GREEN BUILDING CODE REQUIREMENTS

- PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS, B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD, CGBSC 4, 106, 2,
- . SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION. FRENCH DRAIN, ETC...) EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH. CGBSC 4.106.3
- DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGBSC 4.504. I
- VOC'S MUST COMPLY WITH THE LIMITATION LISTED IN SECTION 4.504.3 AND TABLES 4 504 L 4 504 2 4 504 3 AND 4 504 5 FOR ADHESIVES PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGBSC
- MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING. CGBSC 4.506.1 FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO
- TERMINATE OUTSIDE THE BUILDING 5.2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIV HUMIDITY RANGE OF 50 TO 80 PERCENT.
- S. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED I CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGBSC 4.505.3.
- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION CGBSC 102.3

SOILS DECLARATION

THE STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF NSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT. AND RE-SUBMITTAL OF PLANS TO PLAN CHECK T VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY B REQUIRED.

SIGNATURE

..\Docs\ADRIENNE PERKINS SIGNATURE.tif

OWNER/LICENSED ENGINEER OR ARCHITECT

REFER TO SHEET ST- LEOR STORM WATER REQUIREMENTS APPLICABILITY CHECK LIST (DS-560) AND SHEET ST-2 FOR MINOR WATER POLLUTION CONTROL FORM

BLDG. DEPT. NOTES

- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR),
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION
- DUMPSTER AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEE OF COMBUSTIBLE WALLS OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR I I A STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN I CUBIC YARD SHALL BE OF NON- OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3.
- OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.
- THE EGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.

PROP 'D' NOTES

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM) S.D.M.C. SECTION 132.0505.
- A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D). THE PRE-CONSTRUCTION INSPECTION MUST BE SCHEDULED AND CLEARED BY THE FIELD INSPECTOR BEFORE ANY SUBSEQUENT INSPECTIONS CAN BE

CALGREEN NOTES

- PROPOSED FIRST FLOOR

SECOND FLOOR - +++

- EXISTING ONE STORY

1,002 SQ. FT. -

LINE OF PROPOSED -

2ND FLOOR ABOVE.

PROPOSED SECOND

1,208 SQ. FT.

SINGLE FAMILY RESIDENCE

- EXISTING

ELECTRICAL PANEL

AND GAS METER

- EXISTING WOOD

PATIO (PERVIOUS)

327 SQ. FT.

149 SQ. FT.

- COMPLY WITH 2016 CGBSC.
- ALL NEW PLUMBING FIXTURES NEED TO BE LOW WATER USE AS FOLLOWS: CGBSC 4.303.1 TOILETS LAVATORIES 1.5 GPM KITCHEN SINKS L.8 GPM SHOWERS 2.0 GMF
- IN RESIDENCES CONSTRUCTED BEFORE 1994, PLUMBING FIXTURES MUST BE LOW FLOW FIXTURES AS FOLLOWS: TOILETS
 - LAVATORIES 2.2 GPM KITCHEN SINKS 2.2 GPM SHOWERS 2.5 GPM
- OR THE FIXTURES MUST BE UPDATED TO THE CURRENT STANDARDS. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE
- COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME HANDHELD. SHOWERS ARE CONSIDERED SHOWERHEADS. 2016 CGBSC 4.303.1.3.2
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE
- PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC.

PROPOSED I-CAR -

PROP

DEMO EXISTING —

DETACHED GARAGE

371 SQ. FT.

OWNER'S DECK

222 SQ. FT.

E+ + SECOND FLOOR

PROPOSED ----

GARAGE/

DMC 131.0443(a)(2)(B

PROP D /

HIGH POINT

1AGRAM 13,1-04B

250 SQ/. FT

- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL G. A MINIMUM OF 65% OF THE CONSTRUCTION WASTE SHALL BE RECYCLED. COMPLETE THE CITY PROVIDED WASTE MANAGEMENT FORM AND RETURN FOR REVIEW. CGBSC 4.408
 - H. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGBSC 4.410.1
 - I. DURING CONSTRUCTION ALL DUCTS AND OTHER AIR DISTRIBUTION FOUIPMENT SHALL BE COVERED WITH TAPE PLASTIC SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.
 - VOC'S ARE TO BE DOCUMENTED FOR: ADHESIVES PAINTS AND COATINGS CARPFT
 - COMPOSITION WOOD PRODUCTS DOCUMENTATION TO BE PROVIDED BY PRODUCT CERTIFICATIONS \$ SPECIFICATION, CHAIN OF CUSTODY CERTIFICATIONS, OR OTHER MEANS ACCEPTABLE TO THE ENFORCING AGENCY. CGBSC 4.504.2
 - MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS FNCLOSED IN CONSTRUCTION THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. INSULATION THAT APPEARS WET, OR HAS A HIGH MOISTURE CONTENT SHOULD BE REMOVED, OR ALLOWED TO DRY PRIOR TO ENCLOSURE.
- L. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING. CGBSC 4.506.1 FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO
 - TERMINATE OUTSIDE THE BUILDING 2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
- M. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. CGBSC 4.304.1
- N. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES CONDUITS. OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. CGBSC 4.406.1
- O. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. CGBSC 4.504. I

CURB

WALKWAY

EXISTING 4'-0"

WOOD FENCE

VILNII LINL I I V. 25 / ____ . __ . . __ . . __ . . _

FXISTING FRONT -

LOW POINT

- EXISTING CONCRETE

LIMITS SET IN CGBSC SECTION 4.504.2.2 AND TABLE 4.504.3 Q. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. A LETTER FROM THE CONTRACTOR, SUBCONTRACTOR AND/OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA

GREEN BUILDING CODE. CGBSC 4.504.3

P. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC

- R. EIGHTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING: VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS
- GREENGUARD CHILDREN SCHOOL PROGRAM. S HARDWOOD PLYWOOD PARTICLEBOARD MEDILIM DENSITY FIBERBOARD

- EXISTING ADA CURB

TRUE NORTH

PROPOSED GUEST DECK

RAMP

SECOND FLOOR

- EXISTING ROCK WALL

RETAINING WALL

- EXISTING CONCRETE

CURB

EXISTING WOOD

GATE

FXISTING CONC

- EXISTING WATER

- EXISTING CONCRETE

METER

WALKWAY

RETAINING WALL

- PROPOSED ADDITION

FIRST FLOOR - SOUTH

252 SQ. FT.

EXISTING ROCK WALL

STEPS ON GRADE

EXISTING PLANTER

(MDF). COMPOSITE WOOD PRODUCT USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN CGBC TABLE 4.504.5 AND TABLE 4.504.5

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE

CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016

CALIFORNIA ELECTRIC CODE CALIFORNIA ENERGY CODE

2. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE

- . NEAREST TRANSIT STOP IS 1/3 MILES AWAY FROM PROJECT SITE

- T24-2 CFIR ENERGY COMPLIANCE FORMS

SCOPE OF WORK

- BUILD (2) NEW FIRST FLOOR ADDITIONS (773 S.F. TOTAL) TO EXISTING 1.002 S.F. SINGLE FAMILY DETACHED RESIDENCE.
- BUILD NEW 1,189 S.F. SECOND FLOOR ADDITION, TO CREATE NEW 4 BEDROOM, 3.5 BATH SINGLE FAMILY DETACHED RESIDENCE.
- . DEMO EXISTING 37 I DETACHED GARAGE AND REPLACE WITH NEW 250 S.F. ATTACHED I-CAR GARAGE.
- 4. DEMO EXISTING 297 S.F. COVERED PATIO (NON-LIVING SPACE).
- . BUILD (2) NEW ROOF TOP DECKS (THIRD LEVEL). 779 S.F. TOTAL
- 6. BUILD (3) NEW SECOND FLOOR DECKS. 442 S.F. TOTAL
- NO PROPOSED GRADING
- . THE EXISTING HOUSE IS NOT EQUIPPED WITH A FIRE SPRINKLER SYSTEM AND A FIRE SPRINKLER SYSTEM IS NOT PROPOSED FOR THIS PROJECT.

HERS TEST REQUIRED

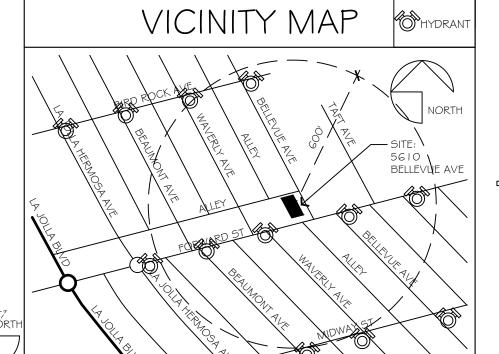
THE FOLLOWING IS A LIST OF ITEMS TO BE HERS TESTED AND/OR VERIFIED FOR HIS PROJECT I. DUCT TESTING 5% (R-6 DUCTS)

4. IAQ MECHANICAL VENTILATION

2. DUCTS INSIDE CONDITIONED AREA - EXCEPT | 2'

HERS NOTES

- PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE INSPECTOR DURING CONSTRUCTION AT THE SITE, FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WIL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CFIR FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE REVIEWED AND APPROVED.
- PROPERLY COMPLETED AND ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED.
- CFIR REGISTRATION FORMS ARE LOCATED IN THE PLANS. IF REGISTRATION IS REQUIRED, A WATERMARK AND REGISTRATION NUMBER WILL BE VISIBLE.
- FOR IAQ FAN 67 CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN. PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF I SONE. THIS FAN TO PROVIDE WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION
- RADIANT BARRIER ROOF SHEATHING IS REQUIRED AT ATTIC AREAS.



SITE PLAN NOTES

PROJECT DIRECTORY

PLANS PREPARED FOR: (LEGAL OWNERS)

5610 BELLEVUE AVENUE

PH: (760) 943-6777

LA JOLLA, CALIFORNIA 92037

PCSD ENGINEERING CORPORATION

CARLSBAD, CALIFORNIA 92127

ADRIENNE PERKINS (DESIGNER)

12465 VIA DIEGO

PH: (619) 997-4317

LAKESIDE, CALIFORNIA 92040

3529 COASTVIEW COURT

PH: (760) 207-1885

AMD INTERIORS, INC

BRIAN MCDONNELL

PAUL CHRISTENSON

STRUCTURAL ENGINEER:

PLANS PREPARED BY:

GENERAL CONTRACTOR:

- PROPERTY HAS NO EXISTING OR PROPOSED EASEMENTS

FOUNDATION PLAN / FLOOR FRAMING PLAN

GENERAL STRUCTURAL NOTES

METAL SPINE STAIR DETAILS

ROOF FRAMING PLAN / DECK FRAMING PLAN

SHEET INDEX

FIRST FLOOR ROOF PLAN / SECOND FLOOR DECK PLAN

SECOND FLOOR ROOF PLAN / ROOF DECK DRAINAGE PLAN

SHEET INDEX, PROJECT DATA, SITE PLAN

EXISTING FLOOR PLAN / DEMOLITION PLAN

BMP PLAN / BMP NOTES

EXTERIOR ELEVATIONS

BUILDING CROSS SECTIONS

FIRST FLOOR POWER AND LIGHTING LAYOUT

ROOF DECK POWER AND LIGHTING LAYOUT

MFR-I MANDATORY MEASURE CHECKLIST

METAL SPINE INTERIOR STAIR DETAILS

METAL SPINE EXTERIOR STAIR DETAILS

MINOR WATER POLLUTION CONTROL FORM (DS-570), BMP DETAILS

E-1.2 SECOND FLOOR POWER AND LIGHTING LAYOUT

A-4.2 EXTERIOR ELEVATIONS

A-5. I BUILDING CROSS SECTIONS

GENERAL NOTES

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

ARCHITECTURAL DETAILS

T24-I CFIR ENERGY COMPLIANCE FORMS

A-2.2

A-2.3

GN-I

AD- I

AD-2

5-2

PROPOSED FIRST FLOOR PLAN

PROPOSED SECOND FLOOR PLAN

PROPOSED ROOF DECK (THIRD LEVEL)

SDI STRUCTURAL DETAILS SD2 STRUCTURAL DETAILS

STRUCTURAL (BY OTHERS

- STRUCTURAL DETAILS
- SD4 STRUCTURAL DETAILS
- SIMPSON STRONG-TIE STRONG WALL DETAILS
- WSW2 SIMPSON STRONG-TIE STRONG WALL DETAILS
- ST-I SPIRAL STAIR DETAIL

PROJECT DATA

- JOB SITE ADDRESS: 5610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA 92037
- LEGAL DESCRIPTION: BLOCK 6, LOT 6, ELY 15FT MEAS ON SLY LI LOT
- 5 \$ ALL, BIRD ROCK ADDITION, MAP M I 083 □ ASSESSORS PARCEL NUMBER: 357-443-22-00
- □ CONSTRUCTION TYPE: V-B (TYPE FIVE / NON-RATED), NON-SPRINKLERED
- OCCUPANCY GROUP:
- ZONE: RS-1-7
- YEAR BUILT: 1944
- BUILDING HEIGHT:
- CALIFORNIA CLIMATE ZONE:
- LOT AREA: .14 ACRES / 5.891 SQ. FT

FLOOR AREAS

- 1,095 SQ. FT EXISTING LIVING SPACE EXISTING LIVING SPACE TO BE DEMOLISHED 93 SQ. FT EXISTING LIVING SPACE TO REMAIN 1,002 SQ. FT PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH) 252 SQ. FT PROPOSED FIRST FLOOR ADDITION (REAR/NORTH) 521 SQ. F TOTAL FIRST FLOOR LIVING SPACE 1,775 SQ. FT
- PROPOSED SECOND FLOOR ADDITION 1,208 SQ. FT PROPOSED TOTAL LIVING SPACE 2,983 SQ. FT EXISTING DETACHED GARAGE TO BE DEMOLISHED 371 SQ. FT 327 SQ. F1 163 SQ. FT 80 SQ. FT
- PATIO 2 UNDER 2ND FLOOR GALLERY (FAR) DECK - SECOND FLOOR - EAST 149 SQ. FT GUEST DECK 52 SQ. FT OWNER'S DECK 222 SQ. FT
- ROOF DECK 142 SQ. FT ROOF DECK 2 637 SQ. FT. I-CAR GARAGE 250 SQ. FT 213 SQ. FT.
- FLOOR AREA RATIO: (59% MAX.) 5,891.00 S.F.
- 59% OF LOT AREA = 3,476.00 S.F. PROPOSED FIRST FLOOR LIVING = 1,775.00 S.F. OPEN AREA ABOVE ENTRY 129.00 S.F OPEN AREA ABOVE HALL 103.00 S.F. PROPOSED I-CAR GARAGE (NON-LIVING) = 250.00 S.F. PROPOSED SECOND FLOOR = 1,208.00 S.F. PATIO 2 UNDER 2ND FLR GALLERY < 100 SF 0.00 S.F. 0.00 S.F. PORCH < 100 SF

PROPOSED TOTAL NON-LIVING SPACE

TOTAL GROSS FLOOR AREA =

3,465 S.F. / 5,891 S.F. = 58.8%

SHEETS

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 \Box REVISIONS

DATE: 04/15/20 DRAWN BY: AP PROJECT No:

FILE: 2020-2-28

2,235 SQ. FT

3,465.00 S.F.

SHEET No.

ARCHITECTURAL SITE PLAN

- PROPOSED ADDITION ----

FIRST FLOOR - NORTH

PROPOSED FIRST FLOOR — PATIO 2 (PERVIOUS)

___ 521 SQ. FT.

_____ 243 SQ. FT.

EXISTING CONCRETE -

DEMO EXISTING -

NON-LIVING PATIO

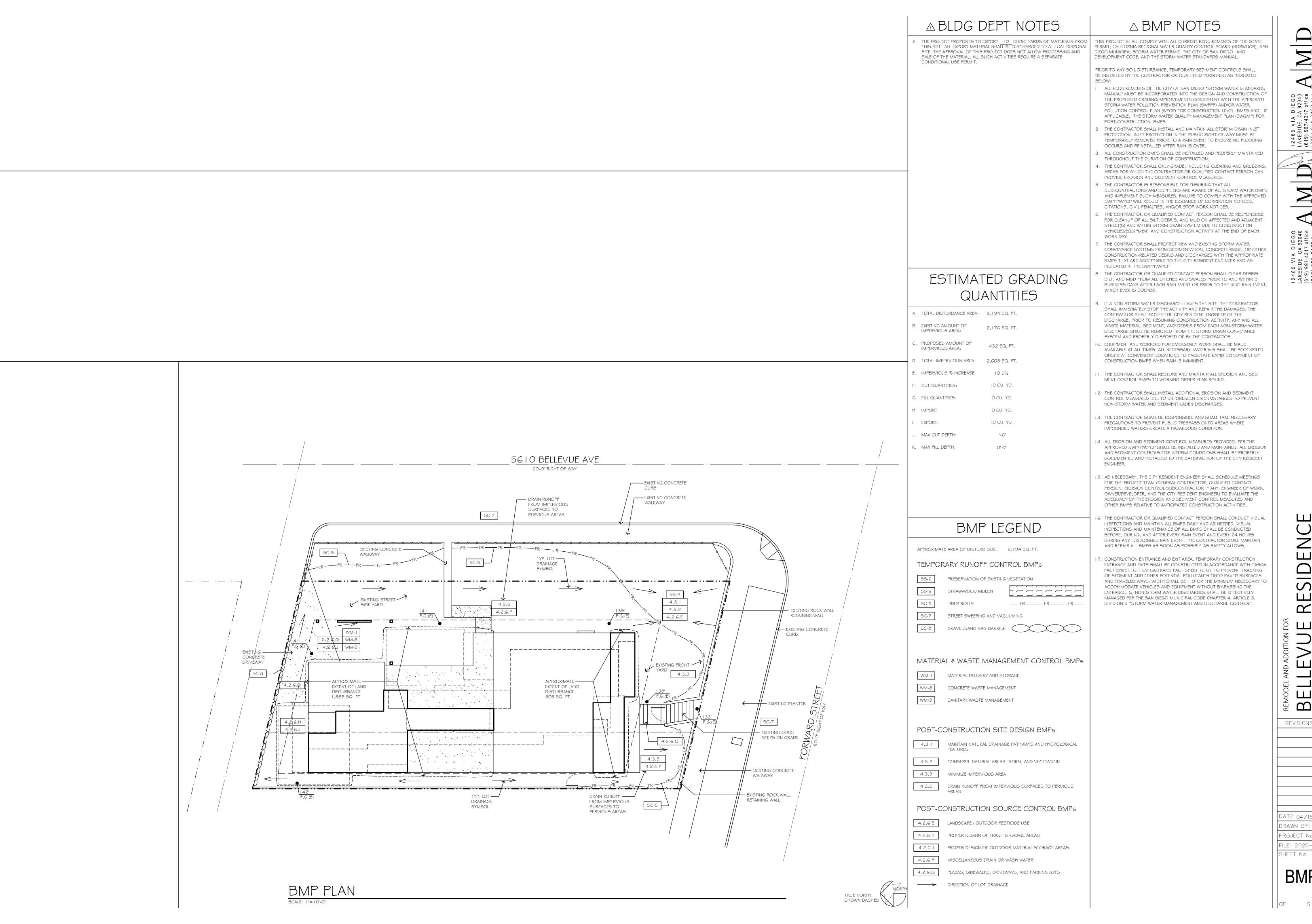
KIBTING STREET /

LIVING SPACE

- 93 SQ. FT.

WALKWAY

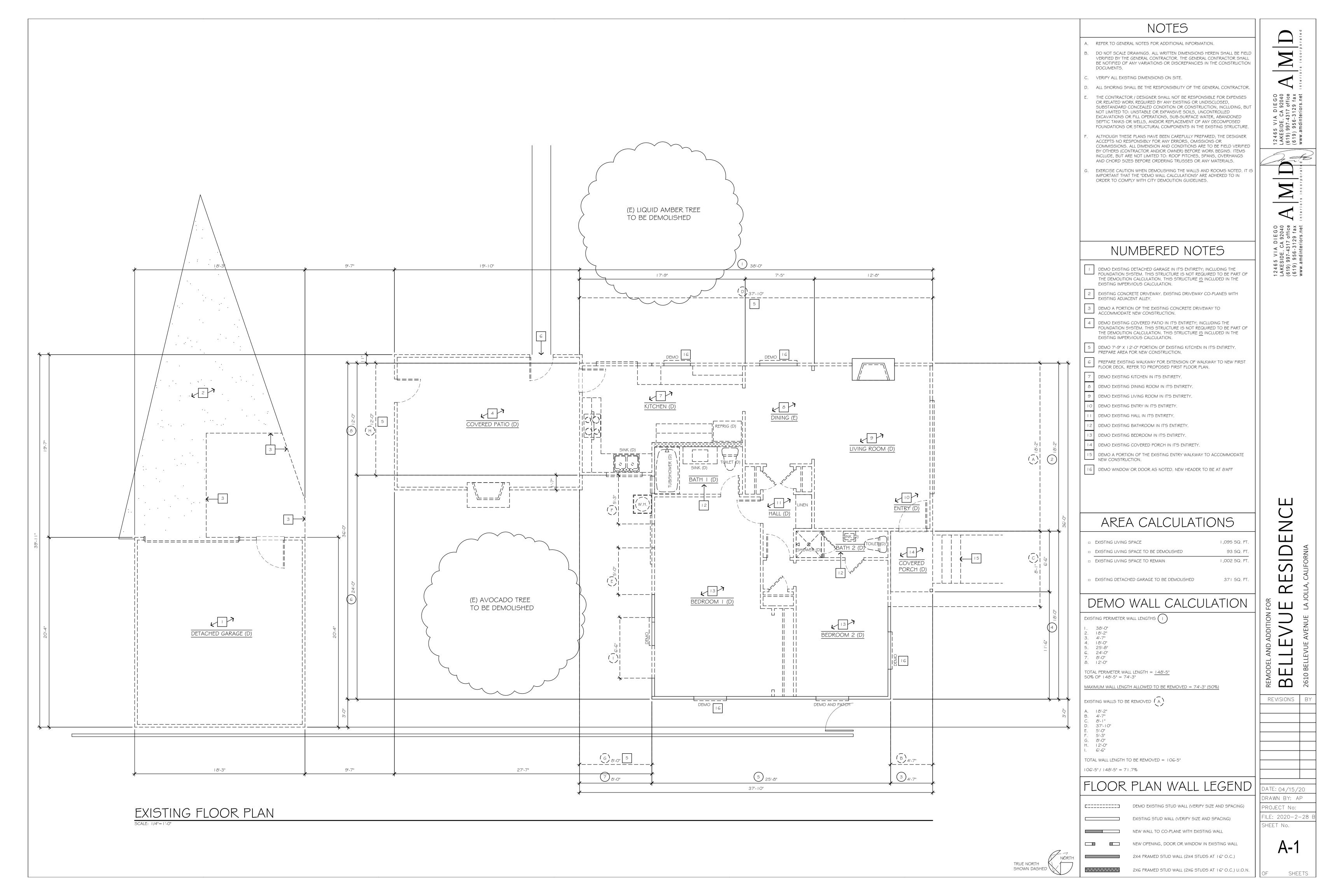
COVER

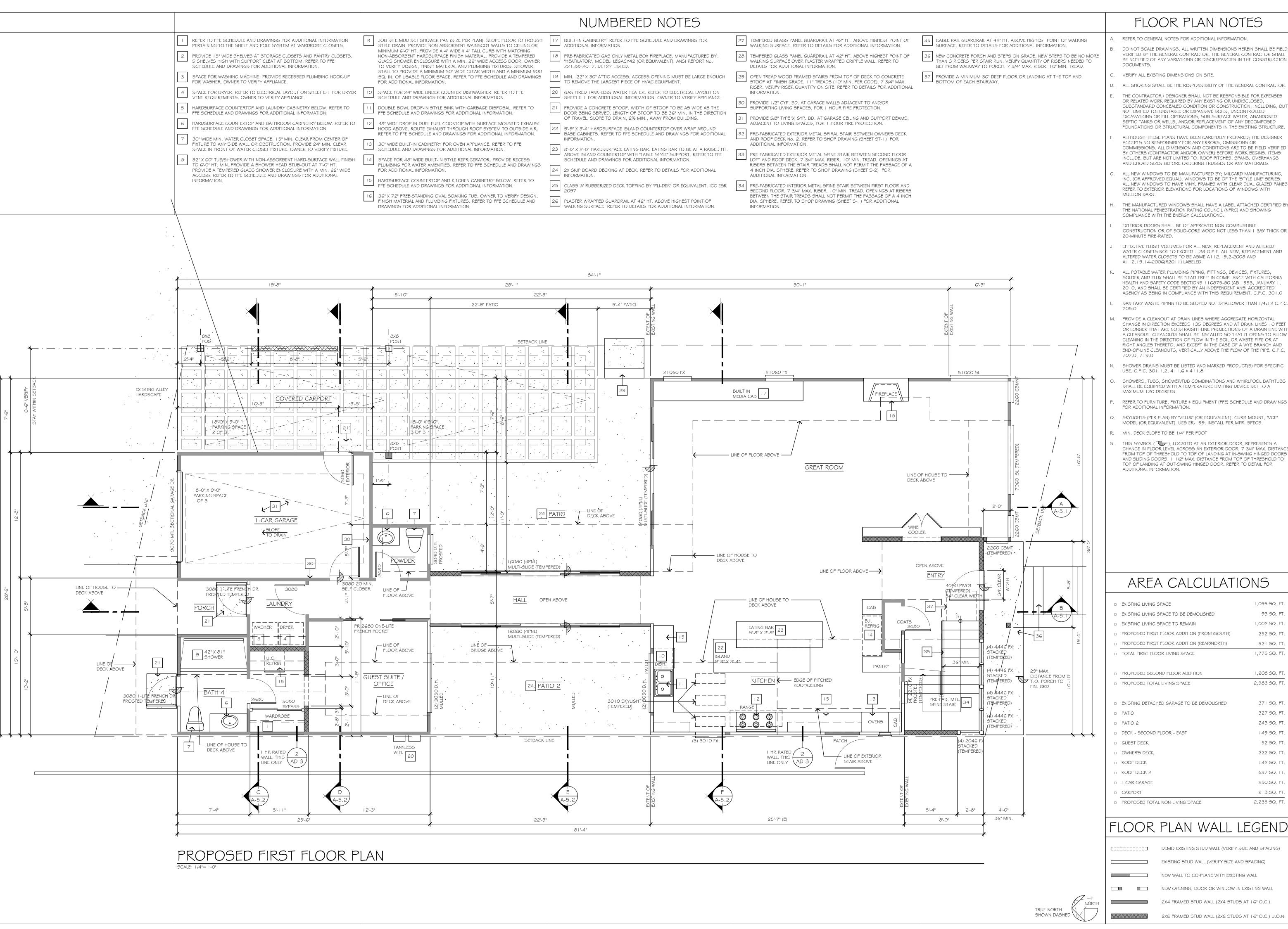


 \Box REVISIONS

DATE: 04/15/20 DRAWN BY: AP PROJECT No:

FILE: 2020-2-28





FLOOR PLAN NOTES

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.

DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION

ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION INCLUDING BUT

FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBLY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS

INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS. ALL NEW WINDOWS TO BE MANUFACTURED BY; MILGARD MANUFACTURING, INC. (OR APPROVED EQUAL). WINDOWS TO BE OF THE "STYLE LINE" SERIES.

THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING

COMPLIANCE WITH THE ENERGY CALCULATIONS. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR

EFFECTIVE FLUSH VOLUMES FOR ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS NOT TO EXCEED 1.28 G.P.F. ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS TO BE ASME A112.19.2-2008 AND

ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE "LEAD-FREE" IN COMPLIANCE WITH CALIFORNIA

SANITARY WASTE PIPING TO BE SLOPED NOT SHALLOWER THAN 1/4:12 C.P.C.

PROVIDE A CLEANOUT AT DRAIN LINES WHERE AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDS 135 DEGREES AND AT DRAIN LINES 10 FEET OR LONGER THAT ARE NO STRAIGHT-LINE PROJECTIONS OF A DRAIN LINE WITH A CLEANOUT. CLEANOUTS SHALL BE INSTALLED SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW IN THE SOIL OR WASTE PIPE OR AT RIGHT ANGLES THERETO, AND EXCEPT IN THE CASE OF A WYE BRANCH AND END-OF-LINE CLEANOUTS, VERTICALLY ABOVE THE FLOW OF THE PIPE. C.P.C.

SHOWER DRAINS MUST BE LISTED AND MARKED PRODUCT(S) FOR SPECIFIC USE. C.P.C. 301.1.2, 411.6 \$ 411.8

SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS SHALL BE EQUIPPED WITH A TEMPERATURE LIMITING DEVICE SET TO A

REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS

SKYLIGHTS (PER PLAN) BY "VELUX" (OR EQUIVALENT). CURB MOUNT, "VCE"

THIS SYMBOL (), LOCATED AT AN EXTERIOR DOOR, REPRESENTS A CHANGE IN FLOOR LEVEL ACROSS AN EXTERIOR DOOR. 7 3/4" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT IN-SWING HINGED DOORS AND SLIDING DOORS. I 1/2" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT OUT-SWING HINGED DOOR. REFER TO DETAIL FOR

AREA CALCULATIONS

	EXISTING LIVING SPACE	1,095 SQ. F
	EXISTING LIVING SPACE TO BE DEMOLISHED	93 SQ. F
	EXISTING LIVING SPACE TO REMAIN	1,002 SQ. F
	PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH)	252 SQ. F
	PROPOSED FIRST FLOOR ADDITION (REAR/NORTH)	521 SQ. F
	TOTAL FIRST FLOOR LIVING SPACE	1,775 SQ. F
	PROPOSED SECOND FLOOR ADDITION	1,208 SQ. F
	PROPOSED TOTAL LIVING SPACE	2,983 SQ. F
	EXISTING DETACHED GARAGE TO BE DEMOLISHED	371 SQ. F
	PATIO	327 SQ. F
	PATIO 2	243 SQ. F
	DECK - SECOND FLOOR - EAST	149 SQ. F
	GUEST DECK	52 SQ. F
	OWNER'S DECK	222 SQ. F
	ROOF DECK	142 SQ. F
	ROOF DECK 2	637 SQ. F
	I-CAR GARAGE	250 SQ. F
	CARPORT	213 SQ. F
П	PROPOSED TOTAL NON-LIVING SPACE	2,235 SQ. F

FLOOR PLAN WALL LEGEND

DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING) EXISTING STUD WALL (VERIFY SIZE AND SPACING) NEW WALL TO CO-PLANE WITH EXISTING WALL

> NEW OPENING, DOOR OR WINDOW IN EXISTING WALL 2X4 FRAMED STUD WALL (2X4 STUDS AT 16" O.C.)

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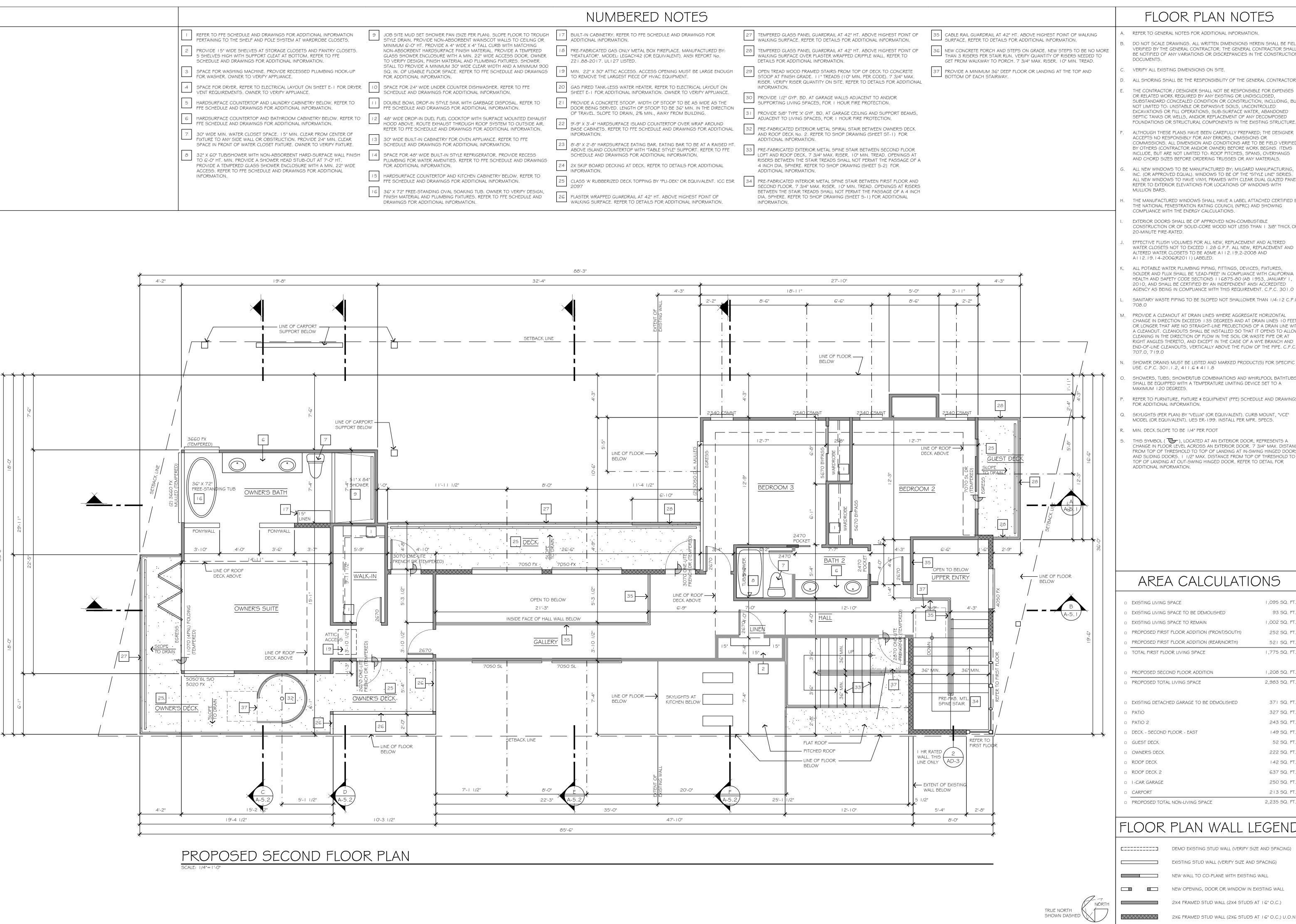
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FLOOR PLAN NOTES

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.

DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION

ALL SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES

OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION INCLUDING BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS, AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE.

ACCEPTS NO RESPONSIBLY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE, BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

INC. (OR APPROVED EQUAL). WINDOWS TO BE OF THE "STYLE LINE" SERIES. ALL NEW WINDOWS TO HAVE VINYL FRAMES WITH CLEAR DUAL GLAZED PANES REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS OF WINDOWS WITH

THE MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING

EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID-CORE WOOD NOT LESS THAN 1 3/8" THICK OR

EFFECTIVE FLUSH VOLUMES FOR ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS NOT TO EXCEED 1.28 G.P.F. ALL NEW, REPLACEMENT AND ALTERED WATER CLOSETS TO BE ASME A112.19.2-2008 AND

ALL POTABLE WATER PLUMBING PIPING, FITTINGS, DEVICES, FIXTURES, SOLDER AND FLUX SHALL BE "LEAD-FREE" IN COMPLIANCE WITH CALIFORNIA HEALTH AND SAFETY CODE SECTIONS 116875-80 (AB 1953, JANUARY 1,

SANITARY WASTE PIPING TO BE SLOPED NOT SHALLOWER THAN 1/4:12 C.P.C.

PROVIDE A CLEANOUT AT DRAIN LINES WHERE AGGREGATE HORIZONTAL CHANGE IN DIRECTION EXCEEDS 135 DEGREES AND AT DRAIN LINES 10 FEET OR LONGER THAT ARE NO STRAIGHT-LINE PROJECTIONS OF A DRAIN LINE WITH A CLEANOUT. CLEANOUTS SHALL BE INSTALLED SO THAT IT OPENS TO ALLOW CLEANING IN THE DIRECTION OF FLOW IN THE SOIL OR WASTE PIPE OR AT RIGHT ANGLES THERETO, AND EXCEPT IN THE CASE OF A WYE BRANCH AND END-OF-LINE CLEANOUTS, VERTICALLY ABOVE THE FLOW OF THE PIPE. C.P.C.

SHOWER DRAINS MUST BE LISTED AND MARKED PRODUCT(S) FOR SPECIFIC

SHOWERS, TUBS, SHOWER/TUB COMBINATIONS AND WHIRLPOOL BATHTUBS SHALL BE EQUIPPED WITH A TEMPERATURE LIMITING DEVICE SET TO A

REFER TO FURNITURE, FIXTURE & EQUIPMENT (FFE) SCHEDULE AND DRAWINGS

SKYLIGHTS (PER PLAN) BY "VELUX" (OR EQUIVALENT). CURB MOUNT, "VCE"

THIS SYMBOL (), LOCATED AT AN EXTERIOR DOOR, REPRESENTS A CHANGE IN FLOOR LEVEL ACROSS AN EXTERIOR DOOR, 7 3/4" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT IN-SWING HINGED DOORS AND SLIDING DOORS. I 1/2" MAX. DISTANCE FROM TOP OF THRESHOLD TO TOP OF LANDING AT OUT-SWING HINGED DOOR. REFER TO DETAIL FOR

AREA CALCULATIONS

EXISTING LIVING SPACE	1,095 SQ. F
EXISTING LIVING SPACE TO BE DEMOLISHED	93 SQ. F
EXISTING LIVING SPACE TO REMAIN	1,002 SQ. F
PROPOSED FIRST FLOOR ADDITION (FRONT/SOUTH)	252 SQ. F
PROPOSED FIRST FLOOR ADDITION (REAR/NORTH)	521 SQ. F
TOTAL FIRST FLOOR LIVING SPACE	1,775 SQ. F
PROPOSED SECOND FLOOR ADDITION	1,208 SQ. F
PROPOSED TOTAL LIVING SPACE	2,983 SQ. F
EXISTING DETACHED GARAGE TO BE DEMOLISHED	371 SQ. F
PATIO	327 SQ. F
PATIO 2	243 SQ. F
DECK - SECOND FLOOR - EAST	149 SQ. F
GUEST DECK	52 SQ. F
OWNER'S DECK	222 SQ. F
ROOF DECK	142 SQ. F
ROOF DECK 2	637 SQ. F
I-CAR GARAGE	250 SQ. F
CARPORT	213 SQ. F
PROPOSED TOTAL NON-LIVING SPACE	2,235 SQ. F

FLOOR PLAN WALL LEGEND

DEMO EXISTING STUD WALL (VERIFY SIZE AND SPACING) EXISTING STUD WALL (VERIFY SIZE AND SPACING) NEW WALL TO CO-PLANE WITH EXISTING WALL

NEW OPENING, DOOR OR WINDOW IN EXISTING WALL

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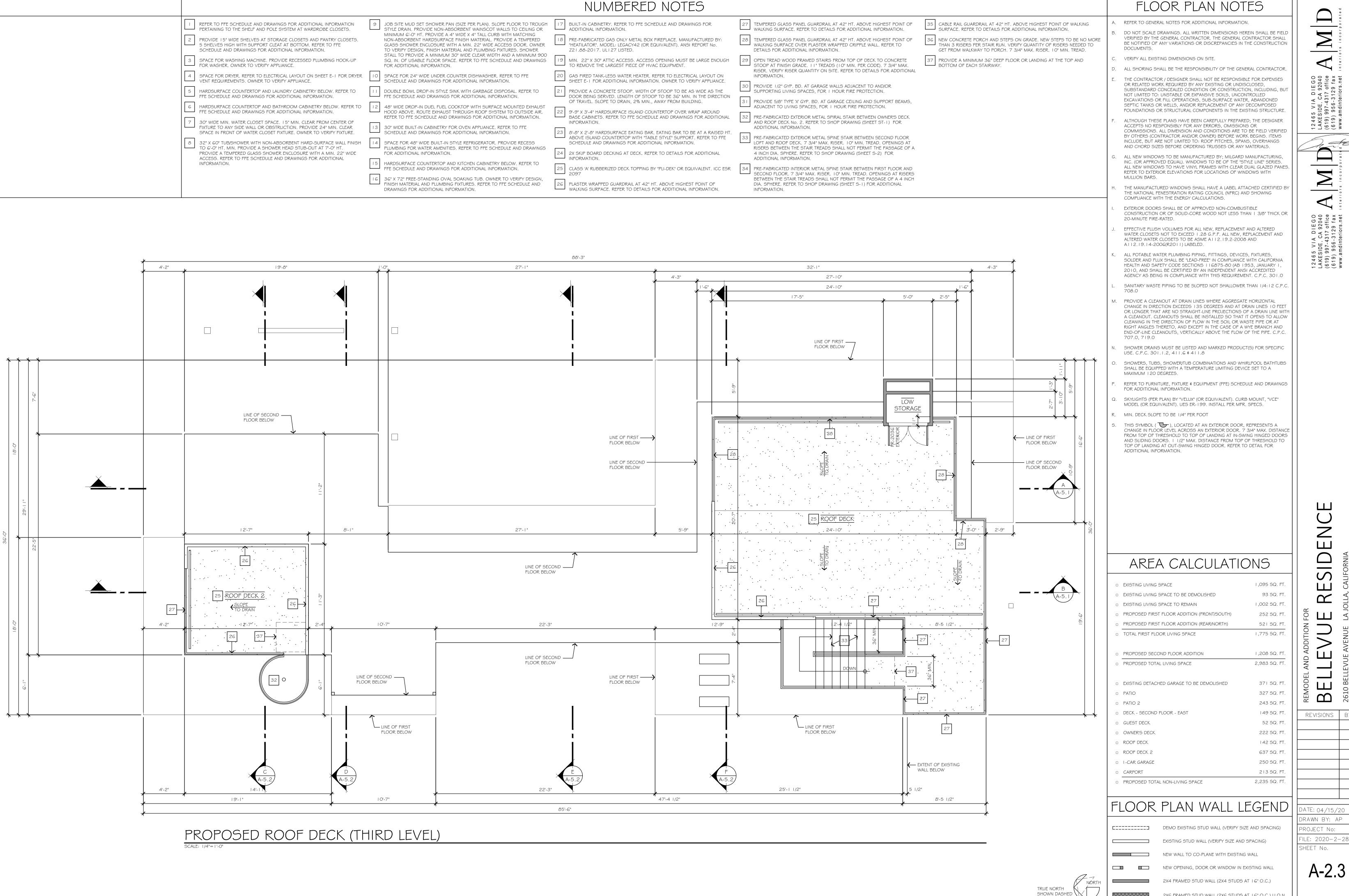
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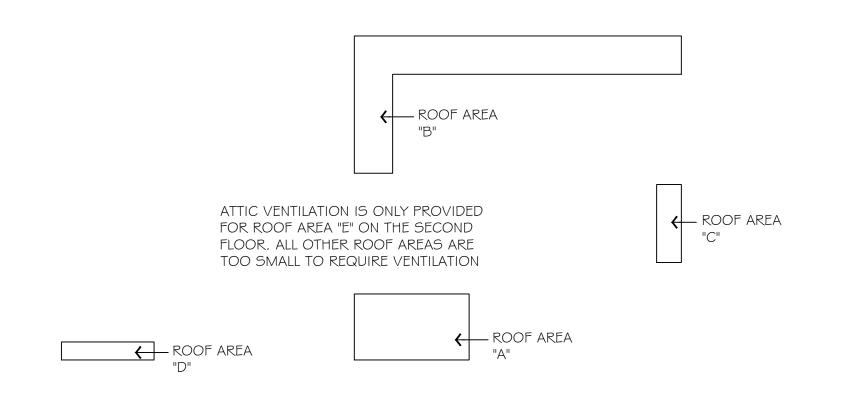
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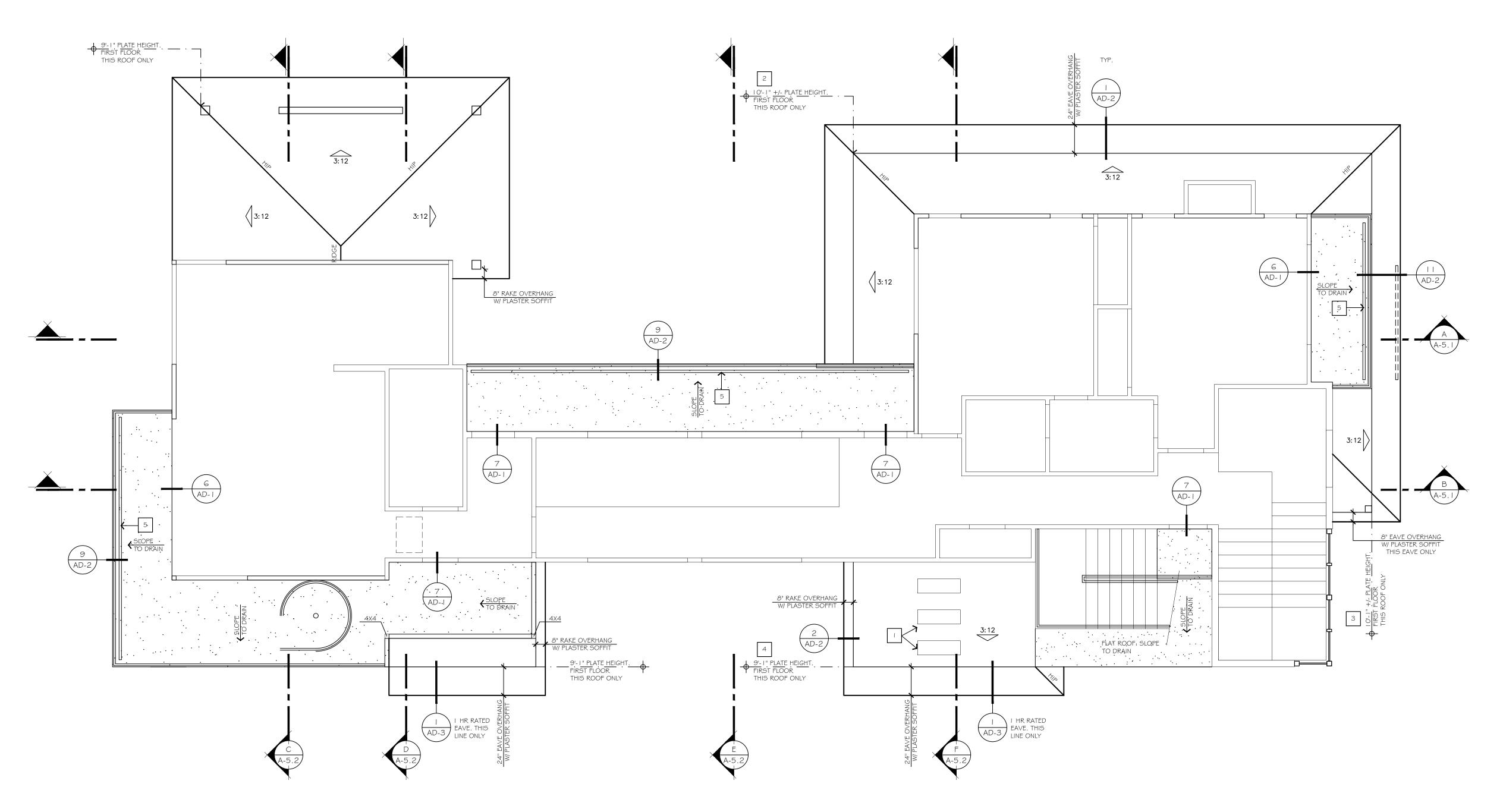
FLOOR PLAN NOTES

SHEETS

2X6 FRAMED STUD WALL (2X6 STUDS AT 16" O.C.) U.O.N



ROOF AREA LEGEND



FIRST FLOOR ROOF PLAN / SECOND FLOOR DECK PLAN

TRUE NORTH

ROOF NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- 2. DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION
- 3. REFER TO SHEET GN-I (GENERAL NOTES) FOR ADDITIONAL INFORMATION.
- 4. ROOFING MATERIAL: CLASS "A" STANDING SEAM METAL ROOFING SYSTEM. MANUFACTURED BY: "MBCI, L.P.", "BATTEN-LOK" SYSTEM" OR EQUIVALENT. I .65# PER SQUARE, OVER ONE LAYER OF 30# FELT ALL OVER ROOF SHEATHING PER STRUCTURAL RECOMMENDATIONS. UL 790 AND UL 580
- 5. ALL NEW ROOF OVERHANGS TO MATCH EXISTING. WHERE APPLICABLE.
- 6. ROOFING UNDERLAYMENT TO CONFORM TO NOT LESS THAN A.S.T.M. D226 TYPE I OR D4869 TYPE I OR D6757 ASPHALT-IMPREGNATED ROOFING FELT, INSTALLED IN COMPLIANCE WITH C.R.C. SECTION R905.2.7. C.R.C.
- COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS. FOR FLASHING AT ROOF PENETRATIONS (I.E. "B"
- 8. REFER TO ENERGY COMPLIANCE REPORT (T24 REPORT) TO VERIFY IF THE ROOF SHEATHING IS REQUIRED TO INCLUDE A RADIANT BARRIER. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION.
- SHADED AREA INDICATES "CALIFORNIA FILL" (OVER FRAMING) OVER EXISTING ROOF. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL
- O. ATTIC VENTILATION TO COMPLY WITH C.R.C. SECTION R806.1 AND R806.2. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE AREA OF THE SPACE. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:
 - IO.I. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE
 - 10.2. IN CLIMATE ZONES 14 AND 16, A CLASS FOR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

NUMBERED NOTES

- I SKYLIGHTS PER PLAN.
- THIS ROOF BEARS ON THE TOP OF THE SECOND FLOOR FRAMING SYSTEM.
 REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS
- THIS ROOF BEARS ON A STRUCTURAL BEAM WITH TOP OF BEAM FLUSH WITH THE SECOND FLOOR FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL

SECTIONS FOR ADDITIONAL INFORMATION.

THIS ROOF BEARS ON A TYPICAL DOUBLE TOP PLATE AND WOOD FRAMED WALL. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.

5 COPPER TROUGH DRAIN FOR FULL WIDTH OF DECK. SLOPE DECK TOWARDS DRAIN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.

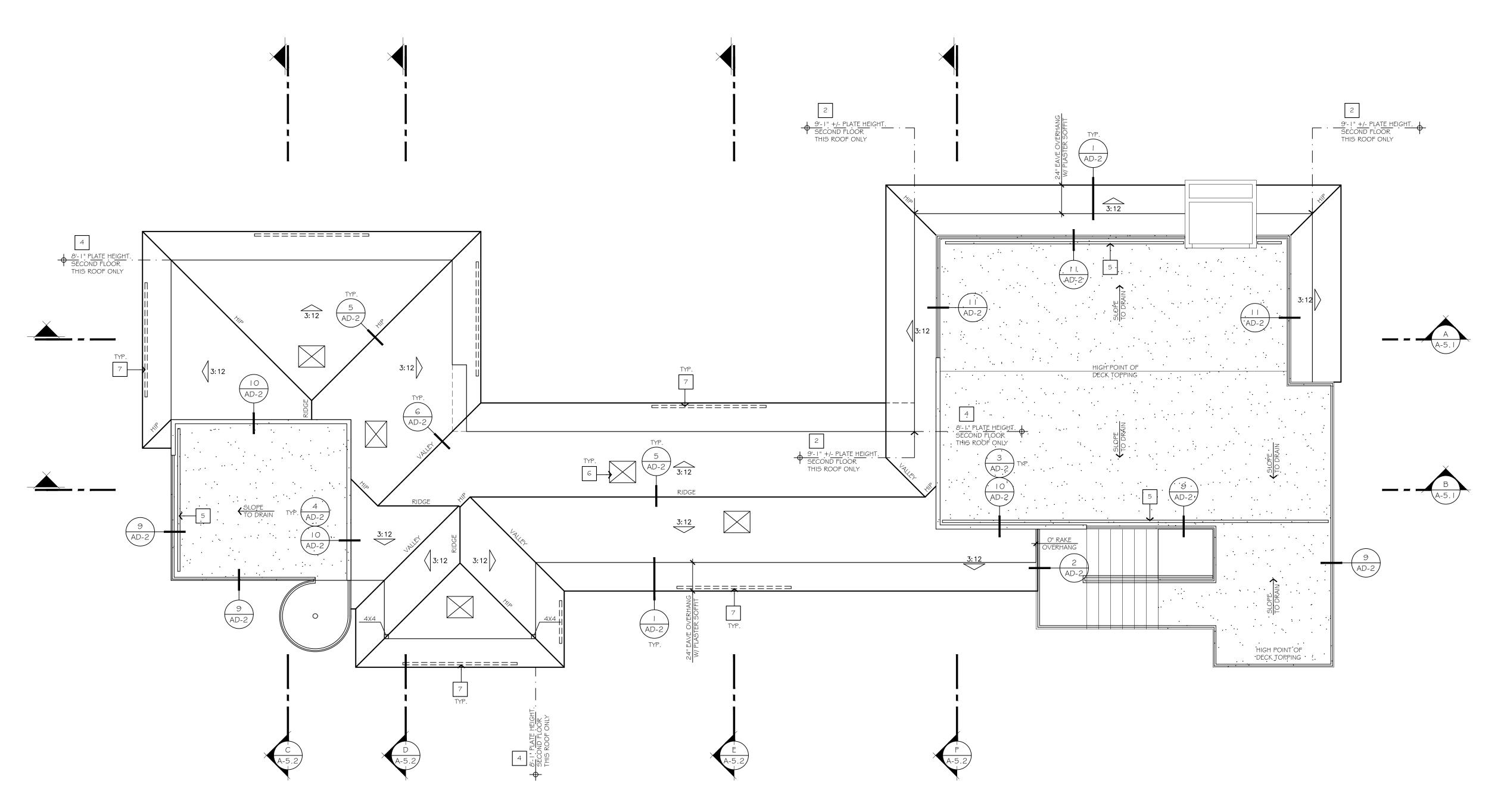
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ROOF AREA LEGEND



SECOND FLOOR ROOF PLAN / ROOF DECK DRAINAGE PLAN

TRUE NORTH

ROOF NOTES

- REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS HEREIN SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE NOTIFIED OF ANY VARIATIONS OR DISCREPANCIES IN THE CONSTRUCTION
- B. REFER TO SHEET GN-1 (GENERAL NOTES) FOR ADDITIONAL INFORMATION.
- 4. ROOFING MATERIAL: CLASS "A" STANDING SEAM METAL ROOFING SYSTEM. MANUFACTURED BY: "MBCI, L.P.", "BATTEN-LOK" SYSTEM" OR EQUIVALENT. I .65# PER SQUARE, OVER ONE LAYER OF 30# FELT ALL OVER ROOF

SHEATHING PER STRUCTURAL RECOMMENDATIONS. UL 790 AND UL 580

- . ALL NEW ROOF OVERHANGS TO MATCH EXISTING. WHERE APPLICABLE.
- ROOFING UNDERLAYMENT TO CONFORM TO NOT LESS THAN A.S.T.M. D226 TYPE I OR D4869 TYPE I OR D6757 ASPHALT-IMPREGNATED ROOFING FELT, INSTALLED IN COMPLIANCE WITH C.R.C. SECTION R905.2.7. C.R.C.
- COMBINE AND GROUP PLUMBING VENTS WHENEVER POSSIBLE TO MINIMIZE ROOF PENETRATIONS. FOR FLASHING AT ROOF PENETRATIONS (I.E. "B"
- REFER TO ENERGY COMPLIANCE REPORT (T24 REPORT) TO VERIFY IF THE ROOF SHEATHING IS REQUIRED TO INCLUDE A RADIANT BARRIER. REFER TO
- STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL INFORMATION. SHADED AREA INDICATES "CALIFORNIA FILL" (OVER FRAMING) OVER EXISTING ROOF. REFER TO STRUCTURAL DRAWINGS (BY OTHERS) FOR ADDITIONAL
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- IO.I. NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE
- 10.2. IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

ATTIC VENTILATION

ATTIC VENT CALCULATIONS: (SECOND FLOOR ROOF ONLY) ROOF AREA (SQ. IN.) = 111,013 SQ. IN. (AT PROPOSED ADDITION ONLY)

VENTILATION REQUIRED (1/150) = 740 SQ. IN. VENTILATION PROVIDED = 802 SQ. IN.

(5) FIELD TILE VENTS AT 72.00 SQ. IN. EACH = 360 SQ. IN. (52) L.F. SOFFIT VENTS AT 8.5 SQ. IN. PER L.F. = 442 SQ. IN.

FIELD TILE VENTS BY "O'HAGIN'S, INC.", "TAPERED LOW-PROFILE VENT" MODEL (OR EQUIVALENT). WWW.OHAGINVENT.COM. ICC REPORT No. ESR-9650A

SOFFIT STRIP VENTS BY "GAF", "MASTER FLOW" LSV8 MODEL (OR EQUIVALENT) 68 SQ. IN. PER 8 FOOT STRIP.

LOCATE VENTS TO PROVIDE ADEQUATE CROSS VENTILATION

NUMBERED NOTES

- SKYLIGHTS PER PLAN.
- THIS ROOF BEARS ON THE TOP OF THE ROOF DECK FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- THIS ROOF BEARS ON A STRUCTURAL BEAM WITH TOP OF BEAM FLUSH WITH THE SECOND FLOOR FRAMING SYSTEM. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL
- THIS ROOF BEARS ON A TYPICAL DOUBLE TOP PLATE AND WOOD FRAMED
- WALL. REFER TO STRUCTURAL PLANS (BY OTHERS) AND BUILDING CROSS SECTIONS FOR ADDITIONAL INFORMATION.
- 5 COPPER TROUGH DRAIN FOR FULL WIDTH OF DECK. SLOPE DECK TOWARDS DRAIN. REFER TO DETAILS FOR ADDITIONAL INFORMATION.
- 6 FIELD TILE VENT PER "ATTIC VENTILATION" NOTED ABOVE. VERIFY LOCATION.
- 7 SOFFIT STRIP VENT PER "ATTIC VENTILATION" NOTED ABOVE. VERIFY LOCATION.

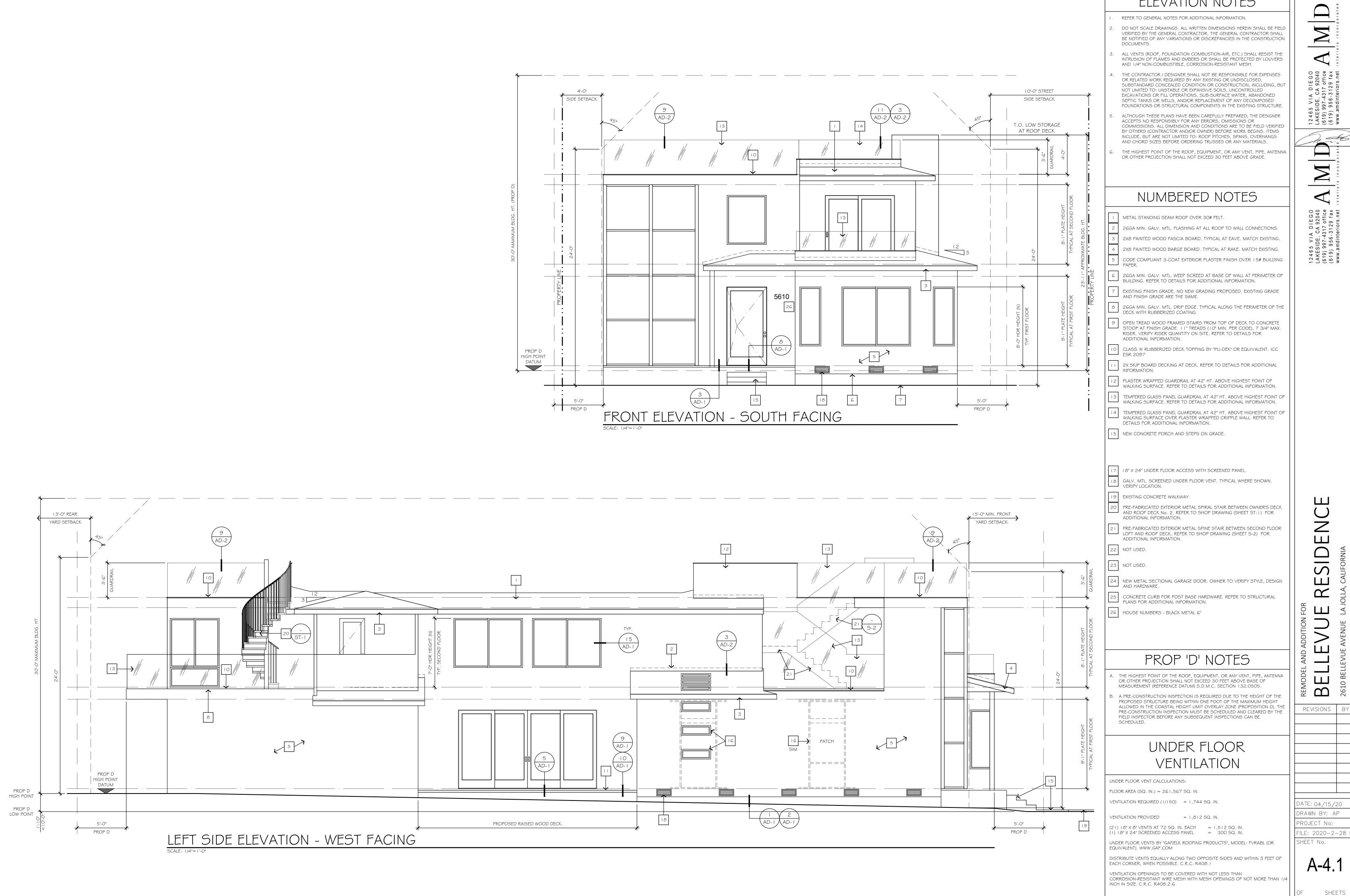
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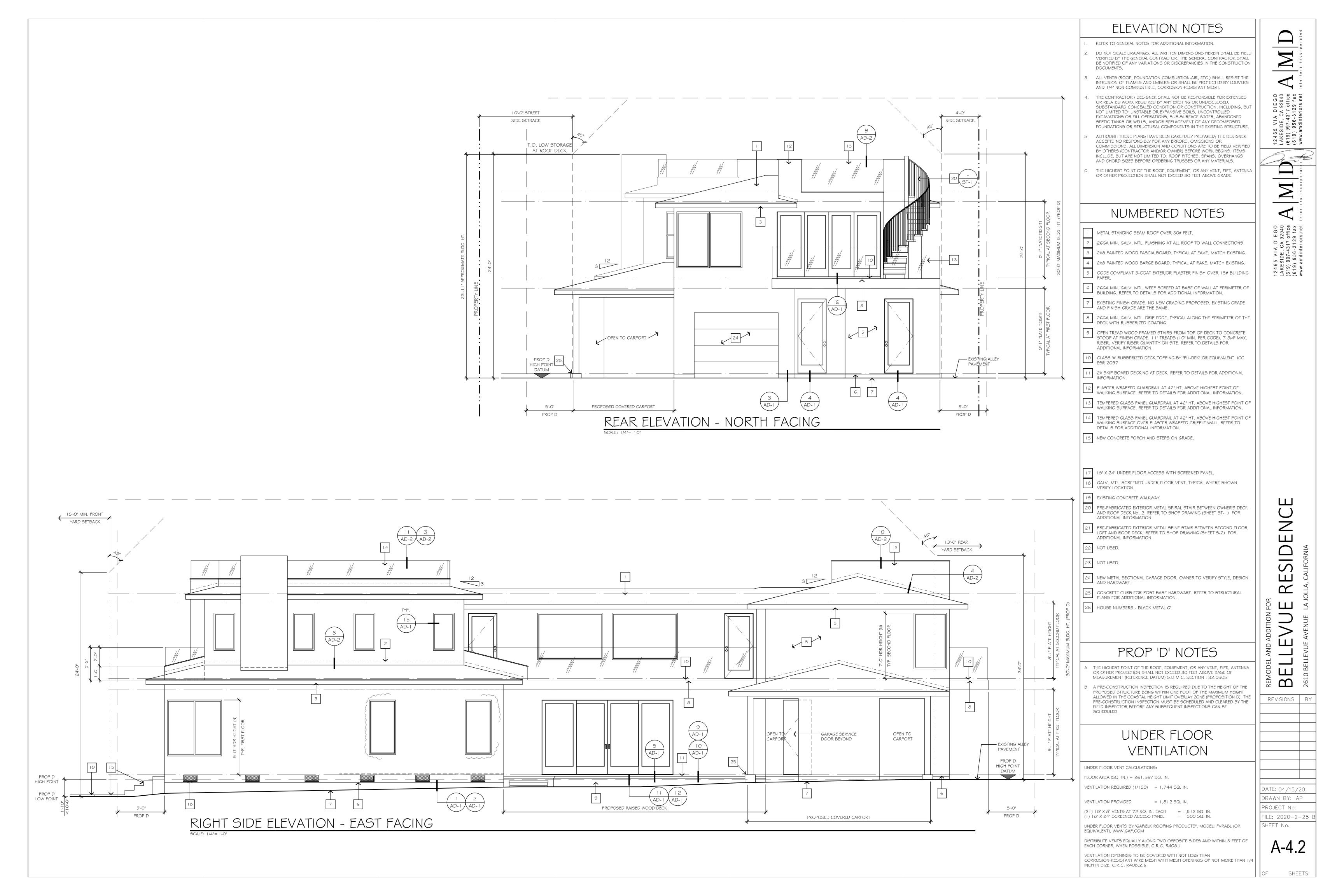
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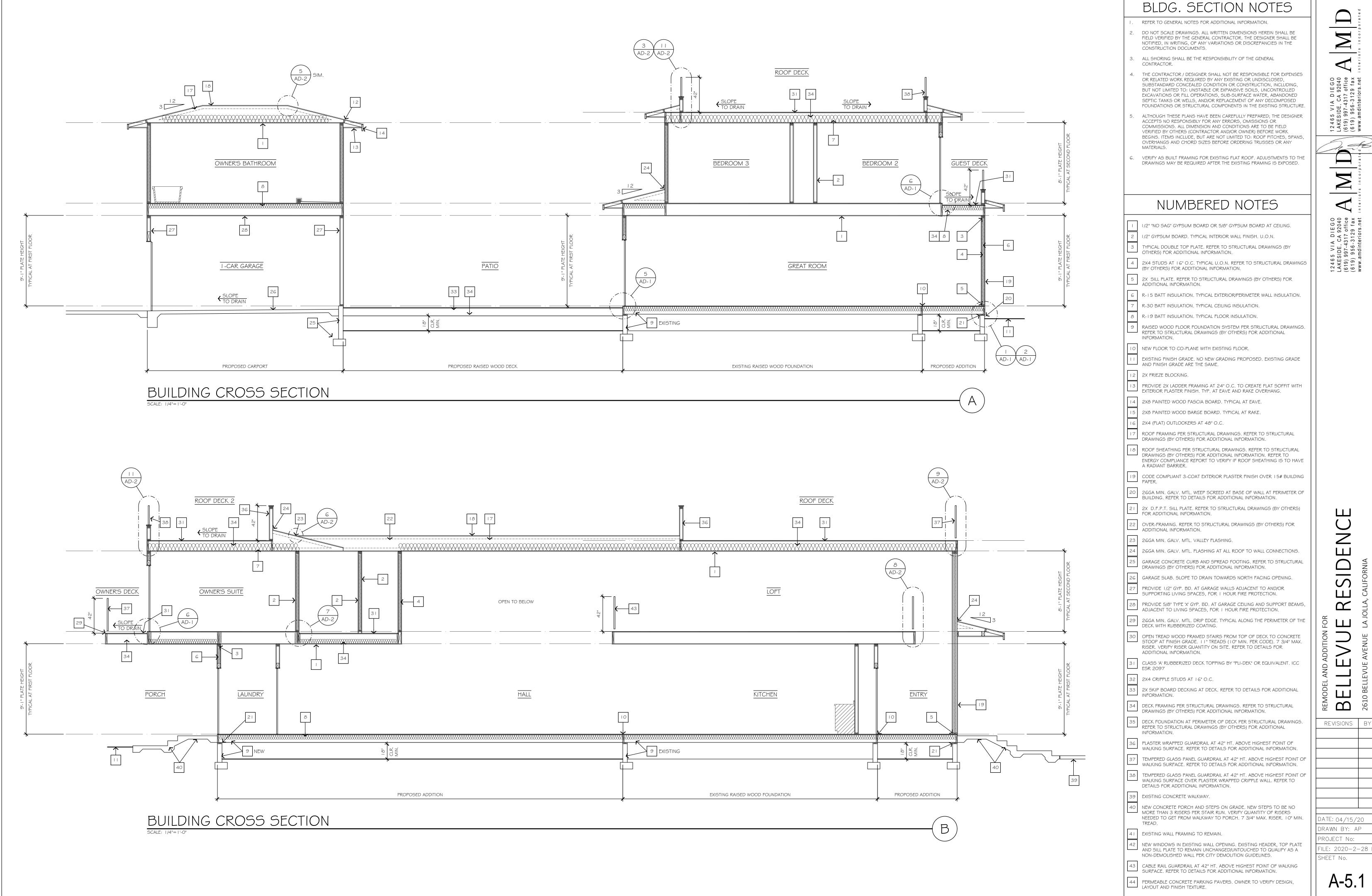
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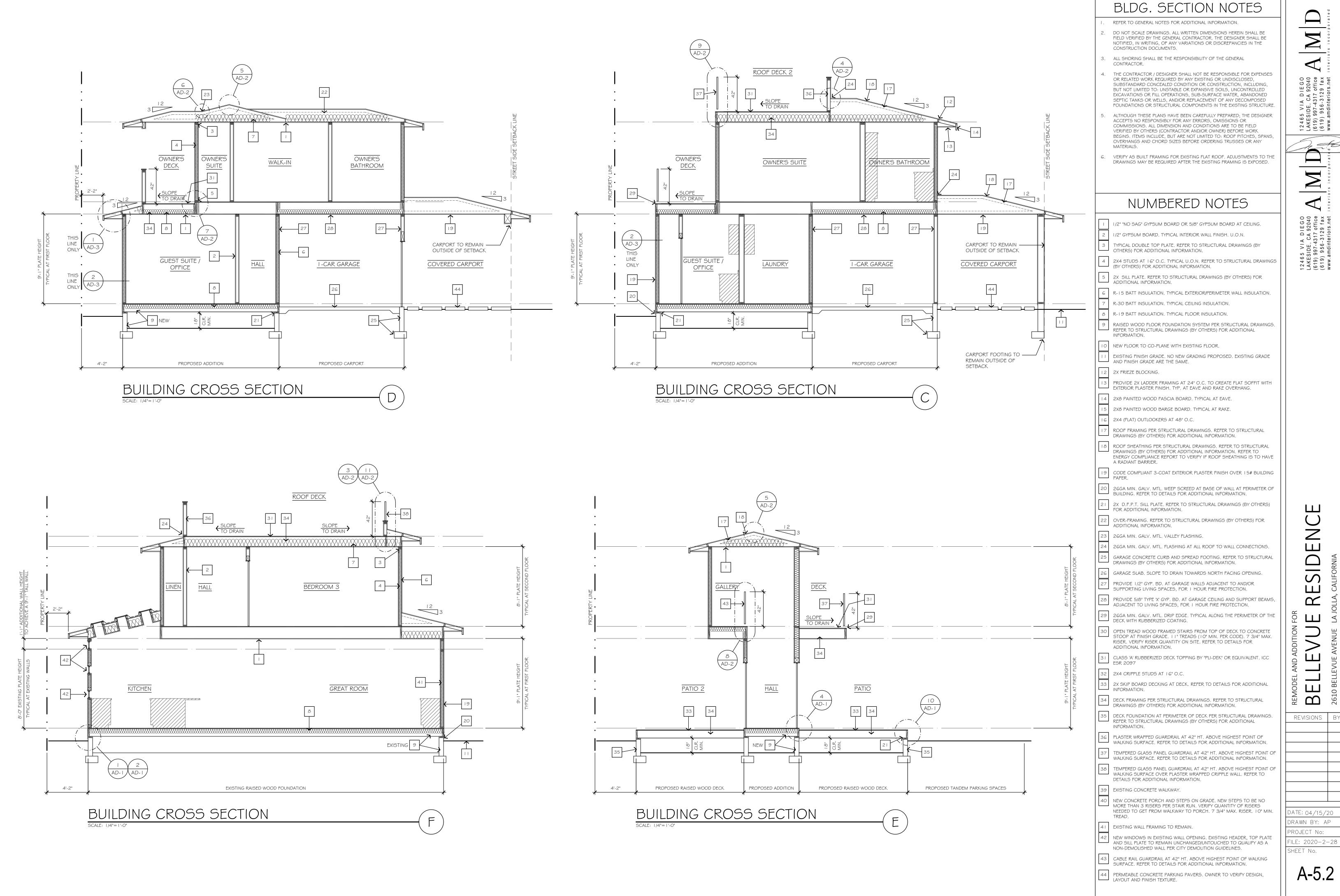
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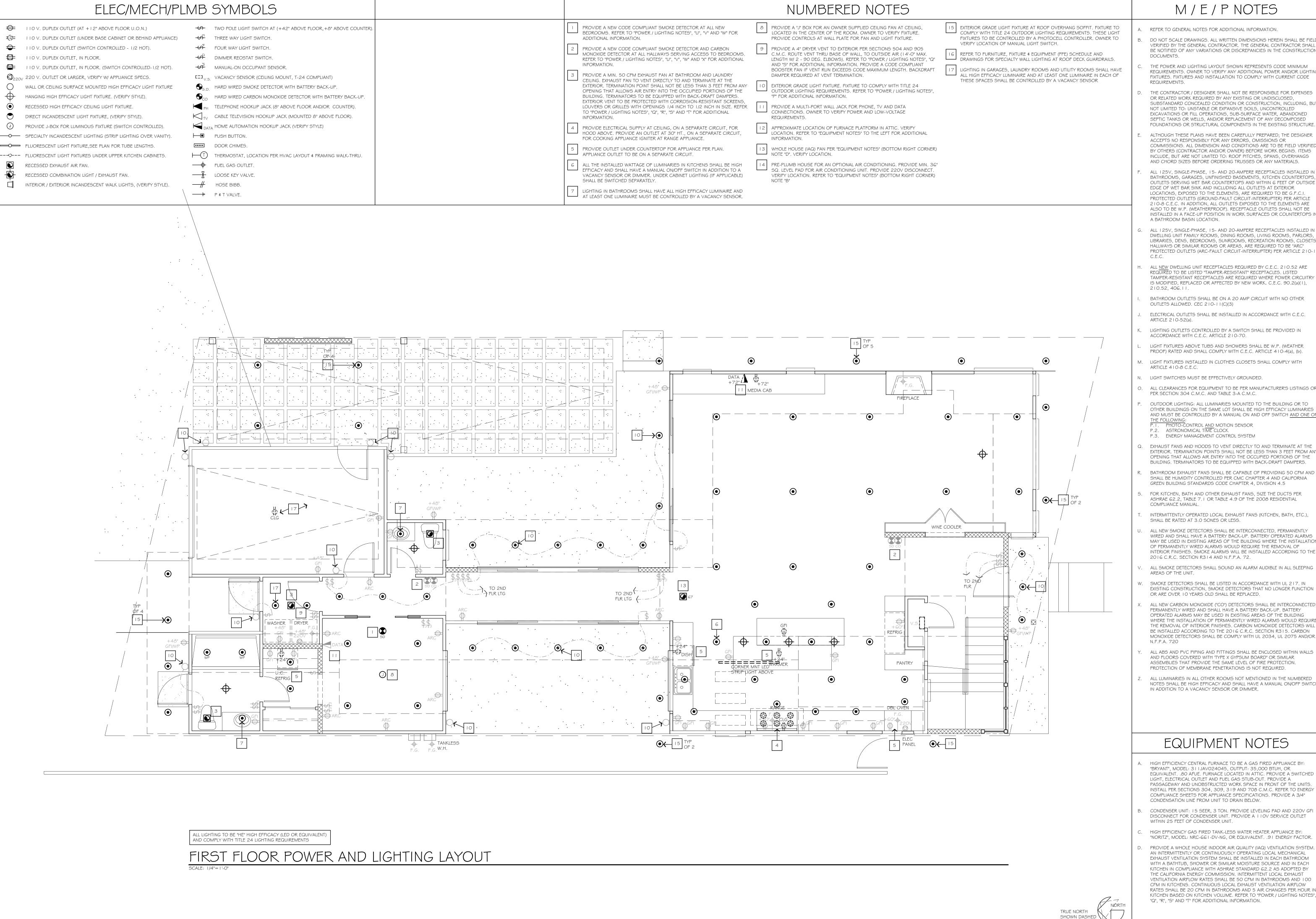


ELEVATION NOTES









M/E/P NOTES

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.

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THE POWER AND LIGHTING LAYOUT SHOWN REPRESENTS CODE MINIMUM REQUIREMENTS. OWNER TO VERIFY ANY ADDITIONAL POWER AND/OR LIGHTING FIXTURES. FIXTURES AND INSTALLATION TO COMPLY WITH CURRENT CODE

THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED. SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS. AND/OR REPLACEMENT OF ANY DECOMPOSED

ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED; THE DESIGNER ACCEPTS NO RESPONSIBLY FOR ANY ERRORS, OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS INCLUDE. BUT ARE NOT LIMITED TO: ROOF PITCHES, SPANS, OVERHANGS AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS.

ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING WET BAR COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF WET BAR SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I. PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-8 C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BASIN LOCATION.

ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES DENS BEDROOMS SUNROOMS RECREATION ROOMS CLOSETS HALLWAYS OR SIMILAR ROOMS OR AREAS, ARE REQUIRED TO BE "ARC" PROTECTED OUTLETS (ARC-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-12

TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 90.2(a)(1),

BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT WITH NO OTHER OUTLETS ALLOWED. CEC 210-11(C)(3)

ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C.

LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-70.

LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 410-4(a), (b).

LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH

N. LIGHT SWITCHES MUST BE EFFECTIVELY GROUNDED.

O. ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 304 C.M.C. AND TABLE 3-A C.M.C.

OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING:
P. I. PHOTO-CONTROL AND MOTION SENSOR
P. 2. ASTRONOMICAL TIME CLOCK

EXHAUST FANS AND HOODS TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINTS SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE

BATHROOM EXHAUST FANS SHALL BE CAPABLE OF PROVIDING 50 CFM AND SHALL BE HUMIDITY CONTROLLED PER CMC CHAPTER 4 AND CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4. DIVISION 4.5.

FOR KITCHEN, BATH AND OTHER EXHAUST FANS, SIZE THE DUCTS PER ASHRAE 62.2, TABLE 7.1 OR TABLE 4.9 OF THE 2008 RESIDENTIAL

INTERMITTENTLY OPERATED LOCAL EXHAUST FANS (KITCHEN, BATH, ETC.), SHALL BE RATED AT 3.0 SONES OR LESS.

ALL NEW SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R314 AND N.F.P.A. 72.

ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING

SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217. IN EXISTING CONSTRUCTION, SMOKE DETECTORS THAT NO LONGER FUNCTION

ALL NEW CARBON MONOXIDE ("CO") DETECTORS SHALL BE INTERCONNECTED. PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R315. CARBON MONOXIDE DETECTORS SHALL BE COMPLY WITH UL 2034, UL 2075 AND/OR

ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.

ALL LUMINARIES IN ALL OTHER ROOMS NOT MENTIONED IN THE NUMBERED NOTES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER.

EQUIPMENT NOTES

HIGH EFFICIENCY CENTRAL FURNACE TO BE A GAS FIRED APPLIANCE BY: "BRYANT", MODEL: 311JAVO24045, OUTPUT: 35,000 BTUH, OR EQUIVALENT. .80 AFUE. FURNACE LOCATED IN ATTIC. PROVIDE A SWITCHED LIGHT, ELECTRICAL OUTLET AND FUEL GAS STUB-OUT. PROVIDE A PASSAGEWAY AND UNOBSTRUCTED WORK SPACE IN FRONT OF THE UNITS. INSTALL PER SECTIONS 304, 309, 319 AND 708 C.M.C. REFER TO ENERGY COMPLIANCE SHEETS FOR APPLIANCE SPECIFICATIONS. PROVIDE A 3/4"

CONDENSER UNIT: 15 SEER, 3 TON. PROVIDE LEVELING PAD AND 220V GFI DISCONNECT FOR CONDENSER UNIT. PROVIDE A 110V SERVICE OUTLET WITHIN 25 FEET OF CONDENSER UNIT.

HIGH EFFICIENCY GAS FIRED TANK-LESS WATER HEATER APPLIANCE BY: "NORITZ", MODEL: NRC-661-DV-NG, OR EQUIVALENT. .91 ENERGY FACTOR.

PROVIDE A WHOLE HOUSE INDOOR AIR QUALITY (IAQ) VENTILATION SYSTEM. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL FXHAUST VENTUATION SYSTEM SHALL BE INSTALLED IN FACH BATHROOM WITH A BATHTUB. SHOWER OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHEN BASED ON KITCHEN VOLUME. REFER TO "POWER / LIGHTING NOTES"

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ALL LIGHTING TO BE "HE" HIGH EFFICACY (LED OR EQUIVALENT) AND COMPLY WITH TITLE 24 LIGHTING REQUIREMENTS

SECOND FLOOR POWER AND LIGHTING LAYOUT

M/E/P NOTES

REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION.

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THE POWER AND LIGHTING LAYOUT SHOWN REPRESENTS CODE MINIMUM REQUIREMENTS. OWNER TO VERIFY ANY ADDITIONAL POWER AND/OR LIGHTING FIXTURES. FIXTURES AND INSTALLATION TO COMPLY WITH CURRENT CODE

THE CONTRACTOR / DESIGNER SHALL NOT BE RESPONSIBLE FOR EXPENSES OR RELATED WORK REQUIRED BY ANY EXISTING OR UNDISCLOSED, SUBSTANDARD CONCEALED CONDITION OR CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO: UNSTABLE OR EXPANSIVE SOILS, UNCONTROLLED

EXCAVATIONS OR FILL OPERATIONS, SUB-SURFACE WATER, ABANDONED SEPTIC TANKS OR WELLS. AND/OR REPLACEMENT OF ANY DECOMPOSED FOUNDATIONS OR STRUCTURAL COMPONENTS IN THE EXISTING STRUCTURE. ALTHOUGH THESE PLANS HAVE BEEN CAREFULLY PREPARED: THE DESIGNER ACCEPTS NO RESPONSIBLY FOR ANY ERRORS. OMISSIONS OR COMMISSIONS. ALL DIMENSION AND CONDITIONS ARE TO BE FIELD VERIFIED BY OTHERS (CONTRACTOR AND/OR OWNER) BEFORE WORK BEGINS. ITEMS

AND CHORD SIZES BEFORE ORDERING TRUSSES OR ANY MATERIALS. ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOPS, OUTLETS SERVING WET BAR COUNTERTOPS AND WITHIN 6 FEET OF OUTSIDE EDGE OF WET BAR SINK AND INCLUDING ALL OUTLETS AT EXTERIOR LOCATIONS, EXPOSED TO THE ELEMENTS, ARE REQUIRED TO BE G.F.C.I. PROTECTED OUTLETS (GROUND-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-8 C.E.C. IN ADDITION, ALL OUTLETS EXPOSED TO THE ELEMENTS ARE ALSO TO BE W.P. (WEATHERPROOF). RECEPTACLE OUTLETS SHALL NOT BE INSTALLED IN A FACE-UP POSITION IN WORK SURFACES OR COUNTERTOPS IN A BATHROOM BASIN LOCATION.

ALL 125V, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS. BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS HALLWAYS OR SIMILAR ROOMS OR AREAS, ARE REQUIRED TO BE "ARC" PROTECTED OUTLETS (ARC-FAULT CIRCUIT-INTERRUPTER) PER ARTICLE 210-12

ALL NEW DWELLING UNIT RECEPTACLES REQUIRED BY C.E.C. 210.52 ARE REQUIRED TO BE LISTED "TAMPER-RESISTANT" RECEPTACLES. LISTED TAMPER-RESISTANT RECEPTACLES ARE REQUIRED WHERE POWER CIRCUITRY IS MODIFIED, REPLACED OR AFFECTED BY NEW WORK. C.E.C. 90.2(a)(1),

BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT WITH NO OTHER OUTLETS ALLOWED. CEC 210-11(C)(3)

ELECTRICAL OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH C.E.C. ARTICLE 210-52(a).

LIGHTING OUTLETS CONTROLLED BY A SWITCH SHALL BE PROVIDED IN ACCORDANCE WITH C.E.C. ARTICLE 210-70.

LIGHT FIXTURES ABOVE TUBS AND SHOWERS SHALL BE W.P. (WEATHER PROOF) RATED AND SHALL COMPLY WITH C.E.C. ARTICLE 4 | 0-4(a), (b).

LIGHT FIXTURES INSTALLED IN CLOTHES CLOSETS SHALL COMPLY WITH ARTICLE 410-8 C.E.C.

N. LIGHT SWITCHES MUST BE EFFECTIVELY GROUNDED.

O. ALL CLEARANCES FOR EQUIPMENT TO BE PER MANUFACTURER'S LISTINGS OR PER SECTION 304 C.M.C. AND TABLE 3-A C.M.C.

OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES AND MUST BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND ONE OF THE FOLLOWING:
P. I. PHOTO-CONTROL AND MOTION SENSOR

P.2. ASTRONOMICAL TIME CLOCK P.3. ENERGY MANAGEMENT CONTROL SYSTEM

EXHAUST FANS AND HOODS TO VENT DIRECTLY TO AND TERMINATE AT THE EXTERIOR. TERMINATION POINTS SHALL NOT BE LESS THAN 3 FEET FROM ANY OPENING THAT ALLOWS AIR ENTRY INTO THE OCCUPIED PORTIONS OF THE BUILDING. TERMINATORS TO BE EQUIPPED WITH BACK-DRAFT DAMPERS.

BATHROOM EXHAUST FANS SHALL BE CAPABLE OF PROVIDING 50 CFM AND SHALL BE HUMIDITY CONTROLLED PER CMC CHAPTER 4 AND CALIFORNIA GREEN BUILDING STANDARDS CODE CHAPTER 4. DIVISION 4.5.

FOR KITCHEN, BATH AND OTHER EXHAUST FANS, SIZE THE DUCTS PER ASHRAE 62.2, TABLE 7.1 OR TABLE 4.9 OF THE 2008 RESIDENTIAL COMPLIANCE MANUAL.

INTERMITTENTLY OPERATED LOCAL EXHAUST FANS (KITCHEN, BATH, ETC.), SHALL BE RATED AT 3.0 SONES OR LESS.

ALL NEW SMOKE DETECTORS SHALL BE INTERCONNECTED, PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. SMOKE ALARMS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R314 AND N.F.P.A. 72.

ALL SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.

SMOKE DETECTORS SHALL BE LISTED IN ACCORDANCE WITH UL 217. IN EXISTING CONSTRUCTION, SMOKE DETECTORS THAT NO LONGER FUNCTION OR ARE OVER 10 YEARS OLD SHALL BE REPLACED.

ALL NEW CARBON MONOXIDE ("CO") DETECTORS SHALL BE INTERCONNECTED. PERMANENTLY WIRED AND SHALL HAVE A BATTERY BACK-UP. BATTERY OPERATED ALARMS MAY BE USED IN EXISTING AREAS OF THE BUILDING WHERE THE INSTALLATION OF PERMANENTLY WIRED ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES. CARBON MONOXIDE DETECTORS WILL BE INSTALLED ACCORDING TO THE 2016 C.R.C. SECTION R315. CARBON MONOXIDE DETECTORS SHALL BE COMPLY WITH UL 2034, UL 2075 AND/OR

ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.

ALL LUMINARIES IN ALL OTHER ROOMS NOT MENTIONED IN THE NUMBERED NOTES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF SWITCH IN ADDITION TO A VACANCY SENSOR OR DIMMER.

EQUIPMENT NOTES

HIGH EFFICIENCY CENTRAL FURNACE TO BE A GAS FIRED APPLIANCE BY: "BRYANT", MODEL: 311JAVO24045, OUTPUT: 35,000 BTUH, OR EQUIVALENT. .80 AFUE. FURNACE LOCATED IN ATTIC. PROVIDE A SWITCHED LIGHT, ELECTRICAL OUTLET AND FUEL GAS STUB-OUT. PROVIDE A PASSAGEWAY AND UNOBSTRUCTED WORK SPACE IN FRONT OF THE UNITS INSTALL PER SECTIONS 304, 309, 319 AND 708 C.M.C. REFER TO ENERGY COMPLIANCE SHEETS FOR APPLIANCE SPECIFICATIONS. PROVIDE A 3/4" CONDENSATION LINE FROM UNIT TO DRAIN BELOW.

CONDENSER UNIT: 15 SEER, 3 TON. PROVIDE LEVELING PAD AND 220V GFI DISCONNECT FOR CONDENSER UNIT. PROVIDE A 1 10V SERVICE OUTLET WITHIN 25 FEET OF CONDENSER UNIT.

HIGH EFFICIENCY GAS FIRED TANK-LESS WATER HEATER APPLIANCE BY: "NORITZ", MODEL: NRC-661-DV-NG, OR EQUIVALENT. .91 ENERGY FACTOR.

PROVIDE A WHOLE HOUSE INDOOR AIR QUALITY (IAQ) VENTILATION SYSTEM. AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL FYHALIST VENTUATION SYSTEM SHALL BE INSTALLED IN FACH BATHROOM WITH A BATHTUB. SHOWER OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHEN BASED ON KITCHEN VOLUME. REFER TO "POWER / LIGHTING NOTES" "Q", "R", "S" AND "T" FOR ADDITIONAL INFORMATION.

SHEETS

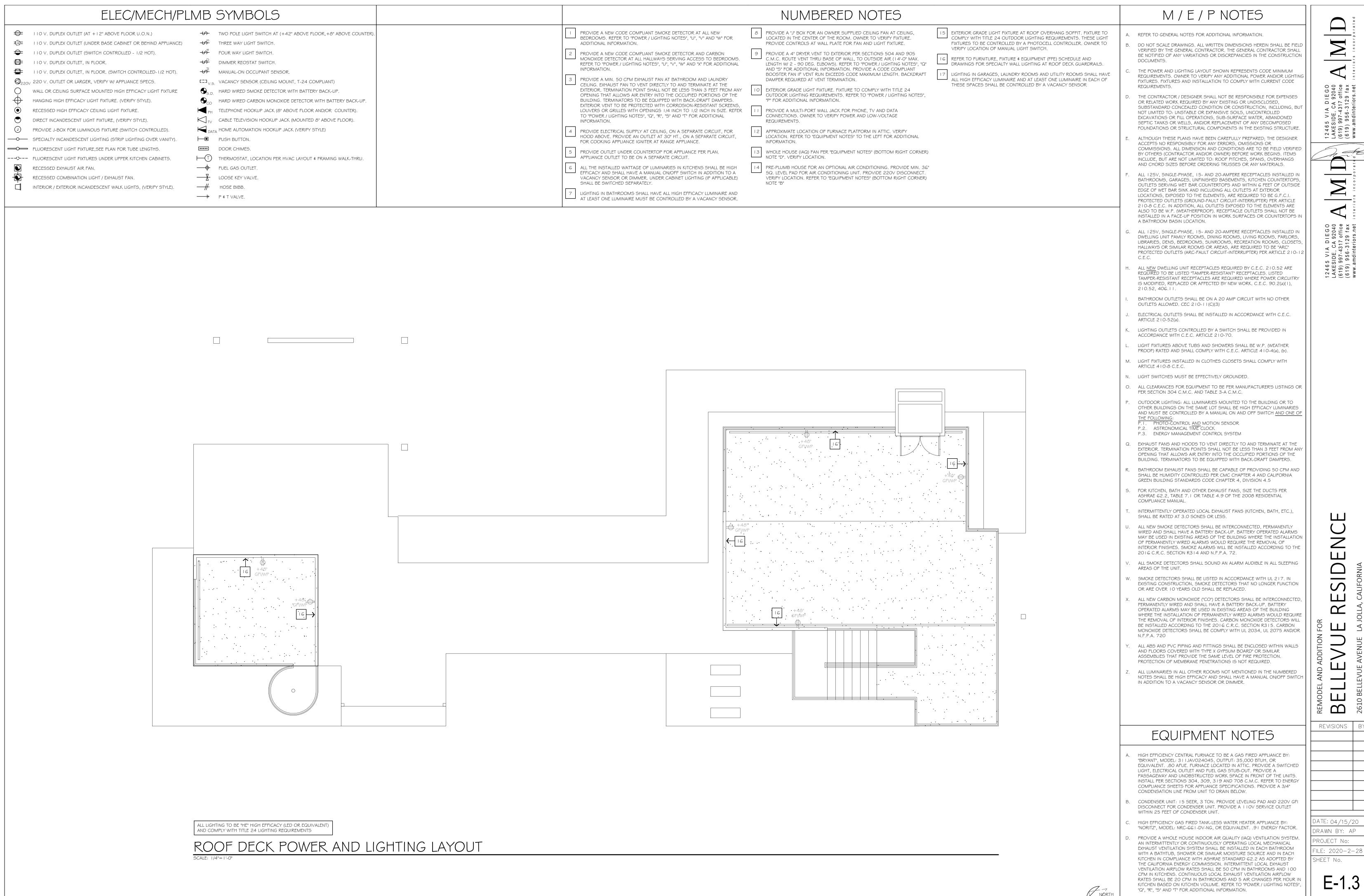


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REVISIONS

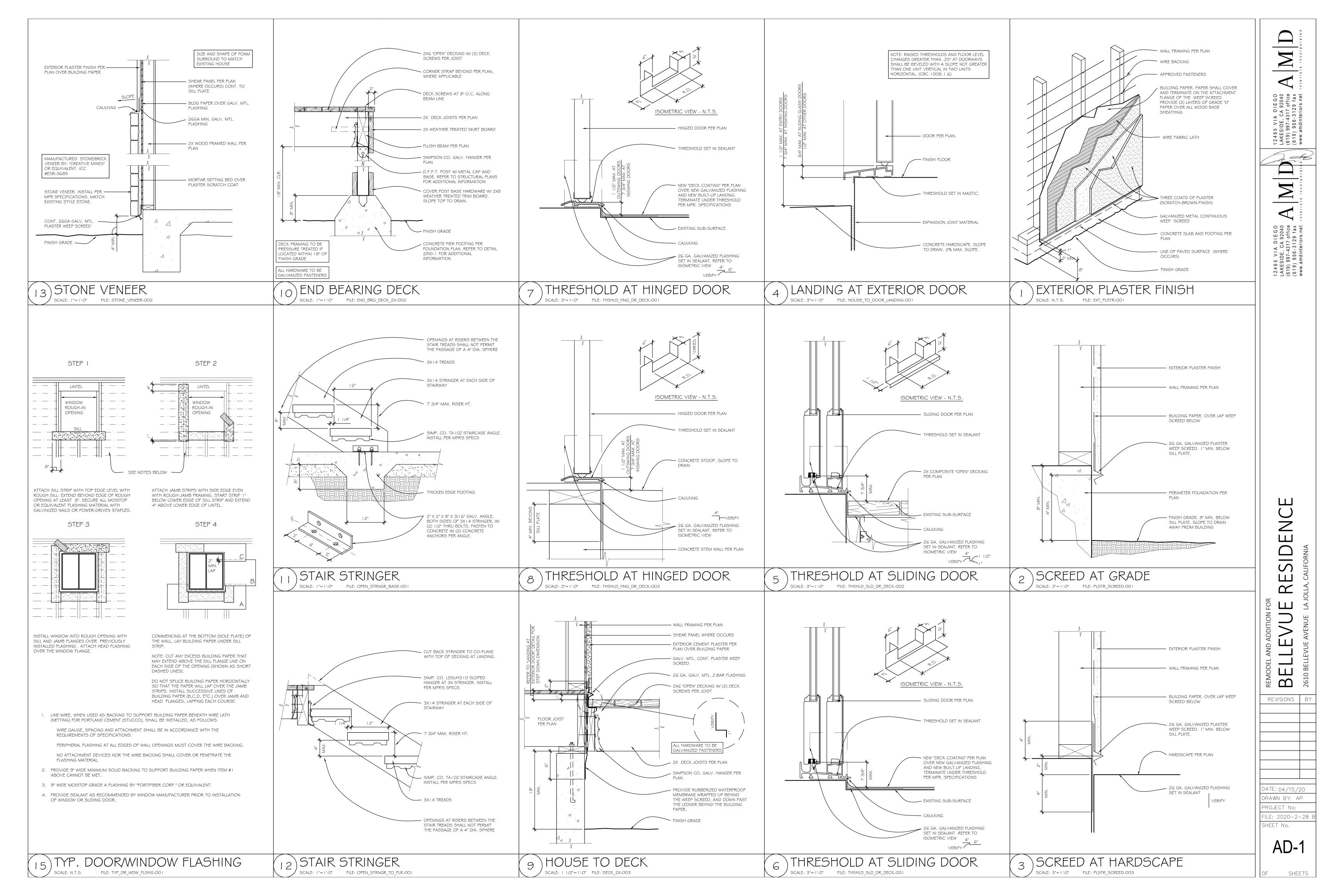
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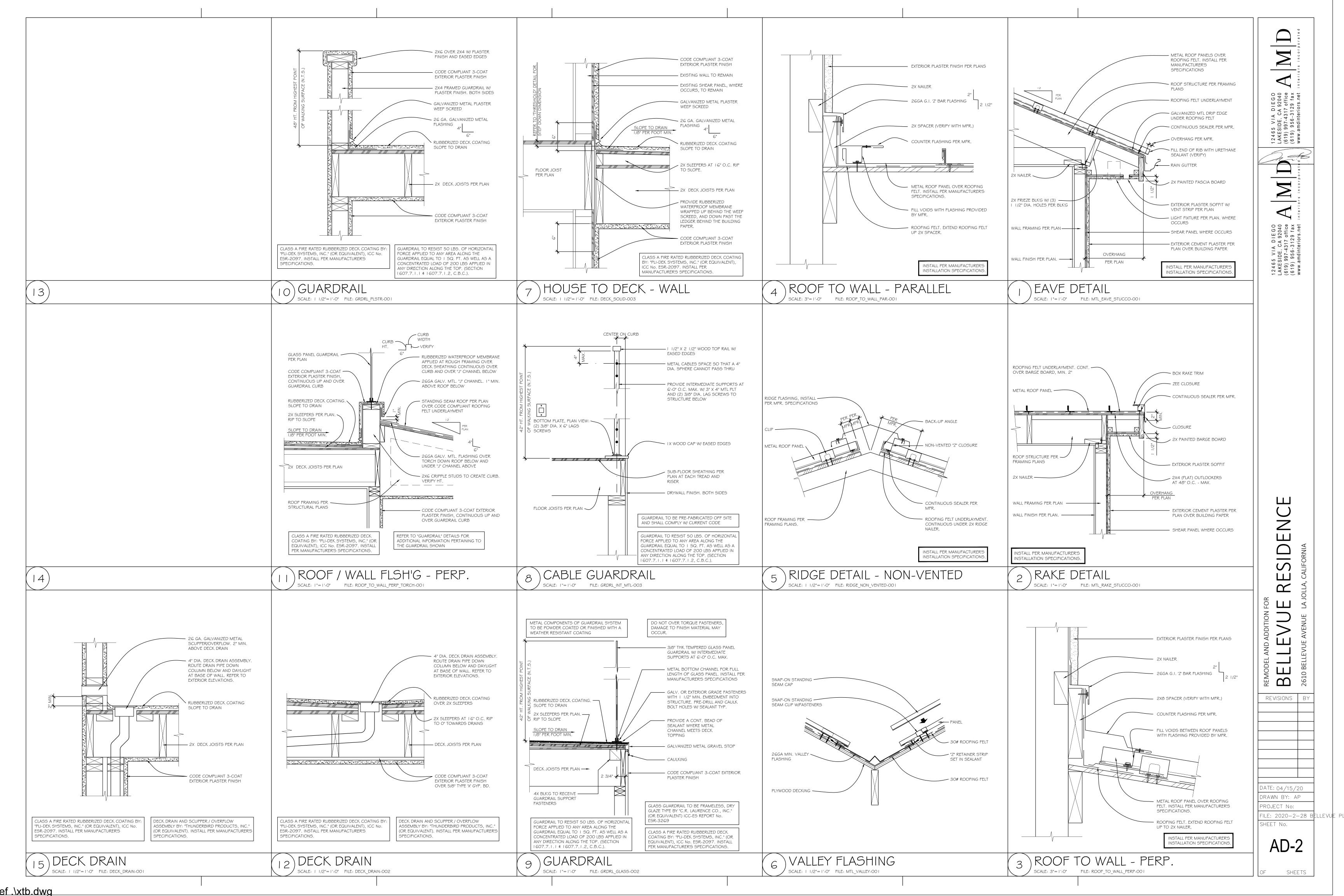
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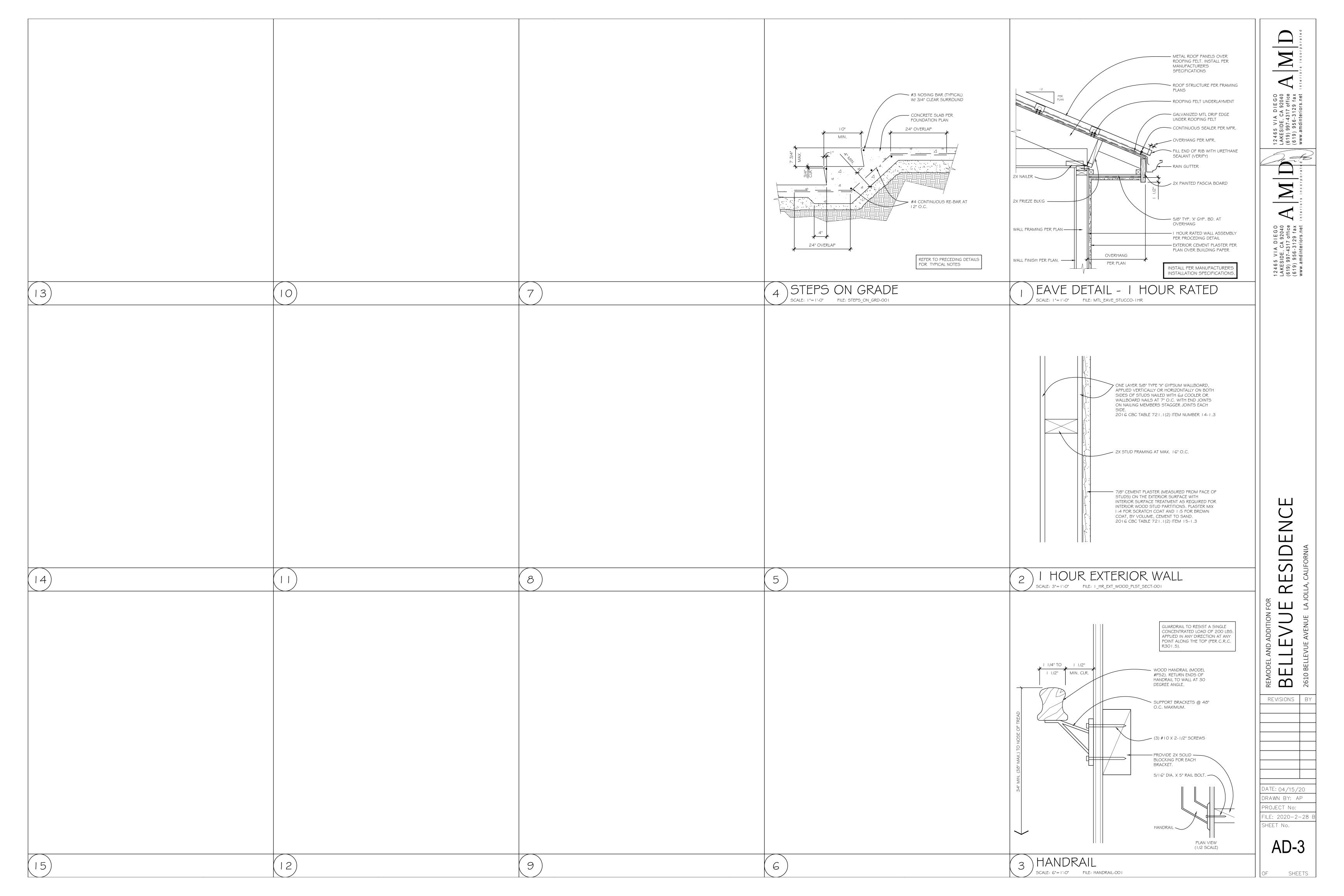


SHEETS

TRUE NORTH SHOWN DASHED '







2. All work performed shall comply with these general notes unless otherwise noted on plans or in written specifications.

3. Each subcontractor shall make field measurements necessary for his own work and be responsible for accuracy. Whenever the existing conditions of the premises or stage of construction may have a bearing on the expeditious performance of his work, the subcontractor shall visit the construction are and personally inspect the premises for comparison with the pertinent section of the drawing. No allowances can subsequently be made on behalf of a subcontractor for errors due to his unfamiliarity with existing actual site and construction conditions which affect his work.

4. All work shall be performed in a workmanlike and expeditious manner. Each subcontractor shall inspect the construction prior to starting his work. Any discrepancies in the drawing and/or actual construction conditions or unsatisfactory workmanship in the existing construction which may affect the workmanship of this subcontractor shall immediately be brought to the attention of the owner/and/or designer in writing. Acceptance of existing construction conditions shall be evidenced by each subcontractor who begins his work.

5. Chemical portable toilets shall be provided at the job site at the start of construction, unless other arrangements are made with the owner to use existing facilities. Contractor and subcontractors are responsible to keep facilities clean at all times.

Notes and details on the drawings shall take precedence over these general notes in case of conflict. The Designer shall in no way be responsible for how the field work is performed, safety in, or about the job site, methods of performance or timeliness in the performance of the work.

8. Scope: All trades shall furnish all labor, equipment, materials and perform all work necessary, indicated, reasonably inferred, or required by code within jurisdiction, to complete their scope of work for a complete and proper finished job.

9. Intention: The intention of the document is to include all labor, material, equipment and transportation necessary for complete and proper execution of the work.

10. Permit: The general building permit and plan check fee shall be secured and paid for by the Owner. All other permits shall be taken out and paid by the subcontractor directly responsible, if not secured by the Owner prior

II. Substitution: No substitution shall be made without the Owner's and/or Designer's approval. 12. Changes: The Owner may order extra work or make changes by altering, adding to, or deduction from the work, the contract sum being adjusted accordingly. 13. Cutting and Patching: All trades shall do their own cutting, fitting, patching, etc., to make the several parts come

together properly and fit it to receive or be received by work from other trades. 14. Clean-up: All trades shall, at all times, keep the premises free from accumulation of waste materials or rubbish caused by their work, and at the completion of the work shall remove all rubbish from and about the building and all their tools, scaffolding and surplus material and shall leave their job broom clean, including: removing all labels, stickers, paint smears, etc., from lighting fixtures, glass surfaces, finish hardware, cabinets, counter tops,

Division 2 SITE WORK

1. All site work, grading, cutting, filling, compaction, etc., shall conform with the Soils Engineer recommendations. Any deviation from these recommendations are the sole responsibility of the contractor. All finish exterior grades around the perimeter of the building shall slope away from the building to proper means of disposing of all rain waters. Provisions shall be made for soil erosion and storm water control. In the absence of a special soils investigation, the allowable soil bearing value is assumed to be 1,000 P.S.F. in accordance with Chapter 18, C.B.C., current edition.

2. Scope: The work consists of furnishing all labor, equipment, materials and performing all operations necessary for all earthwork. The contractor shall be responsible for the accuracy of all work. 3. Excavations: Finish excavations for foundations shall be clean and true to line with level bottoms. All loose material shall be removed from excavations.

4. Fill and Backfill:

1. All trades shall backfill own trenches, except concrete contractor will backfill all plumbing/heating trenches that

occur within house periphery. Material shall be free from debris, vegetable matter and other foreign substances.

Backfill for pipe trenches shall be compacted on both sided of pipe in 6 inch layers. 4. Do not fill behind any retaining walls until the walls have reached its design strength.

5. Extend all footings into undisturbed natural soil or into compacted fill to depths shown on the plans.

5. See additional notes on site plan.

Division 3 CONCRETE

1. Scope:

a. Excavation for all footings and foundations. b. Finish grading under concrete slab.

c. Construction for all forms of concrete work.

d. Furnishing and placing of concrete for mass, reinforced concrete and concrete slabs, interior and exterior. f. Removal of forms and cleaning of material, forms, stakes, and scrape to be removed from the site upon stripping

2. Concrete shall have minimum compressive strength of 2,500 PSI at 28 days and shall be composed of(I) one part cement. (3) three parts sand, (4) four parts of I maximum size rock, and not more than 7 1/2 gallons of water per sack of cement. Design Mix: 2,500 PSI at 28 days. Ready Mix Concrete: ASTM C 94

3. Concrete slab on grade shall be a minimum of 4" thick w/6" x 6", 10/10 wire mesh and 6 MIL Visqueen vapor barrier sandwiched in middle of 4" sand base, unless otherwise noted per foundation plan. 4. Treated Wood: All foundation plates or sills and sleepers on a concrete slab, which is in direct contact with earth,

and sill which rest on concrete or masonry foundations, and wood joists closer than 18", or wood girders or supports closer than 12" to the ground shall be pressure treated wood or foundation grade redwood.

5. Anchor Bolts and Footing Sills: All footing sills shall have full bearing on the footing wall or slab and shall be bolted to the foundation with 5/8" x 10" bolts embedded at least 7" into the concrete or reinforced masonry or 15" into unreinforced grouted masonry. Bolts shall be spaced not be exceed 48" on center with bolts not over 12" from cut end of sills. (Sec. 1806.6) unless otherwise noted per foundation plan.

6. Reinforcing Steel: ASTM A 615, Grade 40, intermediate grade deformed bars. 7. All flatwork to be 4" nominal thickness, unless otherwise noted on the plans.

8. Holdown and purlin anchors to be located and wired in place prior to calling for foundation inspection.

9. Raised Floor Foundations: a. Provide a minimum 18" x 24" crawl hole for under floor access.

b. Under floor vents: under floor areas shall be ventilated by openings in foundation walls. Wall openings shall have a net area of not less than 1 1/2 sq. ft. for each 25 linear feet of exterior wall. Openings shall be arranged to provide cross ventilation and shall be covered with corrosion-resistant wire mesh of not less than 1/2" nor more than 1/2" any dimension. (Section 2317.7 C.B.C., Current Edition)

Division 4 MASONRY

1. All masonry shall comply with requirement of Chapter 21 of the C.B.C. (Current Edition) 2. Fireplaces shall conform to Chapter 31 of the C.B.C. (Current Edition)

a. Furnishing and install all brick masonry units.

b. Furnishing and installing all concrete masonry units. c. Reinforcing steel. d. Moisture protection.

a. Mortar: Type S, consisting of one (1) part cement, one-half (1/2) part lime putty, and four and one-half (4 1/2) parts sand, by volume (28 day compressive strength shall be equal to 1800 PSI). Shall conform with C.B.C.

b. Brick: Brick type to be verified with Owner and shall conform to ASTM C-62 or ASTM C-216. c. Block: Concrete block shall be grade "A" units per ASTM C-90 with deepcut bond beam units at all horizontal

d. Water: Clean and free in injurious amounts of acids, alkalis, salts or organic materials.

e. Grout: By volume shall be one (1) part Portland cement, three (3) parts sand; and two (2) parts pea gravel. (28-day compressive strength shall be equal to 2,000 PSI.)

f. Reinforcing Steel: Grade 40 unless specified otherwise. q. Moisture Protection: Waterproof membrane at planters and at required retaining walls, shall be Flint-kote

Waterproofing system or approved equal. Verify with Designer or per notes on plans.

ef .\xtb.dwa

Execution:

a. Brick: Shall be laid in pattern designated on drawings. b. Block: Shall be laid in common bond on pattern with 3/8" raked mortar joists.

c. Reinforcing Steel: Embedded steel shall be free of old mortar, oils, mill scale and other encrustation or coatings that might reduce bond. All cells containing reinforcement shall be filled solid with grout.

d. Vertical Reinforcement: Shall be centered in wall and shall be tied or otherwise secured in position at intervals of

not more than 192 diameters, and at top and bottom. e. Brick masonry and stone veneer shall not exceed 5" maximum in thickness and shall not be assumed to add to the strength of any wall. Anchor ties shall be corrosion-resistant and made of sheet metal, a minimum size of No. 22 gauge by I" wide. Anchor ties to each stud at 16 inch on center or spaced as to support not more than 2 square feet of wall area but not more than 24 inches on center horizontally. Provide No. 9 gauge wire, continuous horizontal joint reinforcement attached to anchor ties per C.B.C. standards, Section 1403.

Division 5 METALS

a Realstered Inspector.

1. Reinforcing Steel. The reinforcing steel used in construction of reinforced masonry or concrete structure shall be deformed and comply with ASTM Spec. A615-74a, Grade 40.

2. Chimney shall be flashed and counter flashed along all intersections to building structure with 26 gauge galvanized 3. Fabrication and erection shall be in accordance with standard practice of American Institute of Steel Construction,

4. Base plate shall be bedded in 3/4" drypact grout, or per plan.

5. Machine bolts shall conform to ASTM A-307. No bearing on threads shall be permitted. Bolt holes shall be 1/16" 6. All structural steel shall conform to ASTM A-36 or equivalent except that all pipe columns and structural tubing shall

conform to ASTM 501. Fy=36KS 7. All anchor bolts shall conform to ASTM-307. See drawings for size, material and attachments.

8. All welds to be ground smooth and shop primed and all exposed ferrous and galvanized metals to be painted after cleaning with shop coat or red lead paint. 9. All field welding shall be performed by certified welders using E-70 electrodes and shall be continuously inspected by

10. All sheet metal shall be 26 gauge galvanized steel ASTM 93-38 unless noted otherwise. All items to be shop primed

if exposed to weather a. Sheet metal flashing in connection with siding and roofing, include valley flashing, diverters, all roof to wall

b. All required venting for exhaust fans, dryers, kitchen hoods and exhaust systems.

11. Metal connectors: Approved by the local building department. Simpson Strong-Tie ICBO #1746, 1211, 1258.

Division 6 ROUGH AND FINISH LUMBER

1. Scope: Furnish all rough and finish lumber of whatever nature to complete the building, per plans. 2. Lumber. All joists, rafters beams and posts 2" to 4" thick shall be No. 2 Grade Douglas Fir-Larch or better. All posts and beams 5" and thicker shall be No. I Grade Douglas Fir-Larch or better. All framing members shall be grade

a. Framing Lumber: W.C.L.A. "Standard Grading and Dressing Rules for West Coast Lumber #16." b. Plywood: "American Plywood Association." Graded per PSI 66. Also see framing plan for grade of plywood.

4. All wood in contact with concrete or masonry which is in direct contact with earth shall be foundation grade Redwood or pressure treated Douglas Fir-Larch.

5. Wall Bracing: Every exterior wood stud wall # main cross-stud partition shall be braced at each end at least every 25 feet of length with 1 x 6" diagonal let-in braces or equivalent. C.B.C. Section 2326.11.3, Table 23-I-W or per plan. 6. Provide solid blocking at ends and at supports of floor joists, rafters, at exterior walls per C.B.C. Section 2326.8.6.

Provide solid blocking at ridge line and at exterior walls on trussed roofs. Per C.B.C. Section 2326.12.8. 8. Rafter purlin braces to be not less than 45 degrees to the horizontal. Per C.B.C. Section 2326.12.7.

9. Rafter ties: Rafter ties shall be spaced not more than 48" on center where rafters and ceiling joists are not parallel. 10. Provide double 2X top plate with minimum 48" lap splice with butt joints occurring over studs.

11. Nailing will be in compliance with C.B.C. table 23-I-Q (nailing schedule) 12. Fire blocking shall be provided for walls over 10'0" in height.

13. All interior openings 4'0" wide or less shall have minimum header of 1-4x4 or 2-2x4 on edge. 14. Not less than three (3) studs shall be installed at every corner of an exterior wall.

15. Foundation plates/sills shall be bolted to foundation at perimeter of building and/or elsewhere if indicated on construction documents. There shall be a minimum of two (2) anchor bolts per piece with one (1) anchor bolt located within 12" of each end of each piece.

16. Foundation plates shall be bolted per requirements listed on foundation plan.

a: Floor Sheathing: Unless otherwise noted, use 5/8" CDX plywood (interior grade with exterior glue) index #40/20 tongue and groove underlayment (unblocked) with 10d box nails (or approved gun nails) at 6" edge and 10" field. Gluing along floor joists and plywood T st G grooves shall be P.L. 4000 as manufactured by B.F. Goodrich or equal value. Plywood shall be nailed before glue has lost its life or hardened.

b: Roof Sheathing Unless otherwise noted, use $\frac{1}{2}$ " CDX plywood (interior grade with exterior glue) index # 40/20 with 8d nails (or approved gun nails) at 6" o.c. at edges and 12" o.c. field. Plywood floor sheathing to be laid continuous over two or more spans with fact grain perpendicular to supports (unless otherwise shown). Stagger all plywood panels a minimum of 2'-0".

18. Interior Wall Plates: Approved shot-pins 32" o.c. "Ramset" (3/16 Shank) ICBO#1639 unless otherwise noted. 19. Resawn beams to be free of all knots and shall be of "All Heart Center"

20. Resawn fascia and trim to be "select D.F." 21. All joists headers, beams and rafters shall have a minimum of solid bearing of 11/2" at each end per C.B.C.

22. Provide A.I.T.C. certificate of compliance for all glue-laminated wood framing members. Certificate shall be given to the Building Inspector prior to installation. C.B.C. Section 2305.

Division 6A ROUGH CARPENTRY

1. Scope: Laying out work, building rough frame of structure, sheathing, siding, shear panels, all 2X and thicker resawn trim, etc. Furnishing and installing all rough hardware, nails, bolts, straps, hangers, anchors, etc. plus furnishing and ınstallıng soffit and garage vents as well as Z-bar, "L" metal and other metal flashıng that must go on under siding materials. All these sheet metal items shall be code approved and primed.

a. Stud walls: All studs to have full bearing on plate and sill. Per C.B.C. Section 2326.11.

b. Blocking and Bridging:I. Stud Walls: C.B.C. Section 2326.11

Joist and rafters: C.B.C. Section 2326.8 and Section 2326.12.1. Fire Stopping: C.B.C. Section 708.

c. Headers: Set all headers and beams with crown up. C.B.C. Section 2326.11.1. d. Provide double top plate with minimum of 48" lap splice C.B.C. Section 2326.11.2.

Provide double joists under all parallel partitions. Provide fire blocking at floor, ceiling and intermediate if required (10" long maximum spacing, horizontal and

g. Provide 1x6 let-in braces at each 25 lineal feed of exterior wall and at each corner, whenever possible. Provide braces at all main cross stud partitions. Let-in to cross minimum of 4 feet, unless otherwise noted per plan. h. Non-bearing walls laterally unsupported shall be framed with continuous wood studs

with size determined as follows: 2x3 Studs 10'-0" Maximum Height 2x4 \ 3x4 Studs | 14'-0" Maximum Height

2x6 Studs 20'-0" Maximum Height All bolt holes in wood shall be the same size as nominal bolt size. All bolts to be re-tightened prior to application of sheathing. Bolts, lag screws and misc. iron fittings shall be of ASTM A7 grade steel, unless noted on plans. Temporary safety railing, shall meet current OSHA requirements to be installed at all stairways, balconies, etc.

Stair stringers to be furred out from adjacent wall with a 2x to receive gypsum board and skirt board. Allow a minimum of one stud and one trimmer (3") at each cased door opening - for clearance of side casing. Unless noted otherwise in plans.

m. All "cutouts" and "furr downs" to be made as required for heating/plumbing/electrical. n. Install all 2x resawn ext. trim "A" grade Western Red Cedar. Verify with plans. o. Scrap out house (prior to other follow-up trades), placing scrap wood into one or two piles at near front of

ouilding site, out of the way of other trades. p. Carry "forward" all usable materials. Beams and exterior trim may be temporarily stored and stacked in garages provided it does not block work of other trades.

Division 6B FINISH CARPENTRY

a. Furnish and install all interior and exterior doors and door frames.

b. Furnish and install all interior door trim. c. Furnish and install all finish hardware (except cabinet hardware) including towel bars, paper holders, medicine cabinets, etc. fasteners included (plastic not acceptable.)

d. Stair handrails and trim. e. All related items shown on drawings unless otherwise noted.

a. As shown on drawings or noted in related section of the specifications.

Division 6C CABINETRY

1. Scope: To furnish and install cabinets as designated on drawings, standard cabinet construction as defined by W.I.C. (WESTERN INSTITUTE OF CALIFORNIA).

2. Description

a. Cabinet drawer and door styles per owner's selection. b. All drawers to have steel alides with hylon rollers.

c. All doors to have self-closing pin hinges and felt bumper pads, unless otherwise specified.

Division 7 THERMAL AND MOISTURE PROTECTION

I. Provide wall and ceiling insulation as noted and shown on drawings. 2. Provide R-I2 or greater insulation wrapping on storage type water heaters: and R-3 insulation wrapping on first 5

feet of piping in unconditioned space, unless noted otherwise. 3. Wood Siding: All wood siding shall be placed over an approved, weatherproofing barrier, (I layer 15# felt). 4. Flashing Around Openings. Every opening in any exterior wall shall be flashed with sheet metal or waterproof

5. Weep Screed: A weep screed shall be provided at or below the foundation plate line for all exterior stud walls finished on the exterior with stucco. The screed shall be placed a minimum of 4 inches above grade.

6. Building Paper: C.B.C. Section 1402.1. Vertical laps at all corners - minimum of 1 stud space. 7. Cover wood framing at tubs and showers with one (1) layer of 15 lb. waterproofing felt. Provide metal lath and waterproof cement plaster where fiberglass units are not used, or Durock interior cement board by U.S. Gypsum Co., unless noted otherwise.

a. R-13-3 1/2" batt insulation in all exterior walls or heated space, unless noted otherwise.

b. R-19 - 5 1/2" batt insulation in raised wood floors, plumbing supply or drain lines, unless noted otherwise. c. R-30 - 9" batt insulation in flat and sloping ceilings where indicated, unless otherwise noted.

Division 8 WOOD DOORS

1. Materials:

a. Exterior Doors: I 3/4" solid core hardboard if not otherwise noted on plans. These doors to all have metal door bottom (weather stripped and drip strip.) Jambs to be one piece construction with vinyl stripping in door stop. All to be flashed with sisal craft paper.

b. French Doors: Shall be I 3/4" vertical grain Douglas Fir with wood sill and door stop vinyl weatherstripping. Jambs and flashing as above. (See plan for style of french door ie. 10 light, single light.) c. Interior Doors: I 3/8" hollow core hardboard. See plan for decorative and special doors.

d. A door at the common wall between the dwelling and garage shall be 1 3/8" thick and solid core with a self closure device, of a listed 20 minute assembly.

Division 8A WINDOWS AND SLIDING DOORS

I. Sliding and operable windows: Shall comply with AAMA Specifications HA-AI complete with rigid aluminum box framed fiberglass screens or of equal.

a. Aluminum Windows: See window schedule and notes for aluminum window manufacturer and specifications, or to be selected by owner.

b. Wood Windows: See window schedule and notes for wood window manufacturer and specifications, or to be selected by owner.

2. Sliding doors: Shall comply with AAMA Specifications SGD-A2-H, complete with rigid aluminum box framed fiberglass screens. Doors to be glazed with tempered glass. 3. All manufactured doors and windows to meet ANSI Air Infiltration Standards and be so labeled. Doors and windows

to be fully weather stripped and openings caulked and sealed. 4. All new glazing (fenestration) in manufactured frames shall be installed with a certifying label attached, showing the

Division 8B GLASS/GLAZING AND MIRRORS

I. Glass and Glazing: C.B.C. Chapter 24 as amended , and Flatglass Jobber's Association "Glazing Manual." Draw line in sheet glass to be horizontal. Glass wood frame and stops to be back primed prior to glazing.

2. Mirrors 3/I 6" float plate with polished edges. All mirrors to be provided and installed by the glazing contractor. Set in J bar and clip top, unless noted otherwise. 3. Glazing for shower and bathtub enclosures, (locations indicated on plans), to be fully tempered, laminated safety

glass, per C.B.C. section 2405, current edition, including widows within 5 feet of the tub or shower floor. 4. All glass less than 18" above adjacent walking surfaces, shall be tempered glass, per C.B.C. section 2406.4. 5. Where the nearest edge of glazing is within a 24" arc of either side of a door in a closed position shall be tempered

glass, (unless there is an intervening wall between the door and the glazing or if the glazing is 5'0" or higher above the walking surface) per C.B.C. section 2406.4. 6. All sleeping rooms below the fourth floor to have one window with net clear openable area not less than 5.7 square feet with width not less than 20". Sill height of 44" maximum is required above finish floor. C.B.C. section 310.4.

DIVISION 8C HARDWARE

1. Rough Hardware: Metal supports, angles, plates, attachments, FHA straps, post and beam brackets, joist hangers, bolt welding shop priming and grinding to be supplied and installed by the rough framing contractor as required to

2. Finish Hardware: As specified by the Owner, furnished and installed under finish carpentry.

Division 9 FINISHES - WALL AND CEILING COVERINGS

1. Scope: This Contractor shall provide and install all gypsum wallboard in the entire spirit of the drawings including special details, furring, beading, casing, etc., and notify the Owner and Designer of any work that is not true,

securely fixed, or properly installed before commencing work. 2. Gypsum board and stucco shall conform to Chapter 25 of the C.B.C. Stucco shall be applied over waterproof paper backed wire or metal lath or 3/8" rib lath over one (I) layer I5 lb. asphalt saturated paper. Interior plaster shall be 3/4" thick applied over 1/2" gypsum lath and interior paper.

3. Interior Walls and Ceilings: "Manual for Dry Wall Construction" by the California Dry Wall Contractor's Association.

a. Two hour walls: 2 layers 5/8" type "X" Gypsum wallboard.

b. One hour ceilings: USG 1/2" Fire code "C" wallboard with 5d cooler nails @ 6" o.c. c. Tile to be backed with 1/2" water resistant (wr) gypsum board. d. Tile in wet areas (bathtubs and shower enclosures) to be backed with 1/2" cement board over 15# felt. d. Garage require one hour occupancy separation from the rest of the dwelling, therefore, provide 5/8" Type "X" Gypsum board at walls adjacent to living areas and to ceiling area below second floor on the garage side of the

common wall between dwelling and garage. Tape all joints and firewall shall be continuous to roof sheathing if one story. Also the continuous firewall shall be installed behind water heater and FAU prior to construction of raised platform, if applicable. e. Protect all exposed wood, masonry, sliding doors and windows from over spray.

f. Finish: All ceilings and walls to be finished with a "Orange Peel" texture approved by Owner and Designer, unless otherwise noted. g. "Scrap Out" and cleanup to be promptly done. Wall scrapings and ceiling corner scribing to be done as soon as

areas are absolutely dry. h. Interior walls with wood paneling shall be installed over gypsum board.

Division 9A FINISHES - RESILIENT FLOORING, FLOORING ETC.

for this installation shall be promptly replaced with completion of floor, by this Contractor

1. Scope: Provide and install all resilient flooring as noted on drawings and installed per manufacturer's directions. Sand, fill and otherwise prepare floors for installation as required. 2. Material: Sheet vinyl, carpeting and wood flooring as selected by Owner. With minimum seams. Any base removed

Division 9B FINISHES - CERAMIC TILE

1. Scope: Provide and install all ceramic tile as noted on drawings and installed per Tile Council of American Specification. (Tile selection Owner.)

2. Kitchen and bath counter tops and backsplashes to be selected by Owner and installed per manufacturer's

Division 9C FINISHES - PAINTING

. Scope: All labor and materials for complete painting of entire work per Owner's color schedule to follow or per plans.

2. Exterior Trim and Siding: Verify with Owner.

recommendation

3. Exterior Doors: Verify with Owner. 4. Walls and ceiling: All other rooms - one (1) coat primer - two (2) coats to cover.

5. Cabinets: One (1) coat oil stain and three (3) coats lacquer for stained cabinets, or one (1) coat primer - two (2) coats semi gloss to cover for painted cabinets. (Wood cabinets only.) 6. Exterior vents, flashing, etc.: One (I) coat primer, two (2) coats exterior enamel to match background color

verify with Designer. 7. All registers, grills, vents, etc. to be painted to match adjacent surfaces.

Division 10 SPECIALTIES

I. Attic access shall be 22" x 30" min. clear opening and match adjacent ceiling finish. Access is not required when the clear height of the attic space, measured at the roof peak is less than 30" high

2. Shower wall enclosures must be finished to a height of 70 inches above the drain inlet with a smooth, hard, nonabsorbent surface.

3. Fireplaces:

a. See plan for location and type style, see notes for manufacturer and ICBO numbers, if applicable. b. Masonry and factory-built fireplaces must have tight fitting, closeable metal or glass doors covering firebox openings. Combustion air intake ducts are required (6 sq. in. minimum) with tight fitting dampers. Tight fitting flue dampers are also required.

Division I I EQUIPMENT

c. All masonry chimneys to have a cement cap.

1. Kitchen equipment - (N.I.C.) Owner provided or per plan

Division 13 SPECIAL CONSTRUCTION

1. Solar Systems: recommended only, not required. a. System one: (I) 4x8 "Archer" solar panel (arrow) with 52 gallon storage tank and ground mounting rack. b. System two: (3) 4x10 "Archer" solar panels with 120 gallon storage tank. Roof mounted.

Division 15 MECHANICAL/PLUMBING

Contractor shall guarantee all equipment for one (1) year.

1. Scope: Supply all labor, transportation, materials, etc., for installation of a complete gas-fired, forced-air heating system to operate according to the best practices of the trade including but not limited to furnace, ductwork, registers, thermostat, etc. All materials, work, etc., to comply with all requirements of all legally constituted public authorities having jurisdiction including all county and state ordinances.

4. All heating and cooling equipment shall conform to the requirements, and be certified by the California Energy 5. Thermostats must have automatic setback capability for two periods during 24 hours (N/A for heat pumps.)

Information on control and register operations shall be submitted to Owner for selection and approval.

6. Fans at bathroom and laundry rooms to exhaust five (5) air changes per hour. Provide backdraft dampers installed to prevent air leakage to all fan systems exhausting air from the building envelope.

7. Gas-fired appliances must have intermittent ignition device and be certified by the California Energy Commission. 8. All appliances (gas or electric) shall comply with C.E.D. Title 24. Equipment must have the California State Energy Commission's compliance seal attached for approval.

9. All duct and shafts shall be lined with 26GA sheet metal and draft stop at points of penetration through floors and ceilings and must comply with Chapter 10, C.M.C.

10. Vent clothes dryer per manufacturer's specifications (4" diameter min. vent) to outside air.

II. Fully prepare forced air systems for future air conditioning. Verify with designer and Owner. 12. FAU: Furnace to be C.E.D. approved, to be manufactured by "Day \$ Night," (or of equal value.) See plans for locations, model number and specifications. 13. Elements of appliances in garages which create a glow, spark or flame within 18" of garage floor shall be located

14. Provide 22" x 30" min. attic access where headroom of 30" or more is clear. (See Division 10 note 1) 15. Provide cross ventilation at enclosed attic and rafter spaces per 1/150 of area to be vented- or 1/300 provided that 50% of required ventilation area is provided by standard wall or roof ventilators continuous frieze blocking with 2

IG. All plumbing work shall conform to the most current adopted edition of the Uniform Plumbing Code and any other adopted local governing plumbing codes.

17. Plumbing fixtures: Installed by plumbing contractor as per Owner's fixture and fitting schedule. 18. All water lines, if above slab, shall be copper.

on an 18" high wood platform.

19. Provide air chambers at each lavatory and sink. 20. Provide water to refrigerator with valve, (copper line only.)

(two) 2" diameter galvanized iron screen holes.

21. Dielectric isolators as required - EDCA type FX, FBm or GX dielectric unions or equal. 22. Openings in pipe, drains and fittings shall be kept securely covered during construction. 23. All water closest (toilets) to be ultra low flow type pursuant to City Of San Diego, San Diego County Water Authority,

and C.E.D. Title 24 ($1\frac{1}{2}$ G.P.M.) Faucets, max. flow (2.2 G.P.M.). Shower heads, max. flow (2.5 G.P.M.). 24. Shower stalls shall be 2'-6" minimum in width or per plan. 25. Provide minimum clearance of 24" in front of and 30" in width for water closet compartment as per Section 2904

26. Water Heaters: To be C.E.C. Approved, gas-fired water heater, manufactured by "Rheem Energy Miser" (or equal value.) See plans for locations, model number and specifications.

a. Provide P \$ T valve with drain to exterior, routed from water heater unit 6" maximum

b. Insulation wrapping on exterior of storage type water heater (R-12 minimum.) c. Insulation wrapping of first five (5) feet of piping in unconditioned space (R-3 minimum.)

28. Provide trap access or solder joint for tubs. 29. State Health and Safety Code Sec. 17921.9 bans the use of Chlorinated Polyvinyl Chloride (CPVC) for interior

27. Provide a minimum of two (2) hose bibbs, (or per plans). Permanent vacuum breakers shall be included with all new

Division 16 ELECTRICAL

1. All electrical work to comply with most current edition of the National Electric Code (N.E.C.) and any other aovernina electrical codes 2. Scope: Supply all labor, transportation, materials, etc., for installation of complete electrical systems to operate according to the best practices of the trade and including but not limited to: fixtures, appliances wiring, switches, receptacles, T.V. jacks, services, grounds, junction boxes, conduit, subpanels, etc. All work, material, etc., to

comply with requirements of all legally constituted authorities having jurisdiction including all county and state ordinances.

3. House Service: 200 amp service maximum, unless otherwise noted.

Thermostats to be at 60" above finish floor. Verify per plans.

battery back-up. (C.B.C. section 310.9.1)

Kitchen counter or sink; dining table; bathroom mirror.

4. Separate Convenience Circuit: Provide for garbage disposal and dishwasher. Outlets: Outlets in or penetrating one-hour walls must be metal boxes or an approved equal. 6. Switched-Outlets: To be at 1/2 hot, per plan. 7. Switches - Thermostats: Switches to be at 42" above finish floor and quiet type approved by Owner.

8. Convenience Outlets: Other than kitchen, laundry and garage at 12" above finish floor. To be installed as shown 9. Exhaust Fans: To be furnished and installed as shown on drawings, switched separately and shall have damper 10. Smoke Detectors: To be furnished and installed per plan and permanently wired to electrical system, with a

II. Ground fault interrupter outlets to be provided in kitchen, all bathrooms, and garage including all outlets at exterior exposed to the elements. 12. A "UFER" grounder is to be provided, per Article 250.81 NEC. 13. General light in kitchen and bathrooms must provide 40 lumens per watt or more (e.g., fluorescent) exceptions:

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DATE: 04/15/20 DRAWN BY: AP

PROJECT No:

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|FILE: 2020—2—28 BELLEVUE PI

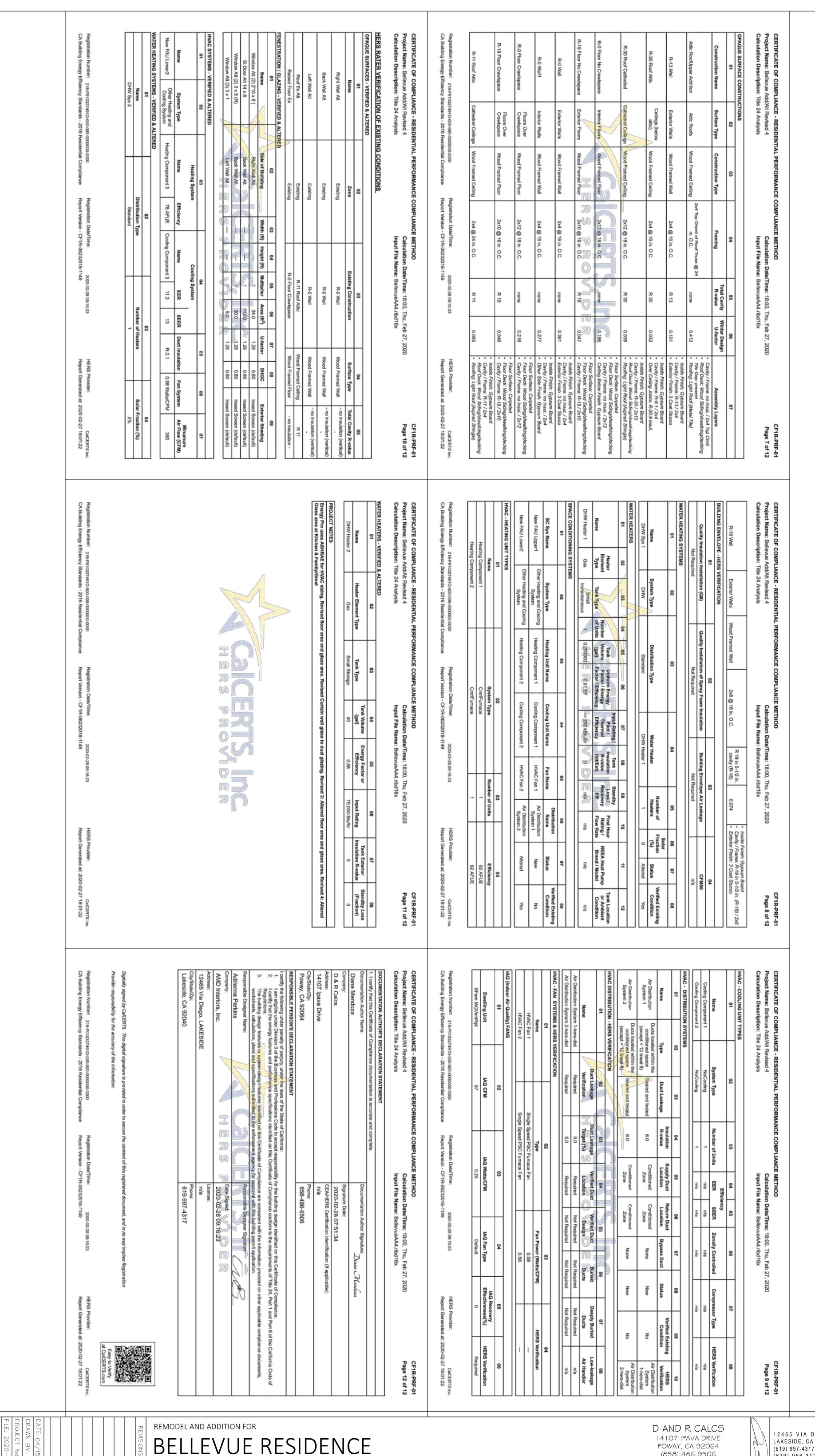
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2016 Low-Rise Residential Mandatory Measures Summary

§ 150.0(a): filed or installed must meet Standards for Insulating Material.

slab floors must be insulated per the requirements of § 110.8(g).

nce. The thermal emittance and aged solar reflectance values of the roofing installation of a cool roof is specified on the CF1R.

f 0.05 or less and be certified to the Department of Consumer Affairs.

f 0.05 or less and be certified to the Department of Consumer Affairs.

fon in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043.

in a refiter roof alteration. Attic access doors must have permanently attached access must be gasketed to prevent air leakage. Insulation must be installed in dto limit infiltration and exfiltration as specified in § 110.7, including but not limited in 10p of a drywall ceiling.*

framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-factor of 0.074 or assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a § 150.0(n)1: § 150.0G)2A:

cod framed floor or 0.037 maximum U-factor."

ine following: have a water absorption rate, for the insulation material alone without no greater than 2.0 permilinch; be protected from physical damage and UV light; meet the requirements of § 110.8(g).

In the crawl space must be covered with a Class I or Class II vapor retarder. This for buildings complying with the exception to § 150.0(d).

Is all vapor retarder must be installed on the conditioned space side of all

missimum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*

Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.

Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*

Flue Damper. Masonry or factory-built fireplaces must have a flue damper or combustion-air control device.*

Pilot Light. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.

Gertification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission."

HVAC Efficiency. Equipment must meet the applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K."

Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating."

Thermostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat."

Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loop connection requirements of §

was a constant.

§ 110.2(b):

§ 150.0(m)9:

§ 150.0(k)1G:

§ 150.0(k)1E:

§ 150.0(k)1D:

Porous Inner Core Flex Duct. Porous inner core flex duct must have a non-porous layer between the inner core and outer vapor barrier. Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)11 and Reference Residential Appendix RA3.

Air Filtration. Mechanical systems that supply air to an occupiable space through ductwork exceeding 10 feet in length and through a their conditioning component, except evaporative coolers, must be provided with air filter devices that meet the design, installation, efficiency, pressure drop, and labeling requirements of § 150.0(m)12.

2016 Low-Rise Residential Mandatory Measures Summary

Water piping and cooling system line insulation. Pipe for cooling system lines must be insulated as specified in § 150.0(j)2A. Distribution piping and cooling system line insulation. Pipe for cooling systems must be insulated as specified in § 150.0(j)2A. Distribution piping for steam and hydronic heating systems or hot water systems must meet the requirements in TABLE 120.3-A.

Insulation Protection. Insulation must be protected from damage, including that due to suright, moisture, equipment maintenance, and wind. Insulation Protection. Insulation exposed to weather must be installed with a cover suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. The cover must be water retardant and provide shielding from solar radiation that can cause degradation of the material.

Insulation Protection. Insulation covering childed water piping and refrigerent suction piping located outside the conditioned space must have a 120V electrical receptacle within 3 feet of the water heater; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btuhr.

Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.

Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC) or by a listing agency that is approved by the Executive Director.

2016 Low-Rise Residential Mandatory Measures Summary

ation airflow must be confirmed through field verification and diagnostic

§ 150.0(k)1A:

ed control.

sed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the require sed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the require set leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C. A JAB-d temperature must be installed by final inspection in all recessed downlight luminaires in ceilings.

In ceilings and sealings are sealings and sealings are sealings.

at fans must be switched separately from lighting systems.*
aires must be switched with readily accessible controls that permit the lumi

d meets all other requirements in § 150.0(k)2.

itches and Controls. An EMCS may be used to comply with vacan functions as a vacancy sensor according to § 110.9; the Installation diall other requirements in § 150.0(k)2.

itches and Controls. A multiscene programmable controller may be functionally of a dimmer according to § 110.9. ulliscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2. ts in § 150.0(k) if it meets all of the rds of § 130.4; the EMCS requirements of §

vue Add/Alt Revised 4 Supply Fan 900 cfm HVAC EQUIPMENT SELECTION
Bryant Heating & Cool 311JAV024070 Total Adjusted System Output (Adjusted for Peak Design conditions) TOTAL SYSTEM LOAD 359 0 1,521 ROOM ROOM 1,775

ROOM

T24-	SHEET No.	FILE: 2020-2	PROJECT No:	DRAWN BY: /	DATE: 04/15/	

75 / 62 °F

§ 110.10(b)3B:

§ 110.10(b)1:

§ 150.0(k)3C:

coupant sensor.

Buildings. In a low-rise multifamily residential building where the total interior the floor area, permanently installed lighting in that building must: 30.1, 140.6 and 141.0; and by occupant sensors that reduce the lighting power in each space by at least by fully on and off from all designed paths of ingress and egress.

dential parking garages for eight or more vehicles must comply with the 1.0, 130.1, 130.4, 140.6, and 141.0. uildings, in a low-rise multifamily residential building where the total interior oor area, permanently installed lighting for the interior common areas in that

otal Output (Tons)

TOTAL SYSTEM LOAD

rn Vented Lighting Return Air Ducts Return Fan Ventilation Supply Fan Supply Air Ducts

COIL HTG. PEAK
CFM Sensible

§ 150.0(k)3A:

2016 Low-Rise Residential Mandatory Measures Summary

vue Add/Alt Revised 4

§ 110.10(c):

REMODEL AND ADDITION FOR

D AND R CALCS 14107 IPAVA DRIVE POWAY, CA 92064 (858) 486-9506 diane@DandRCalcs.com www.DandRCalcs.com

12465 VIA DIEGO LAKESIDE, CA 92040 (619) 997-4317 office (619) 956-3129 fax

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MWPCP REQUIREMENTS

"Minor" Water Pollution Control Plan (MWPCP)

DS-570 ust 2018

Page 2 of 2

City of San Diego • Devel

The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, such as interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Permit which requires a SWPPP) is not required for the project, see below:

The following approval types (see Form DS-3032) require a WPCP: Grading, Public Right-of-Way, and Demolition/Removal. Exceptions may be made allowing use of this MWPCP for minor work.

The following approval types (see Form DS-3032) require a WPCP whenever a submittal for Drainage and Grades review is required: Exceptions may be made allowing use of this MWPCP for minor work.

This MWPCP may be utilized for projects that create less than 5,000sf of ground disturbance and have less than a 5ft elevation differential over the entire project area.

Will there be soil disturbing activities that will result in exposed soil areas? (This includes minor grading and trenching.) Reference Table items A \square Yes \square No

NOTE: It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code Sect. 43.03. The guidance and template provided here is for the applicants' convenience and do not alleviate responsibility on part of the project owner to determine the appropriate level of BMP planning and implementation to prevent pollutant discharges.

STEP 1. IDENTIFY RELEVANT PROJECT INFORMATION

Contact Name: Brian McDonnell

Will there be slurries from mortar mixing, coring, or concrete saw cutting? Reference Table 1 items C and EWill there be asphalt paving, including patching? Reference Table 1 items C and E

Will there be solid wastes from concrete demolition and removal, wall construction, or form Reference Table 1 items C and E

Mailing Address: 5610 Bellevue Ave Telephone No.: (760) 943-6777 Project Information:

E-mail Address Brian@l

@IFCMort

APN: 357-443-22

357-443-22-00

660209

Zip Code: 92037

Build new 773 sf first floor addition to existing 1,002 sf single family detached residence. But 1208 second floor addition. demo existing 371 sf garage. build new 250 sf 1 car garage. I new 213 sf carport

Build new

Will there be dewatering operations?
Reference Table 1 items B and C

Will there be temporary on-site storage of construction materials, including mortar mix, raw and soil stabilization materials, treated lumber, rebar, and plated metal fencing materials? Reference Table 1 items D and E Ľ Yes

Will construction equipment be stored on site (e.g.: fuels, oils, trucks, etc.? Reference Table 1 item E Will trash or solid waste product be generated from this project? Reference Table 1 item E

Will Portable Sanitary Services ("Porta-potty") be used on the site? Reference Table 1 item ${\bf E}$ Clear Page 2 **⊠** Yes

□ No

Total Lot Size in ft2: 5891 sf

on oject Area:

inish Date

STEP 2: IDENTIFY CONSTRUCTION STORM WATER BMPs

MINIMUM RE

TABLE 1
QUIRED STANDARD CONSTRUCTION STORMWATER BMPs
Source: CALTRANS Storm Water Quality Handbooks)

Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs). Part 2 of the Storm Water Standards Manual outlines the requirements for Construction Stormwater BMPs. There are five categories:

Offsite sediment tracking control General site and materials mana

If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). As noted in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If no BMP is selected, an explanation must be given in the box provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No". BMPs from each of the five categories must be

ı work?

Will there be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 24 hours? Reference Table 1 items C and E

Yes Yes □ N° S No

Yes Yes Yes Yes N_o N_o \square_{N_0} □ N_o □ N₀ □ N_o avel Bags

The applicant must print and sign to I have read and understand that the City storm water, from construction and land to minimize the potentially negative imfurther agree to install, monitor, maintait compliance with the City's Storm Water or other actions.

the following certification before a permit will be issued.

Ity of San Diego has adopted minimum requirements for managing urban runoff, including it development activities. I certify that the BMPs selected on this form will be implemented impacts of this project's construction and land development activities on water quality. I tain, or revise the selected BMPs to ensure their effectiveness. I also understand that non-tain, or revise the selected BMPs to ensure their effectiveness. I also understand that non-tain and the selected BMPs to ensure their effectiveness.

Entrance/Exit Tire Wash

Street Sweeping & Vacuuming

E. Select the General Site Managem Minimum Required Best Minimum
Required Best Management
Practices

A. Select Erosion Control Method
Vegetation Stabilization Planting Storm Drain Inlet Protection

D. Select method for preventing off Mulch, Straw, Woodchips, Soil Application B. If Runoff or Dewatering Opera Rolls (Straw Wattles) Chose at least
Choose at least
Choose at least
Choose at leas

REMODEL AND ADDITION FOR

BELLEVUE RESIDENCE

2610 BELLEVUE AVENUE LA JOLLA, CALIFORNIA

12465 VIA DIEGO LAKESIDE, CA 92040 (619) 997-4317 office (619) 956-3129 fax www.amdinteriors.net

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