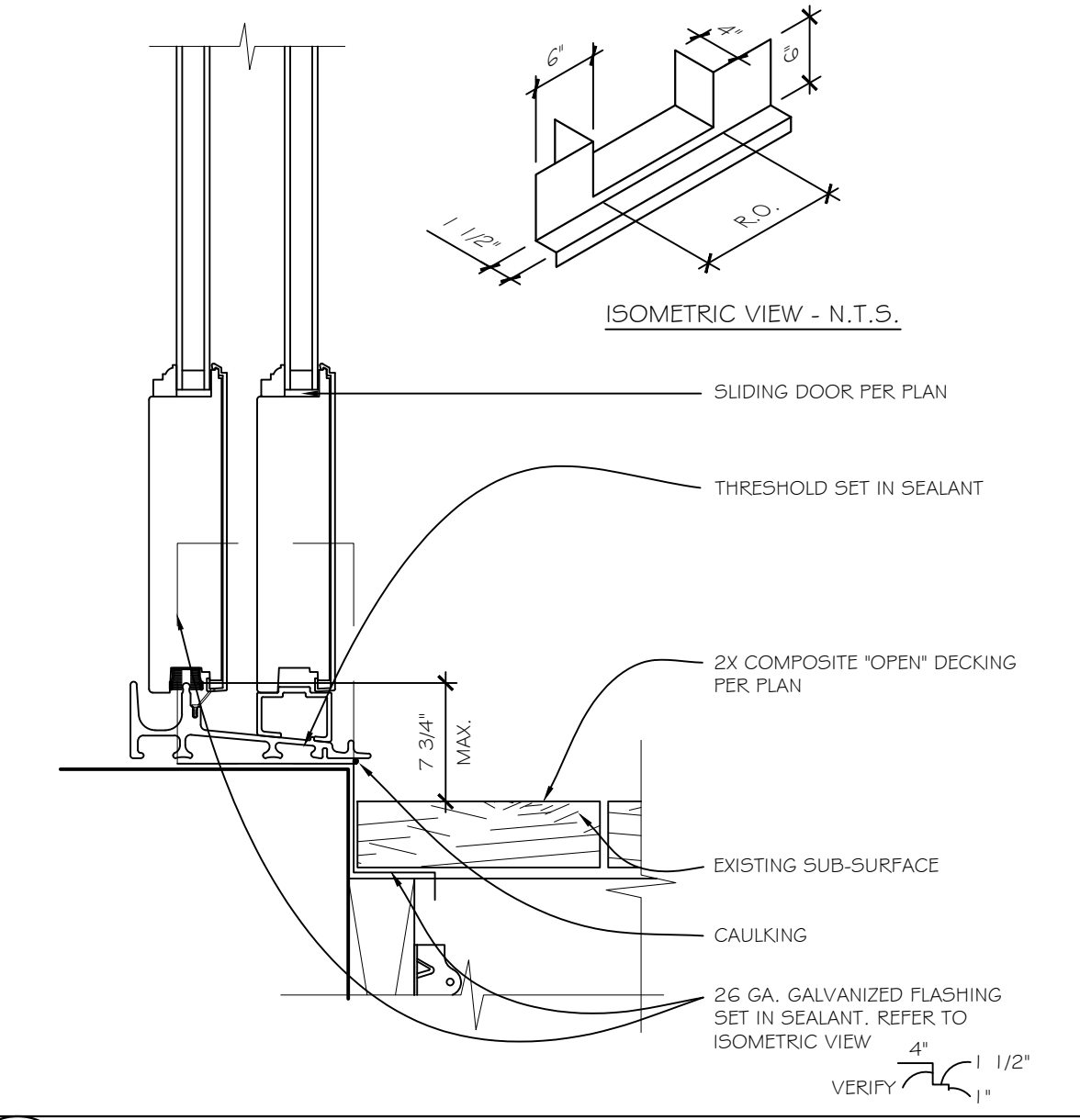
**1** EXTERIOR PLASTER FINISH  
SCALE: N.T.S.  
FILE: EXT\_PLSTR-001



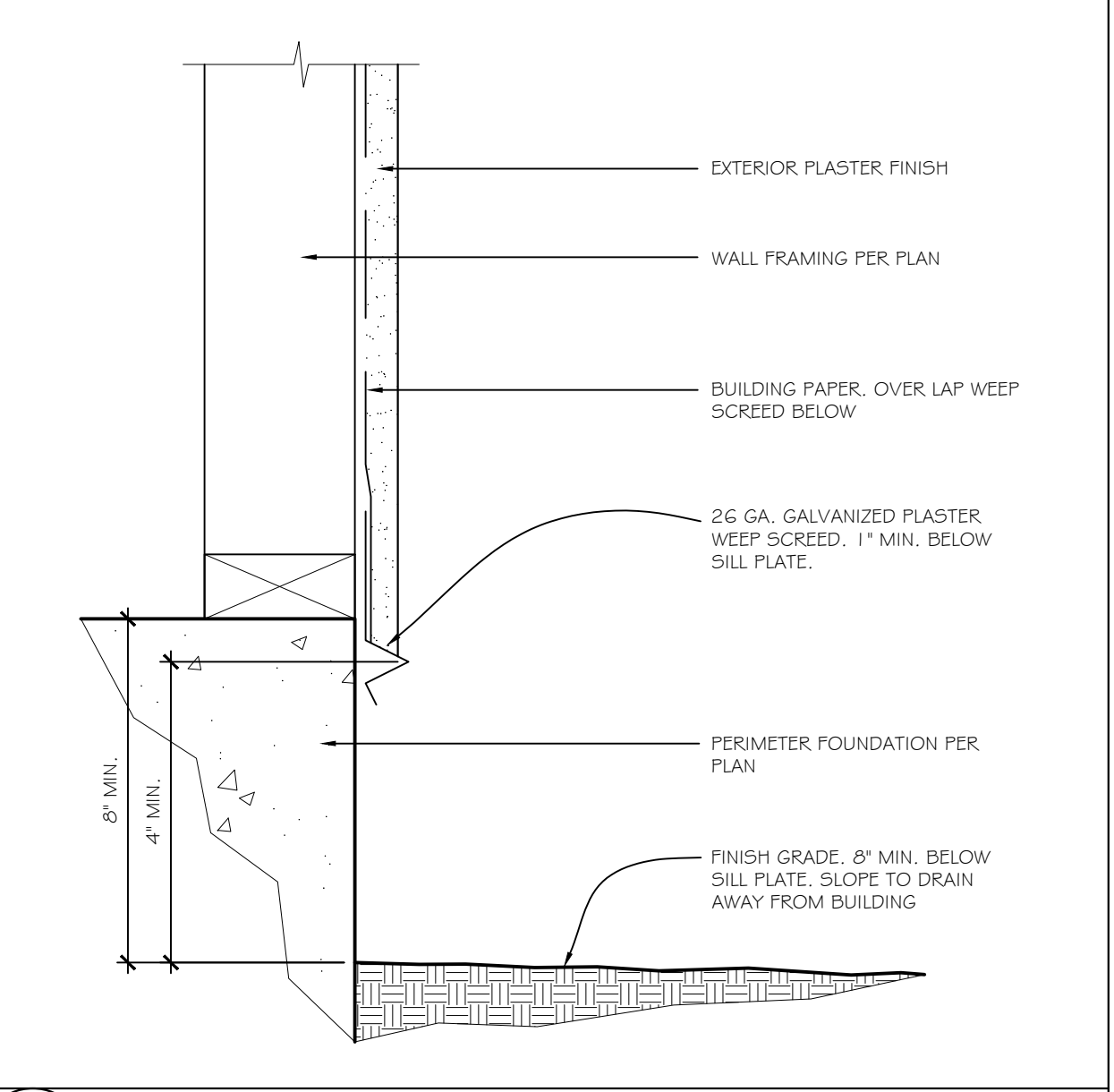
**11** STAIR STRINGER  
SCALE: 1"=1'-0"  
FILE: OPEN\_STRINGR\_BASE-001



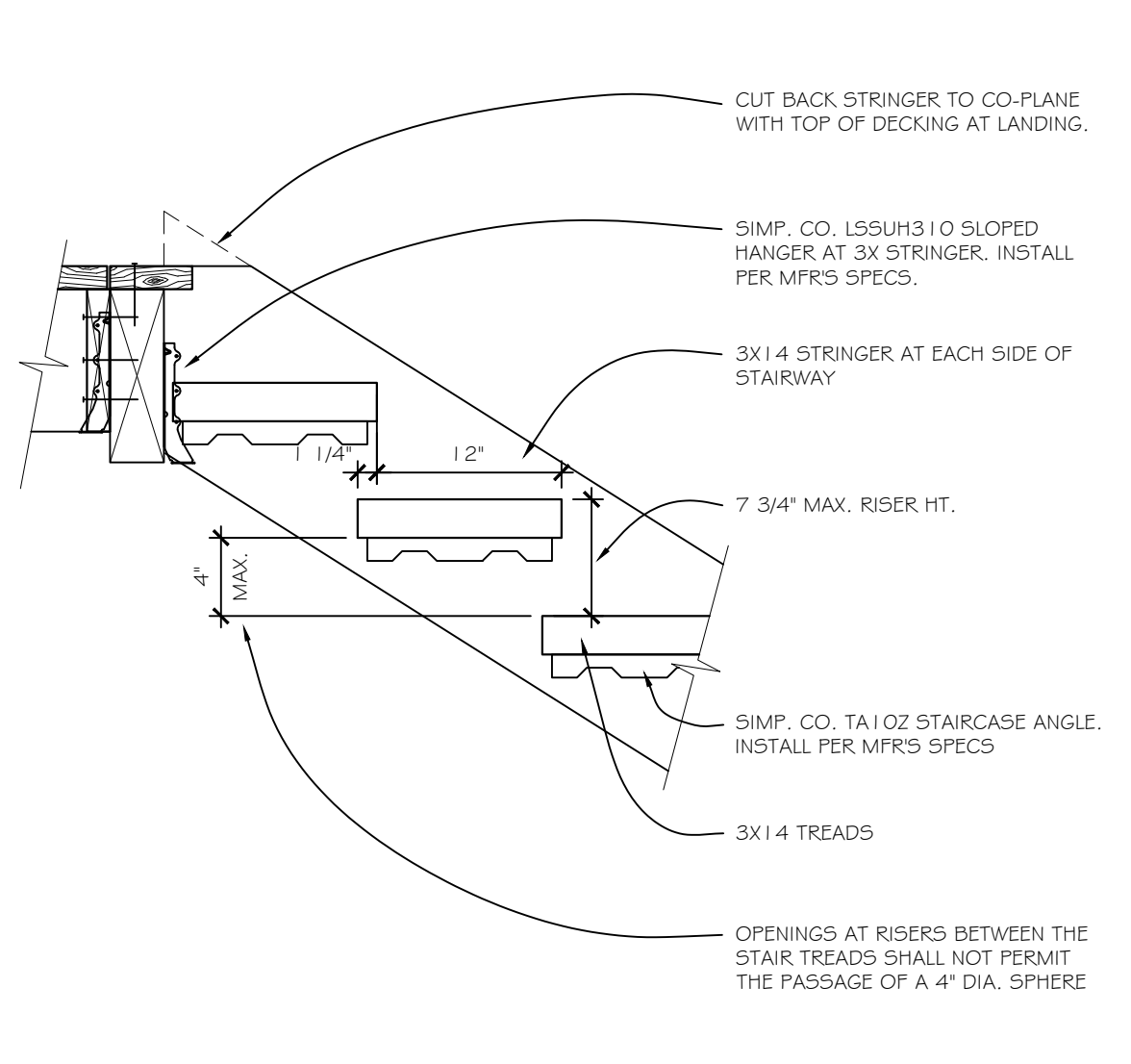
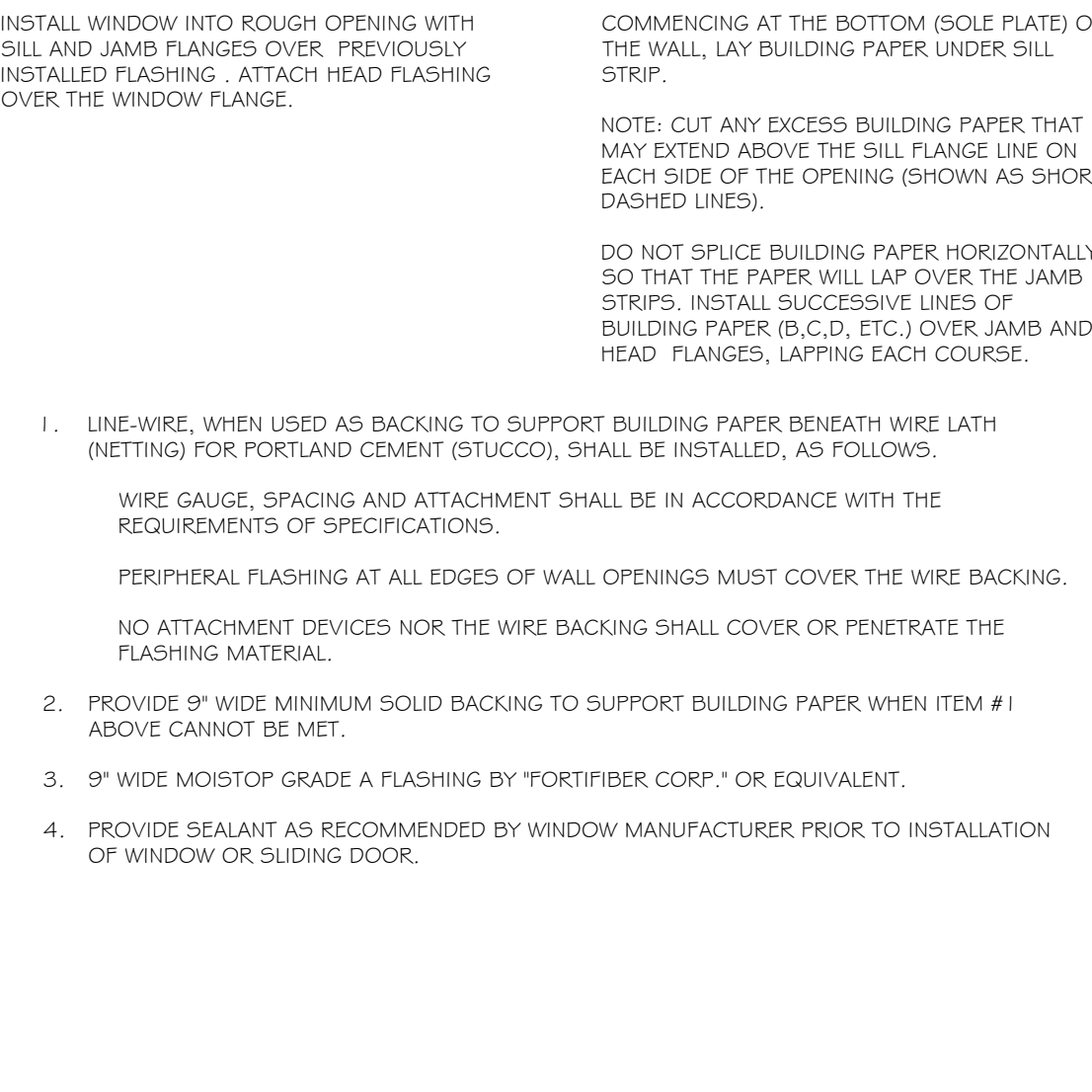
**8** THRESHOLD AT HINGED DOOR  
SCALE: 3\"/>



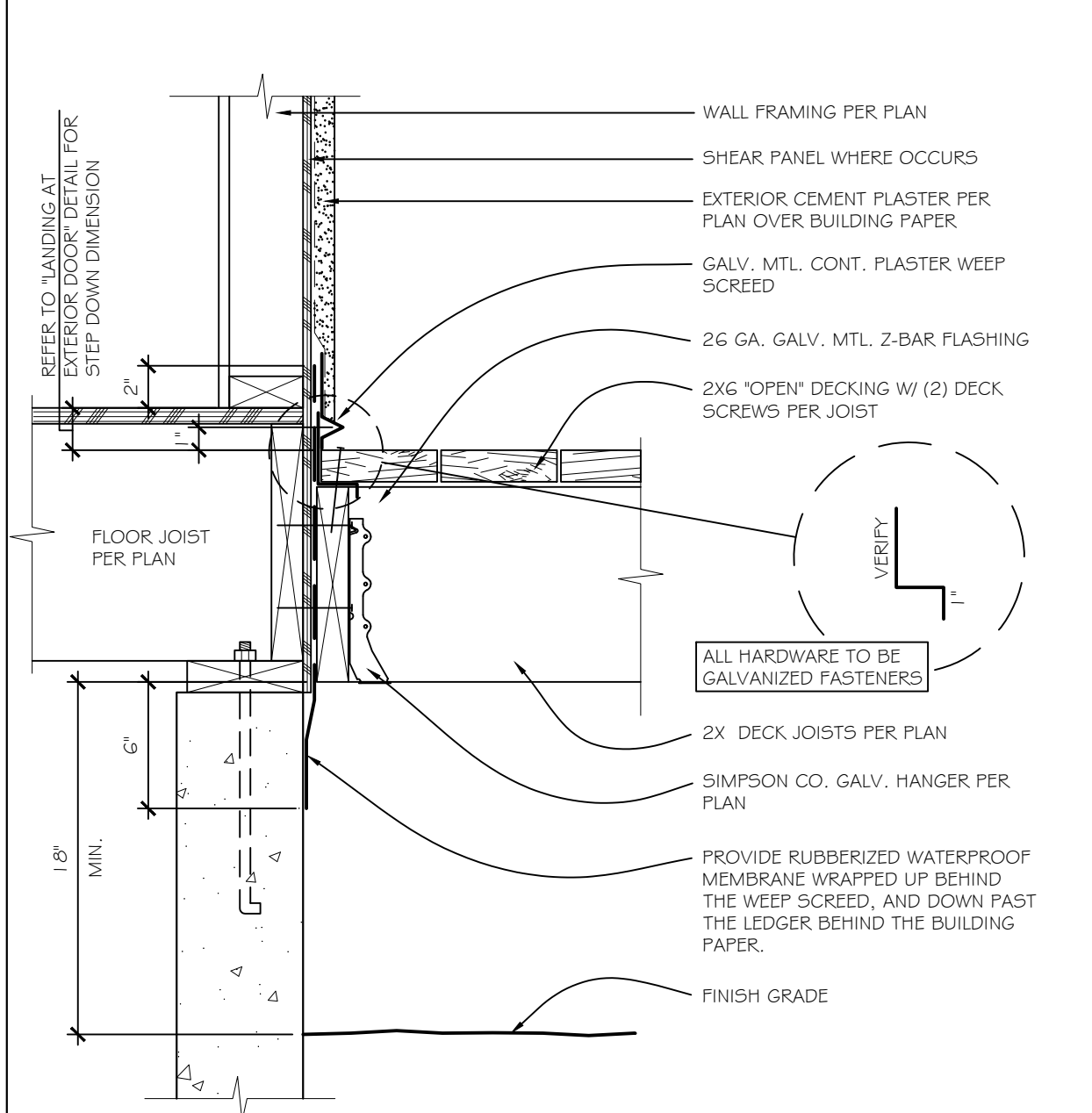
**5** THRESHOLD AT SLIDING DOOR  
SCALE: 3\"/>



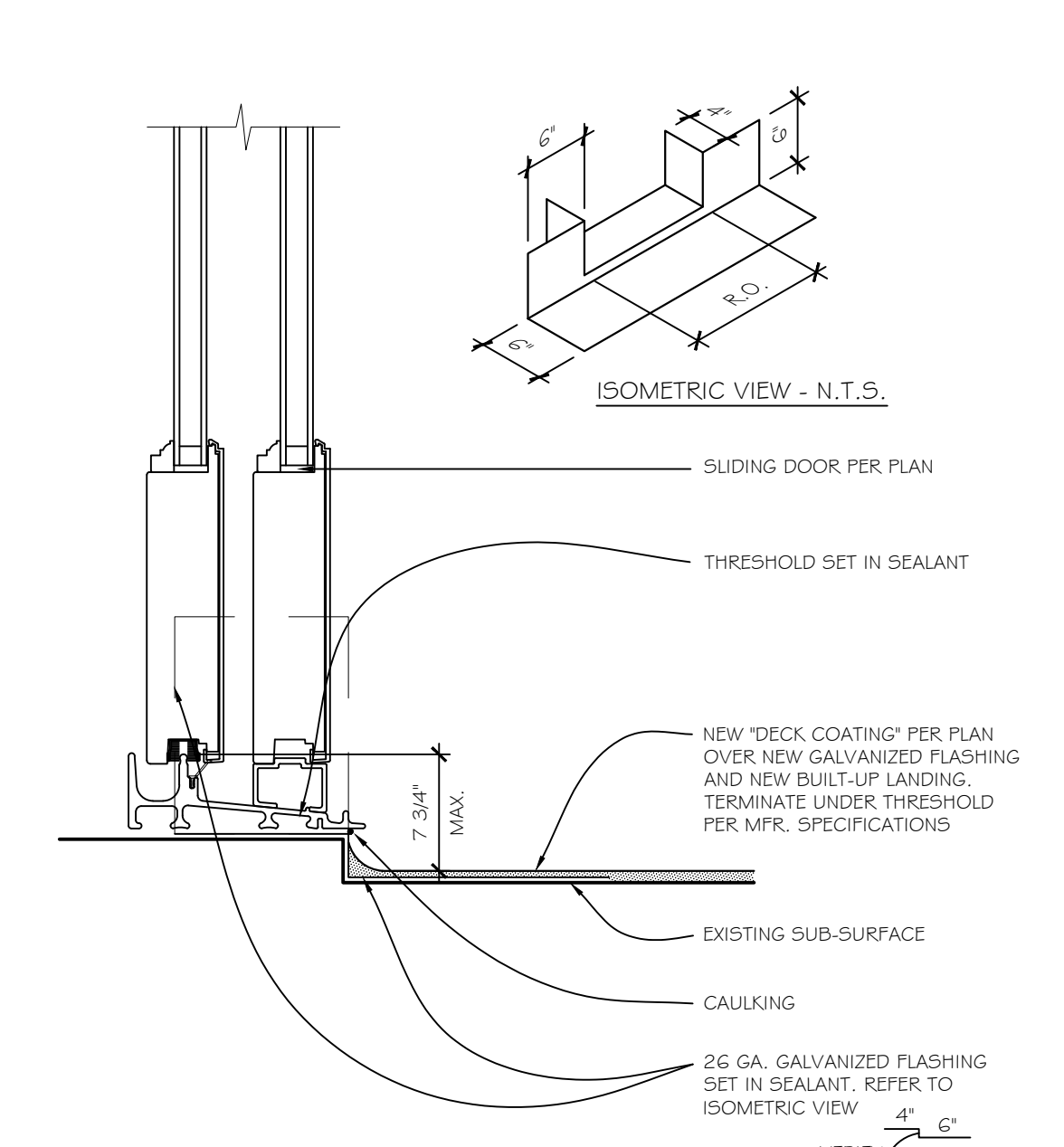
**2** SCREED AT GRADE  
SCALE: 3\"/>



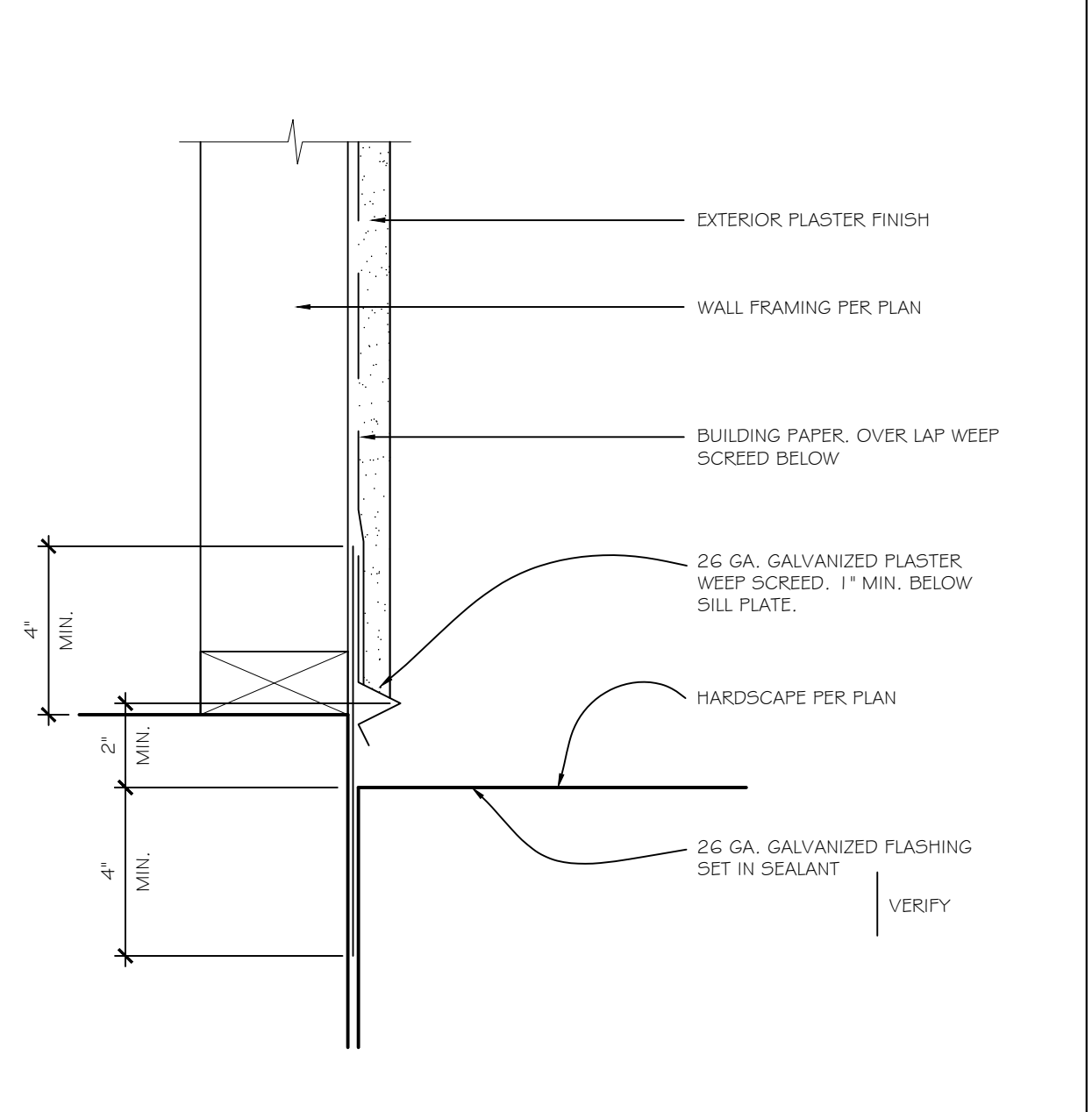
**12** STAIR STRINGER  
SCALE: 1"=1'-0"  
FILE: OPEN\_STRINGR\_TO\_FLR-001



**9** HOUSE TO DECK  
SCALE: 1 1/2\"/>



**6** THRESHOLD AT SLIDING DOOR  
SCALE: 3\"/>



**3** SCREED AT HARDSCAPE  
SCALE: 3\"/>

**15** TYP. DOOR/WINDOW FLASHING  
SCALE: N.T.S.  
FILE: TYP\_DR\_WDW\_FLSHG-001

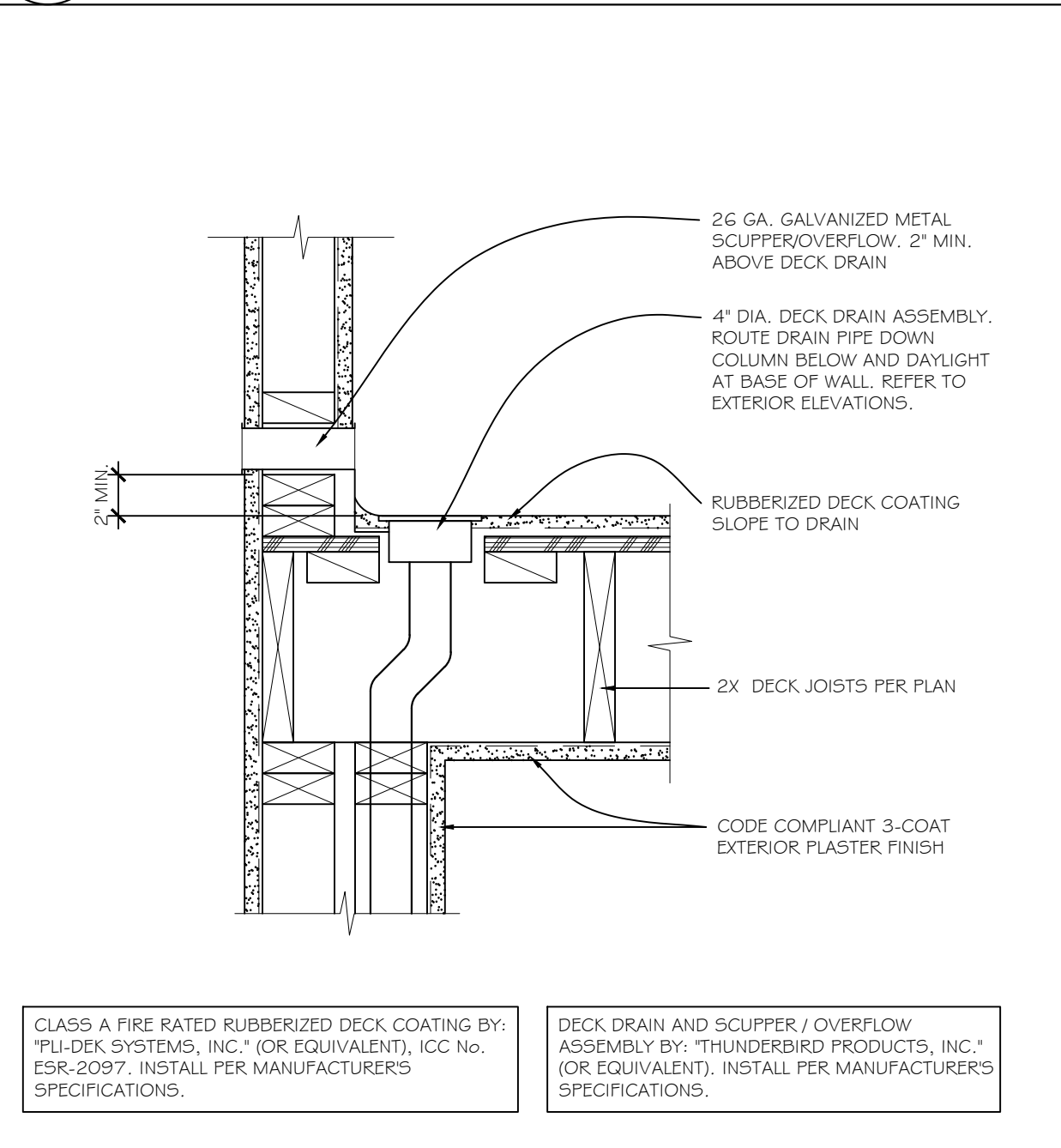




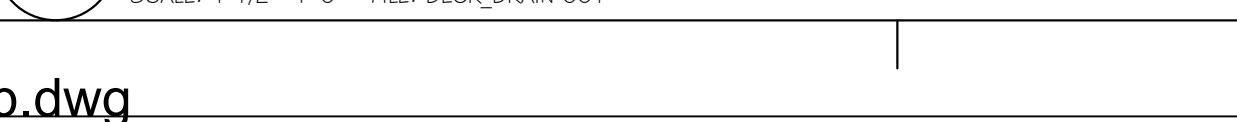
**13**  
SCALE: 1/2"=1'-0" FILE: GRDRL\_PLSTR-001



**10** GUARDRAIL  
SCALE: 1/2"=1'-0" FILE: GRDRL\_PLSTR-001



**7** HOUSE TO DECK - WALL  
SCALE: 1/2"=1'-0" FILE: DECK\_SOLID-003



**4** ROOF TO WALL - PARALLEL  
SCALE: 3/4"=1'-0" FILE: ROOF\_TO\_WALL\_PAR-001



**1** EAVE DETAIL  
SCALE: 1/2"=1'-0" FILE: MTL\_EAVE\_STUCCO-001



**14**  
SCALE: 1/2"=1'-0" FILE: ROOF\_TO\_WALL\_PERP\_TORCH-001



**11** ROOF / WALL FLSH'G - PERP.  
SCALE: 1/2"=1'-0" FILE: ROOF\_TO\_WALL\_PERP\_TORCH-001



**8** CABLE GUARDRAIL  
SCALE: 1/2"=1'-0" FILE: GRDRL\_INT\_MTL-003



**5** RIDGE DETAIL - NON-VENTED  
SCALE: 1/2"=1'-0" FILE: RIDGE\_NON\_VENTED-001



**2** RAKE DETAIL  
SCALE: 1/2"=1'-0" FILE: MTL\_RAKE\_STUCCO-001



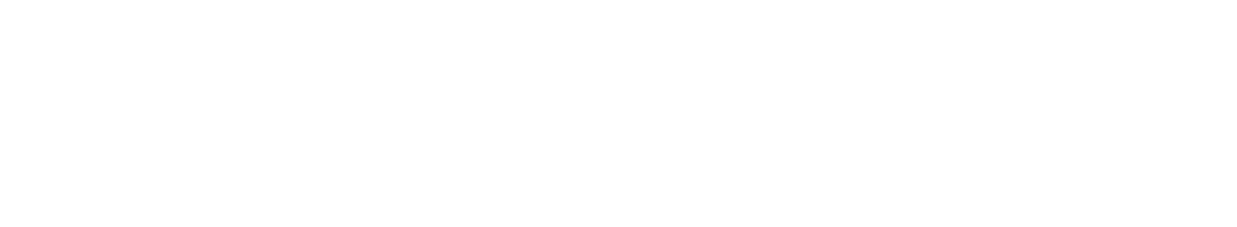
**15** DECK DRAIN  
SCALE: 1/2"=1'-0" FILE: DECK\_DRAIN-001



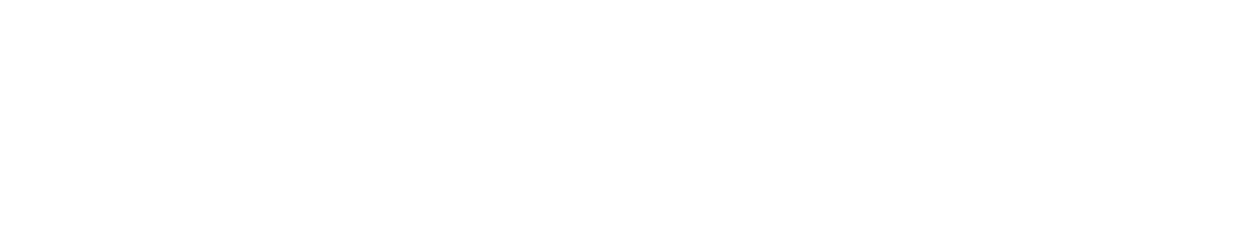
**12** DECK DRAIN  
SCALE: 1/2"=1'-0" FILE: DECK\_DRAIN-002



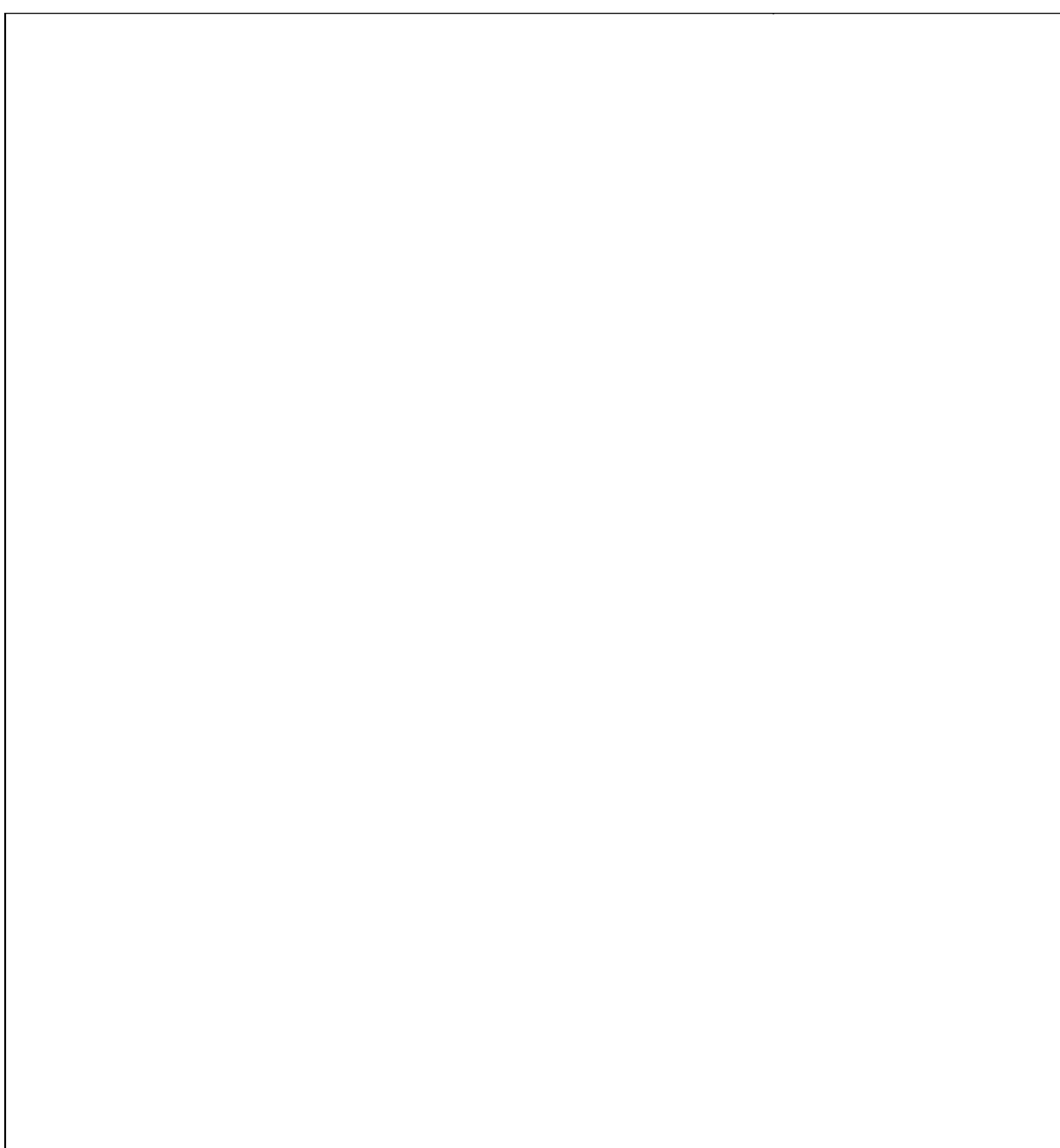
**9** GUARDRAIL  
SCALE: 1/2"=1'-0" FILE: GRDRL\_GLASS-002



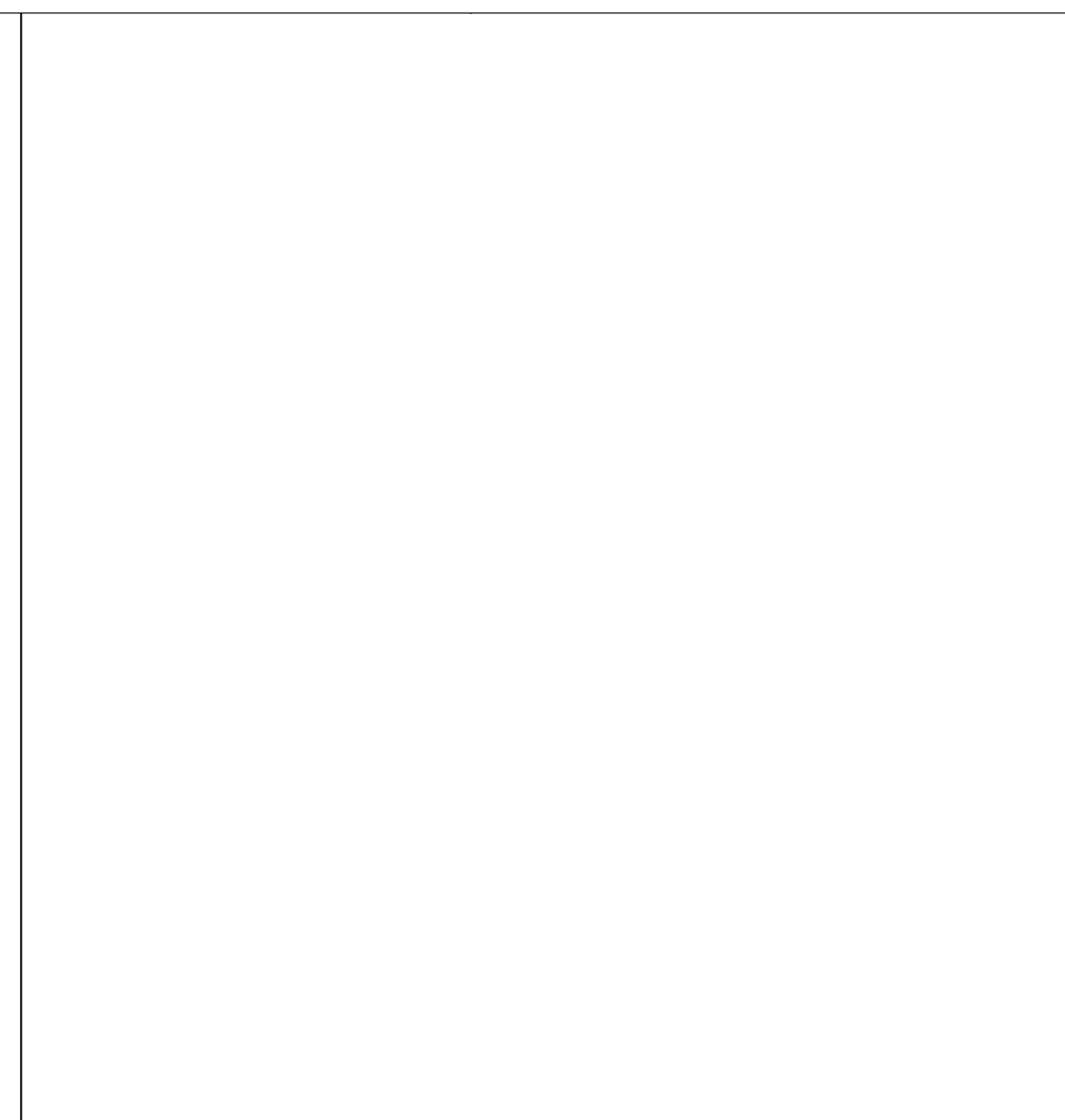
**6** VALLEY FLASHING  
SCALE: 1/2"=1'-0" FILE: MTL\_VALLEY-001



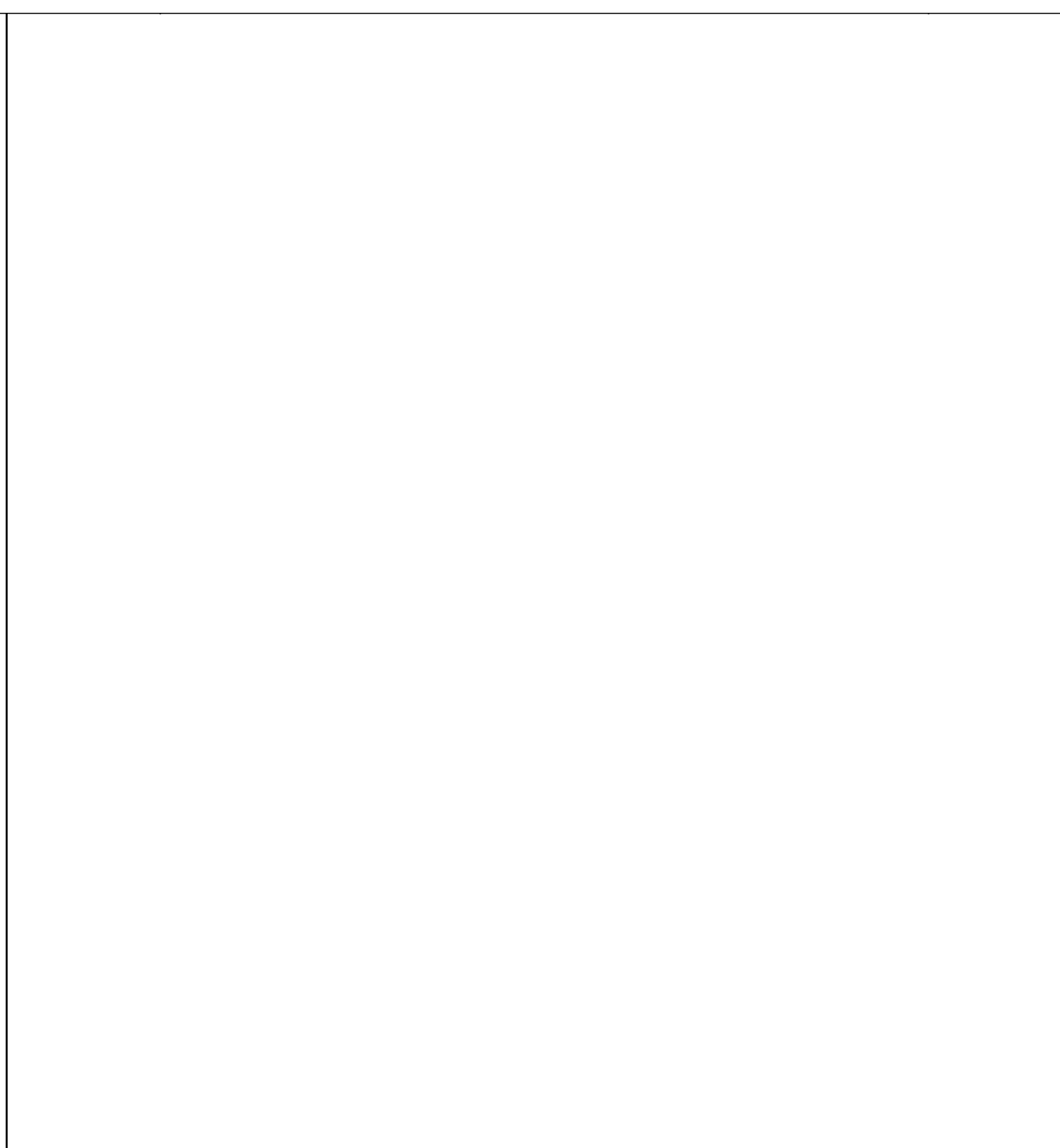
**3** ROOF TO WALL - PERP.  
SCALE: 3/4"=1'-0" FILE: ROOF\_TO\_WALL\_PERP-001



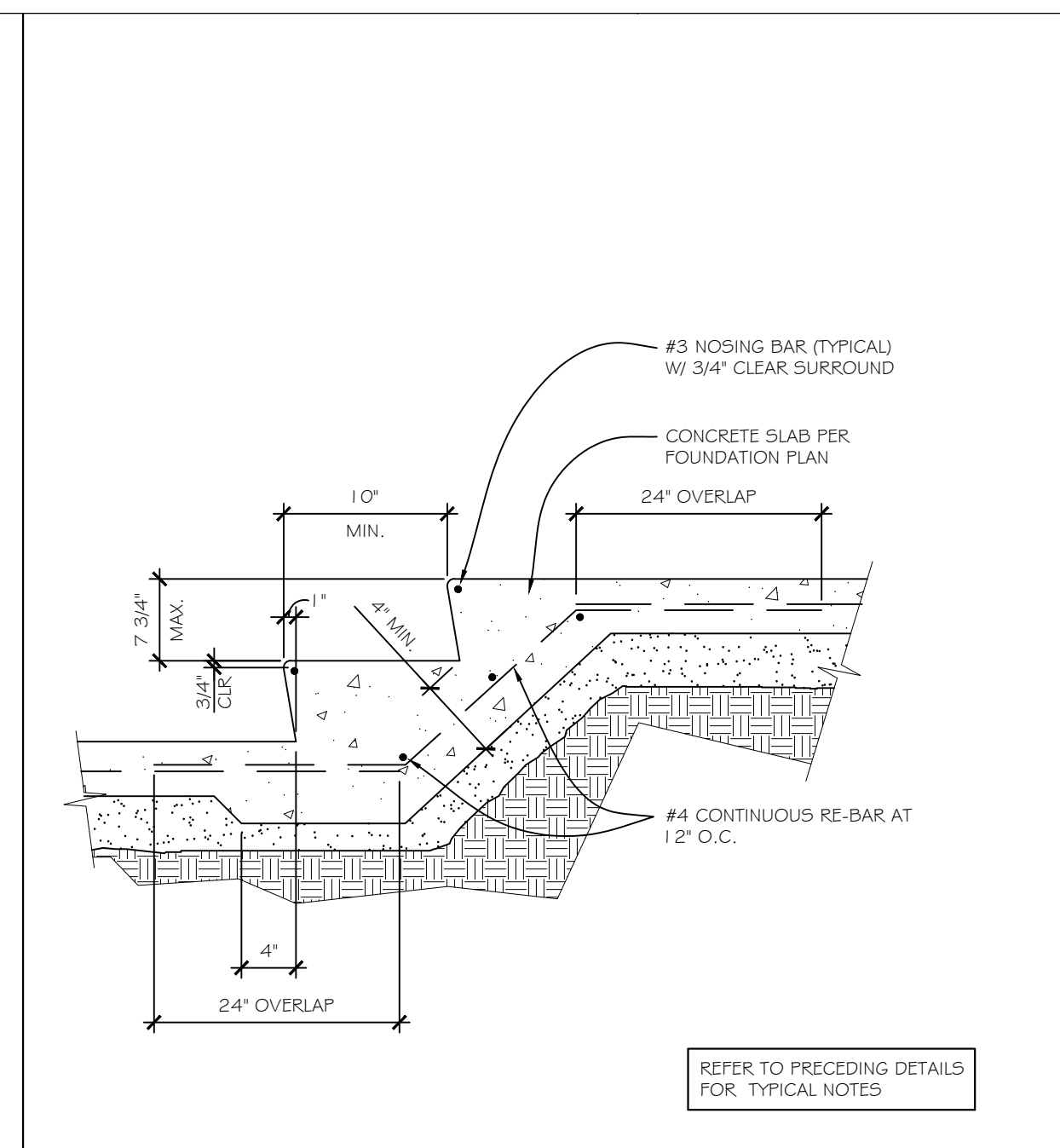
13 10



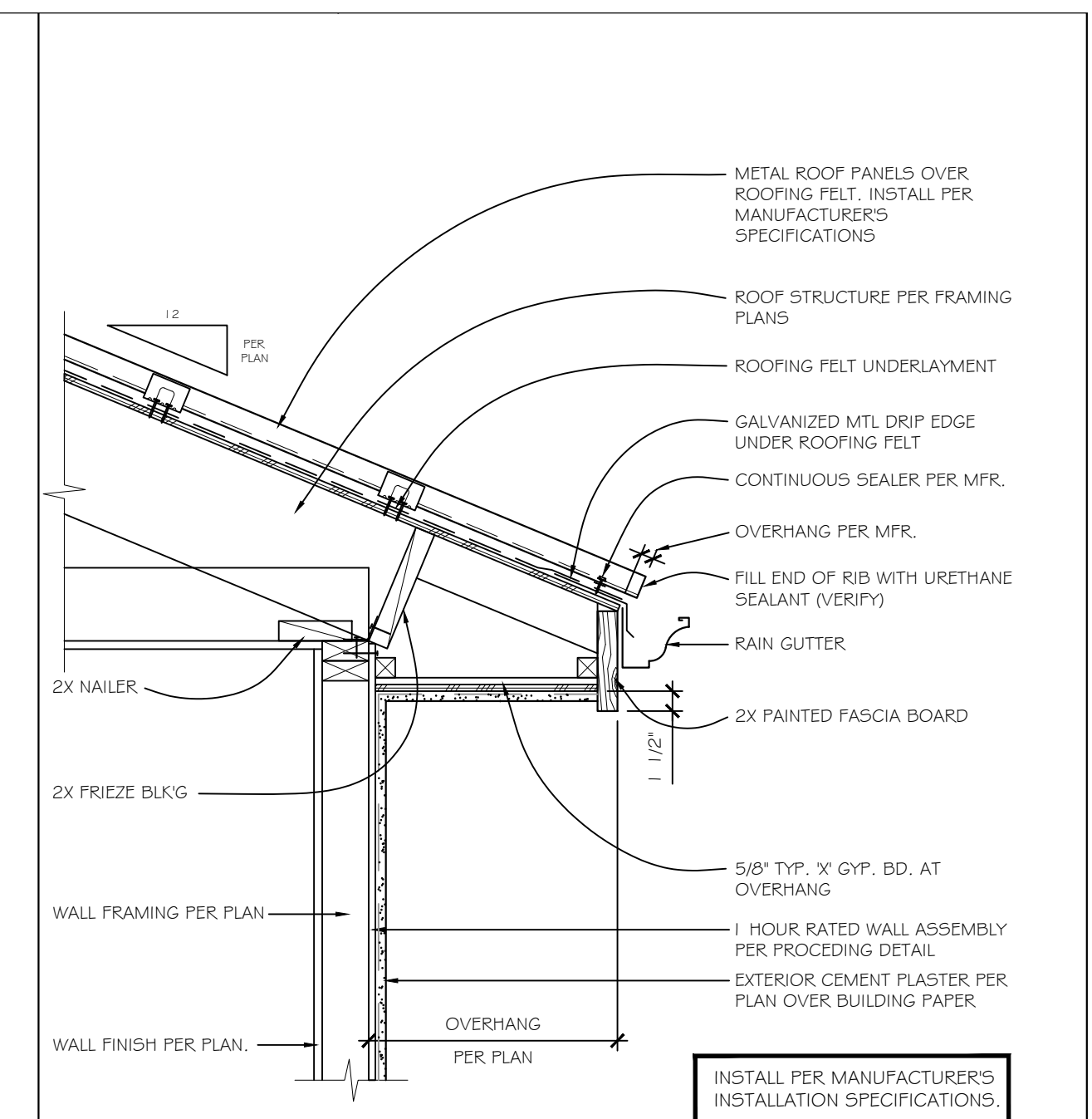
7 4



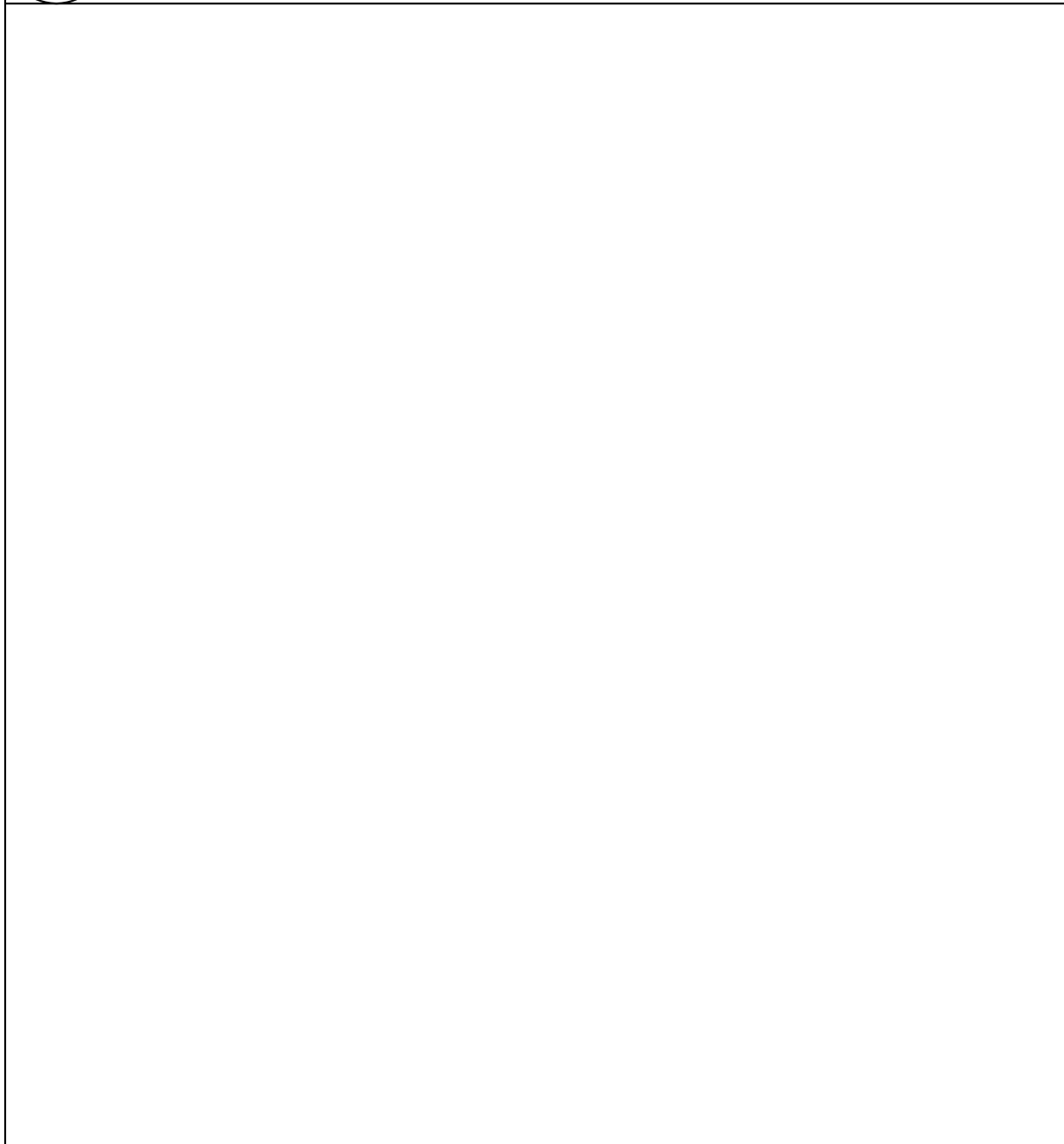
7 4



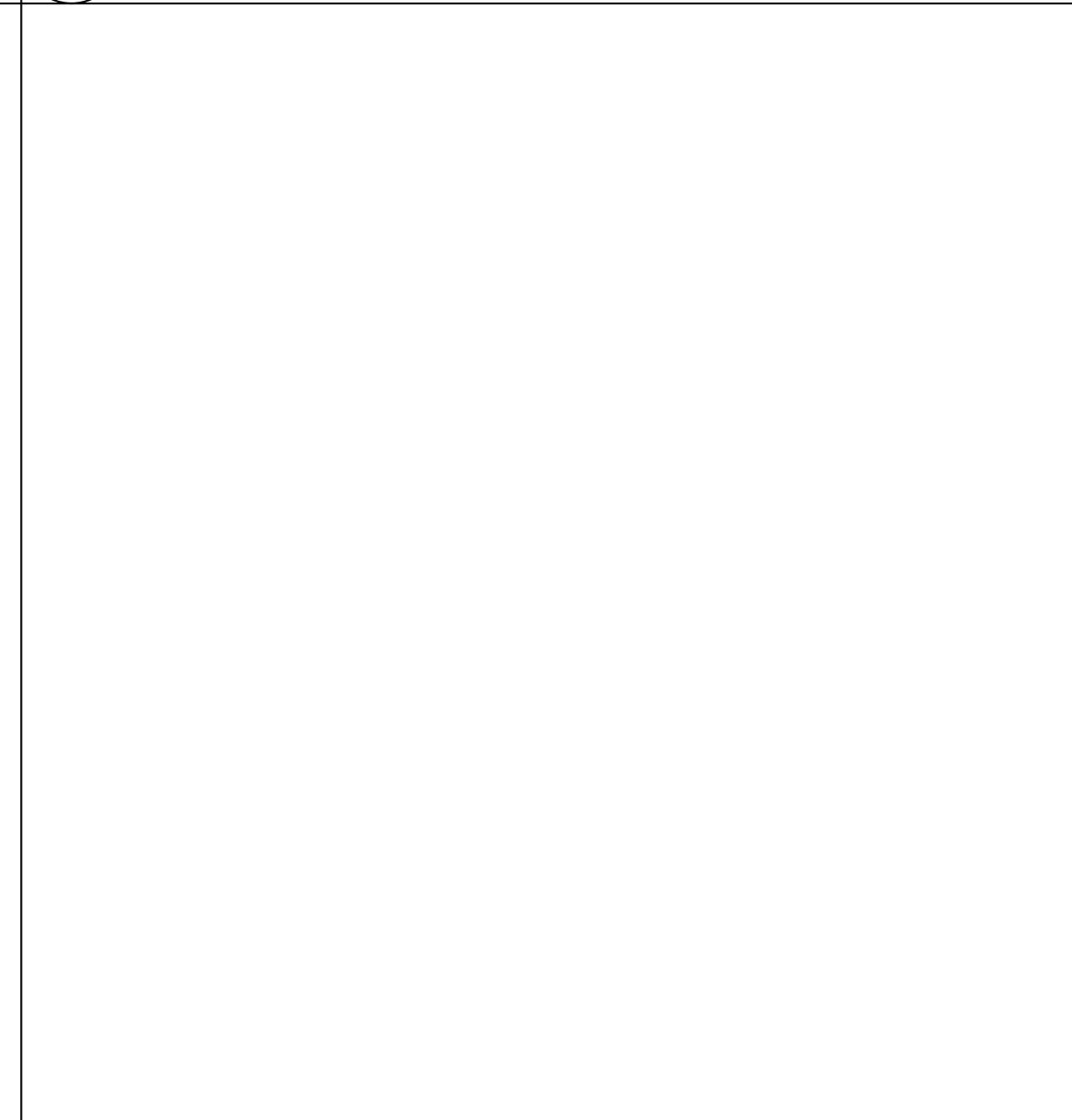
4 STEPS ON GRADE  
SCALE: 1"=1'-0" FILE: STEPS\_ON\_GRD-001



1 EAVE DETAIL - 1 HOUR RATED  
SCALE: 1"=1'-0" FILE: MTL\_EAVE\_STUCCO-1HR



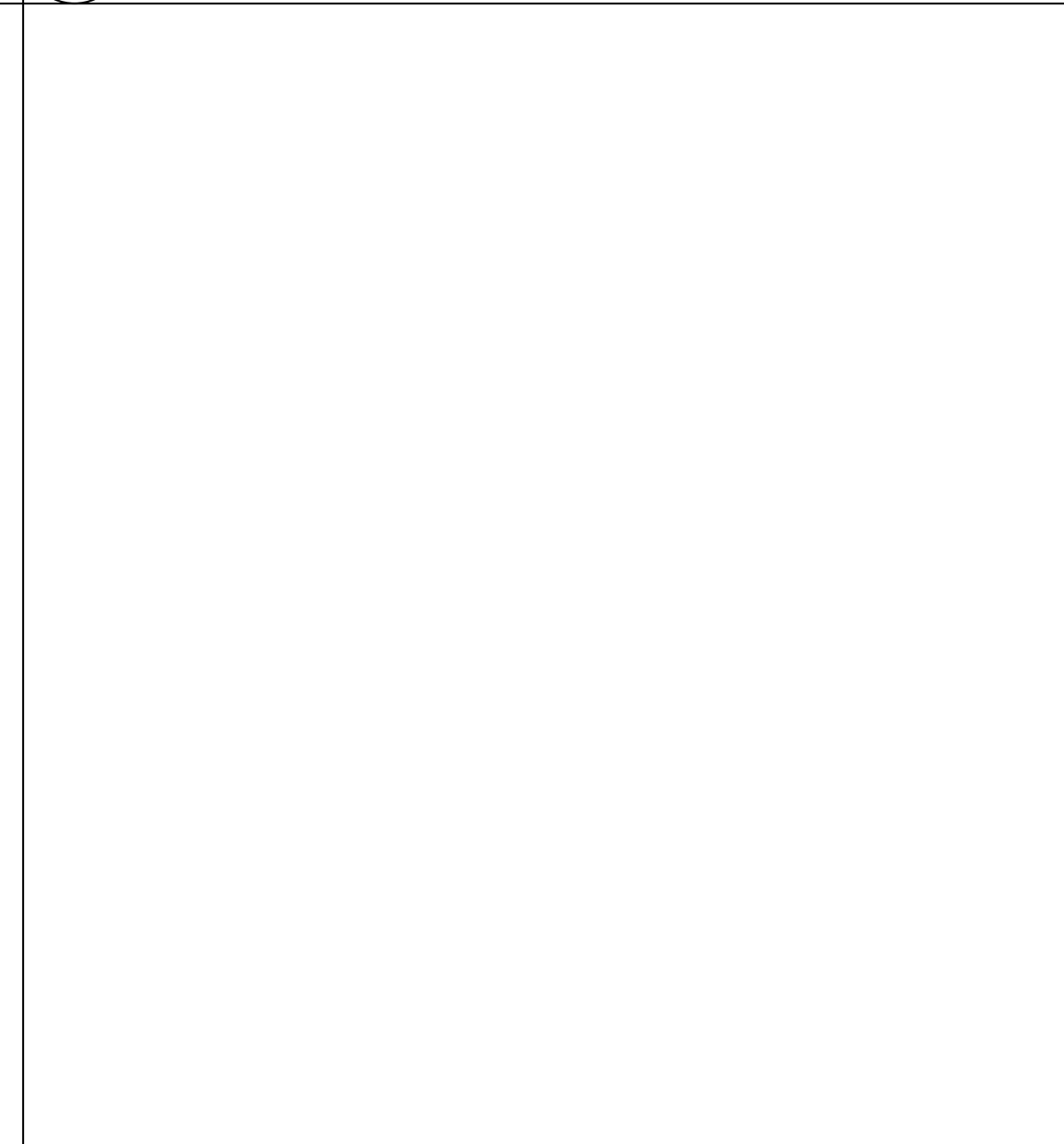
14 11



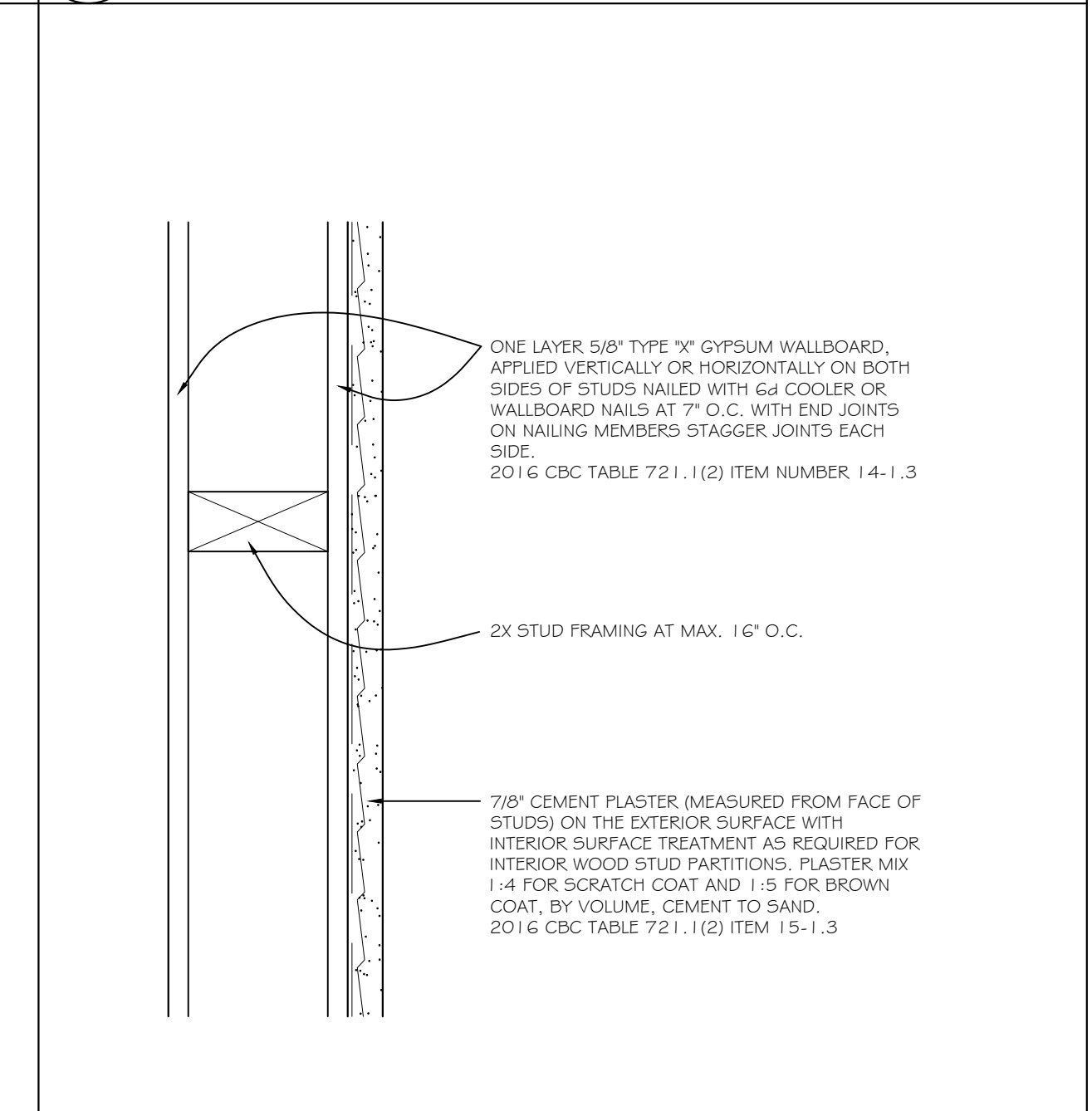
11 8



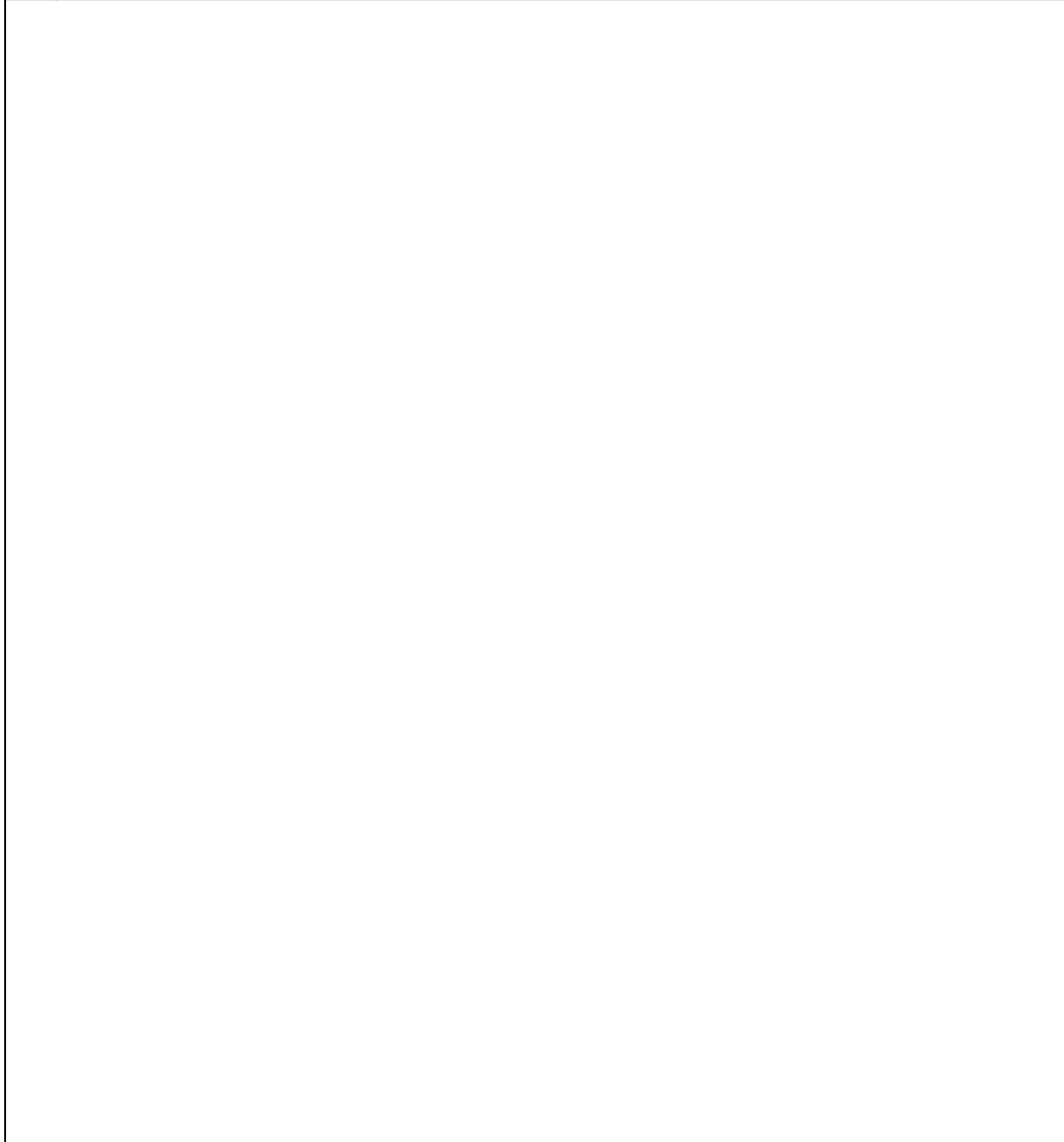
8 5



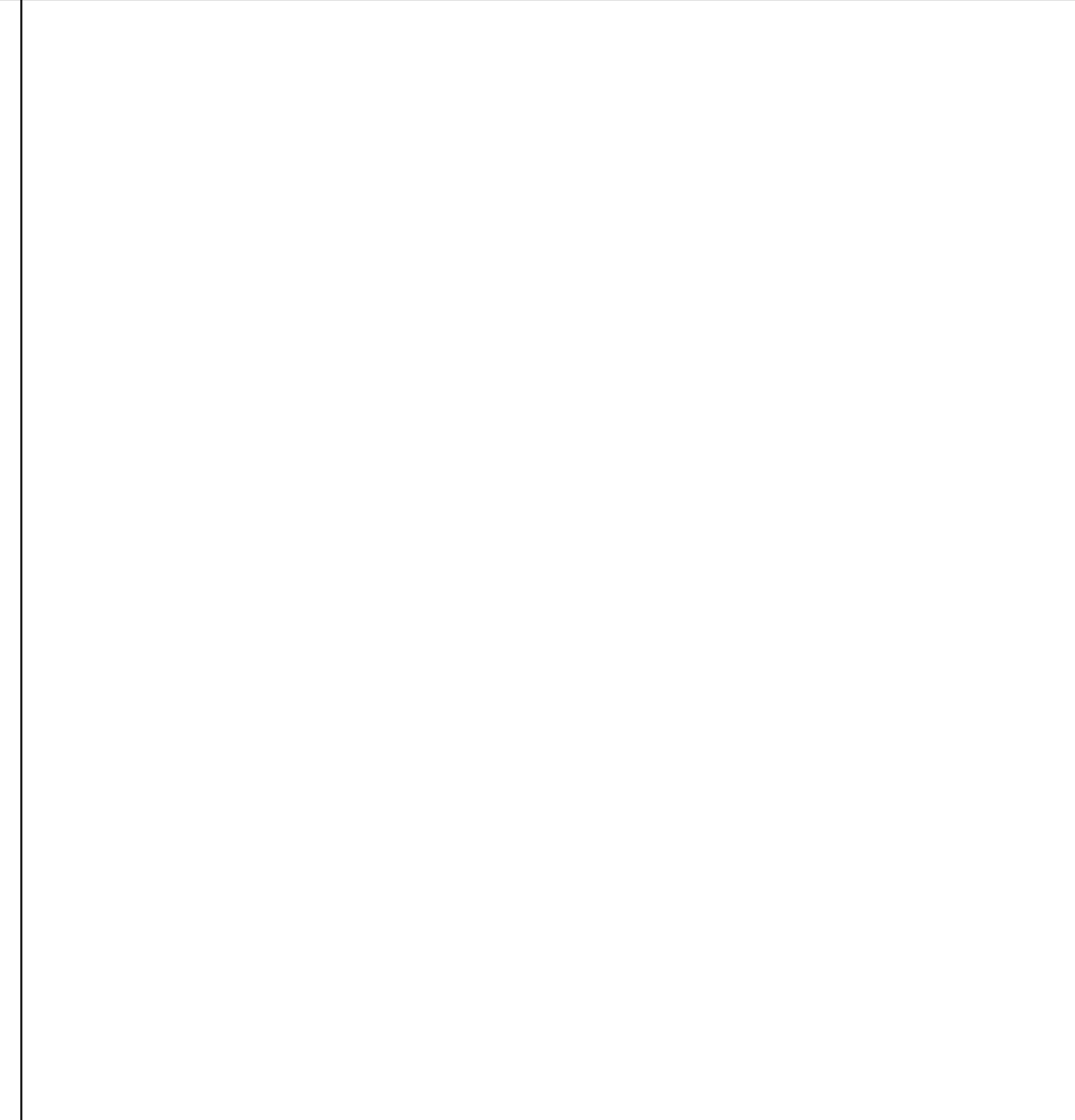
2 1 HOUR EXTERIOR WALL  
SCALE: 3/4\"=1'-0" FILE: 1\_HR\_EXT\_WOOD\_PLST\_SECT-001



5 3



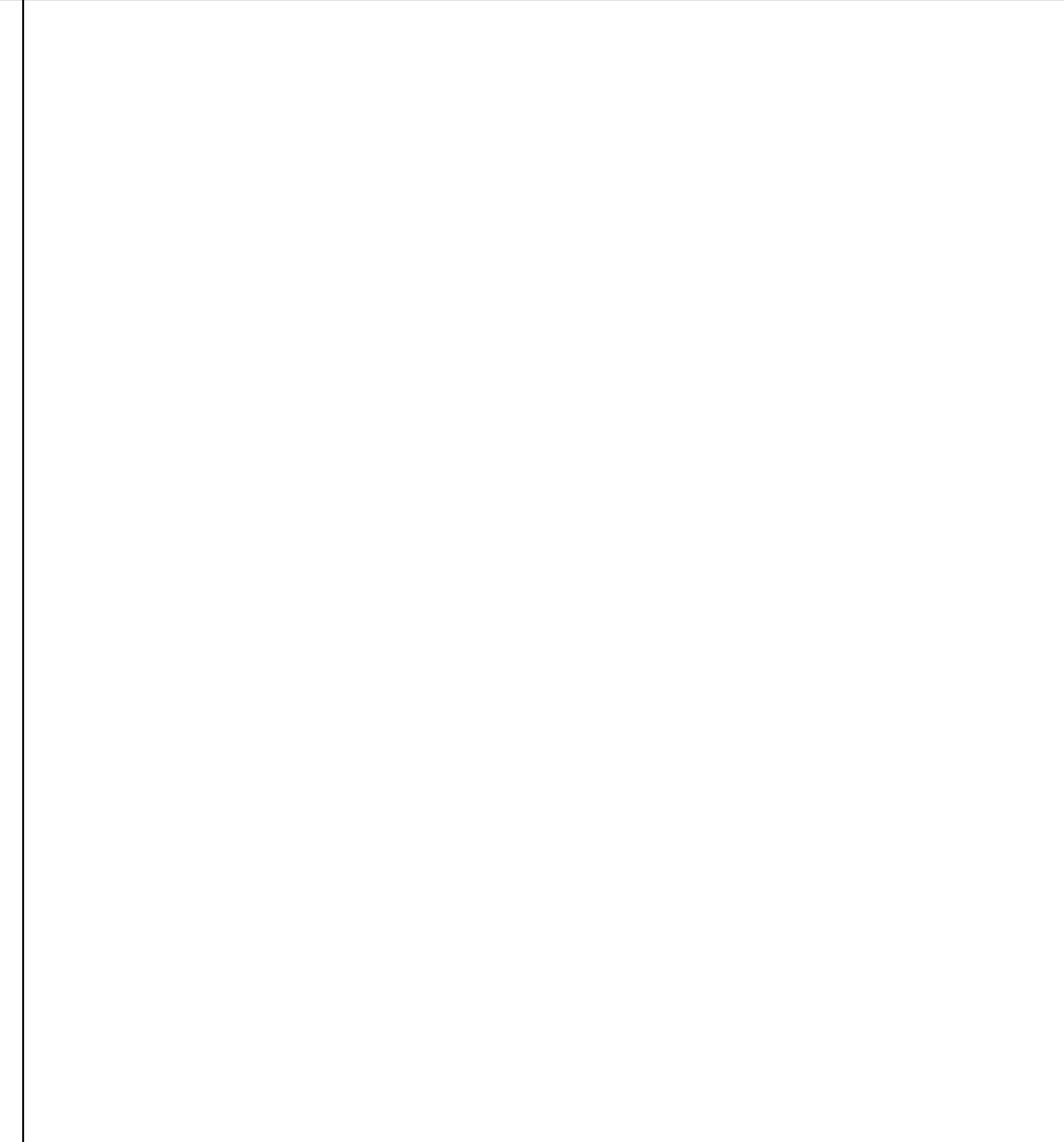
15 12



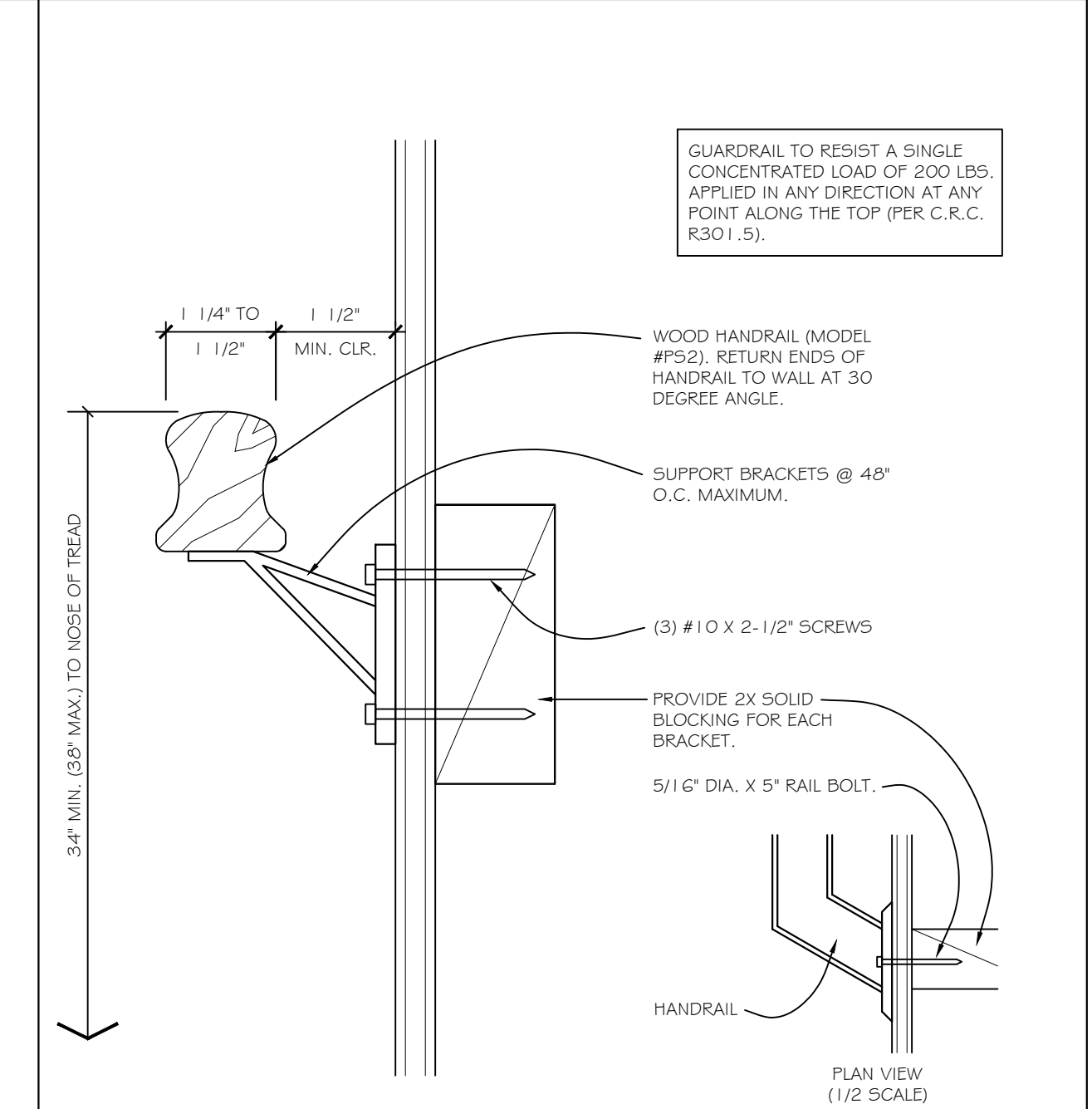
12 9



9 6



3 HANDRAIL  
SCALE: 6\"=1'-0" FILE: HANDRAIL-001



6 3

REVISIONS	BY

DATE: 04/15/20  
DRAWN BY: AP  
PROJECT No:  
FILE: 2020-2-28 B  
SHEET No.











FORM DS-570 "Minor" Water Pollution Control Plan (MWPCP) August 2018

MWPCP REQUIREMENTS

The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, such as interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

- 1. Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Renewal disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP, the CGP (Renewal disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Renewal disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP, the CGP (Renewal disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP.

NOTE: It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code Sect. 48.08. The guidance and information provided in this form is intended to assist the project owner in determining the appropriate level of BMP planning and implementation to prevent pollutant discharges.

STEP 1. IDENTIFY RELEVANT PROJECT INFORMATION

Form fields for project information including Applicant Name (Brian McDonnell), Contact Information (5610 Bellevue Ave), Project Information (Permit Application Number: 660209), and Estimated Amount of Disturbance (5891 sf).

Clear Page 1

STEP 2. IDENTIFY CONSTRUCTION STORM WATER BMPs

Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs) as outlined in the City of San Diego Stormwater BMPs Manual. There are five categories for Construction Stormwater BMPs. There are five categories:

- 1. Erosion control practices
2. Velocity reduction
3. Sediment control practices
4. Outlet structure control
5. General site and materials management

BMPs from each of the five categories must be used together as a system in order to prevent potential discharges. If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). An asterisk in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If no BMP is selected, an explanation must be given in the box provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No".

Form with 10 numbered questions regarding BMP requirements, such as 'Will there be soil disturbing activities that will result in exposed soil areas?' and 'Will there be asphalt paving, including patching?'.

Clear Page 2

TABLE 1 MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMPs

(Source: CALTRANS Storm Water Quality Handbook)

Table with 4 columns: Minimum Required Best Management Practices, CALTRANS Handbook Detail, Check at least one section below, and If your project requires no BMP from Stormwater Management, explain within space provided.

Signature and Date fields for project approval, including a signature and the date 4/19/2020.

Clear Page 3





*Missing or invalid reference*

*File: ..\..\Documents\Desktop Files\CAD Drawings\Bellevue\PDF\2020-4-15 S2 AND S3.pdf*

*Sheet: 2*

*Missing or invalid reference*

*File: ..\..\Documents\Desktop Files\CAD Drawings\Bellevue\PDF\2020-4-15 S2 AND S3.pdf*

*Sheet: 1*